


MEMORANDUM

Agenda Item # 3

Meeting Date 10-2-23

TO: Mayor Samora
Vice Mayor Rumrell
Commissioner Morgan
Commissioner George
Commissioner Sweeny

FROM: Max Royle, City Manager 

DATE: September 20, 2023

SUBJECT: Replacement of Publix Supermarket in the Anastasia Shopping Plaza: Request to Approve Final Development Plan

Attached (pages 1-22) is information that the Comprehensive Planning and Zoning reviewed at its September 19, 2023, meeting concerning the request from Regency Centers for final development plan approval. Page 23 (attached) is a memo from Ms. Jennifer Thompson, City Planner, in which she states that the Board by a unanimous vote at that meeting recommended you approve the final development plan for the new Publix.

There is also additional information. It consists of site plans and drawings and is too large to fit in your agenda books. It will be provided separately. Should you have questions about the site plans, please call Ms. Thompson, the City Planner at (904) 471- 8758.

Your review of the proposed final development plan for the new Publix will be the fourth time the plan has been presented for public review and discussion. The other three times were:

- June 20th, when the Planning Board held a concept review hearing on the project.
- September 11th, when Regency Centers held an information hearing for the public at city hall.
- September 19th, when the Planning Board held a hearing and recommended that you approve the final development plan.

At the above meetings, some residents had concerns about the proposed replacement, but none were hot-button or negative issues. Some of the concerns were drainage from the shopping center to the north into Hammock Dunes Park, having a sound wall to buffer the noise from delivery trucks being unloaded, improving the west entrance into the parking lot and keeping the Publix pharmacy open, either on site or elsewhere in the City.

MEMORANDUM

ACTION REQUESTED

It is that you hold the public hearing and then decide whether to approve the final development plan to replace the current Publix supermarket with a new facility.



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Major Development Application File #2023-01

Major Development file #2023-01 is an application to replace the existing Publix grocery store located at 1033 A1A S. in the Anastasia Plaza owned by Regency Centers. The existing Publix will be demolished and replaced with a new 54,964 square foot building. Additionally, the parking lot will be improved in phases to keep businesses in the plaza operational during the rebuild process.

At the June 20, 2023, Planning and Zoning meeting, the board reviewed the Concept Review for the Publix rebuild and Anastasia Plaza remodel. During this meeting, the Planning and Zoning Board granted variances for this project which are attached.

St. Johns County Fire Department and St. Johns County Utilities have included comments regarding this project, and the applicants are aware of the requirements set forth by these agencies.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division



City of St. Augustine Beach Building and Zoning Department

To: Planning & Zoning Division
From: Brian Law, Director of Building & Zoning
Date: 09/12/2023
Re: 1033 A1A Beach Blvd. Final Development Order

The 2020 Florida Building Code has no objection to the requested remodel/rebuild of the Publix located in the Regency Plaza at 1033 A1A Beach Blvd. The Building Division will review the completed architectural and engineered plans upon submittal for a building permit.

Brian W. Law

Brian W. Law, CBO, CFM, MCP
Director of Building & Zoning



City of St. Augustine Beach

MEMORANDUM

TO: Bonnie Miller, Senior Planner

FROM: Jason D. Sparks, P.E., Engineering Director *JDS*

DATE: August 31, 2023

SUBJECT: Major Development Review for Publix Rebuild and Anastasia Plaza

Engineering reviewed the proposed grading and storm drainage and stormwater pollution prevention plan and offers the following:

- This is an existing privately owned and maintained drainage system permitted through the St. Johns River Water Management District (SJRWMD).
- Provide the approved SJRWMD permit modification and associated documentation reflecting proposed improvements.
- Indicate the pond outfall location on the plans.
- Upon completion, provide drainage system inspection results and construction certification of completion signed and sealed by a licensed professional engineer registered in the State of Florida.
- Ensure all roof drains, downspouts, associated piping and appurtenances conform with the latest edition of the Florida Plumbing Code.
- No objection to modifying, upgrading and rehabilitating the existing stormwater drainage system as per the SJRWMD permitted documents.

From: [Dawn Lyons](#)
To: [Jennifer Thompson](#)
Subject: Publix Reno -DRC
Date: Monday, August 28, 2023 1:58:37 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

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Good afternoon,

Below are the rejected Fire comments. Please resubmit to Fire in person with 2 copies of the below comments, answered, signed and dated by the person that completes them along with 2 copies of any plan sheets that will need to be slip sheeted into the set we have here.

St. Johns County Fire Rescue Department
Fire Marshal Office
Plans Review Comment Sheet

Project Name Publix
Project Address 1033 A1A Beach Blvd.
Contractors Name
Contractors Phone Number
Sprinkler Contractor
Underground
Fire Alarm Contractor
FHID 13440

Plans Reviewed under Florida Uniform Fire Safety Standards or Florida Fire Prevention Code 7th edition.

To help speed the review process you may include a written comment response summary to clarify or illustrate where corrections were made on plans. Please remember to use the Florida Fire Prevention Code 7th Ed for all code reference in a response to comments. The fire plans examiner does not use or have a copy of the Florida Building Code.

Plans for the demolition of an existing Publix and some of the neighboring retail space, to re-build a slightly larger Publix. The existing store is 48,555sf with 55,663sf of retail. The proposed store is 54,964sf with 48,761 of retail.

1. Identify on the plans that the building will be provided with fire sprinklers.
2. How will egress be maintained for the existing occupancies while the concrete in front of the existing retail building is removed and replaced?

3. Please pass on to the design professional of the building an evaluation for a radio enhancement system is required for new buildings over 12,000 square feet and/or underground areas. NFPA 1:11.10 and NFPA 1225 (2022 ED.)
4. On utility plan, clearly label where public utility stops and beginning of point of service (POS) for private fire main in accordance with FS 633.102(24). (This is where main serves fire protection exclusively.)
5. On utility plan, place note: FDC shall be 5" Storz connection with 30 degree downward deflection.
6. Place this statement prominently on all utility pages:
This civil utility plan is provided for DRC (civil) review only. Approval of these plans do not include approval for private underground water main, hydrants, and fire sprinkler mains. Civil drawings illustrate layout only and do NOT show full compliance with the respective Fire Codes. For Fire Marshal underground permit, detailed shop drawings must be prepared and submitted by the installing underground fire contractor I, II or V showing complete compliance with, but not limited to, NFPA 24, (Standard for Installation of Private Fire Service Mains and their Appurtenances.)

Kindest regards,



Dawn Lyons

Administrative Assistant/Fire Permit Specialist

Fire Rescue/Fire Prevention

St. Johns County Board of County Commissioners

4040 Lewis Speedway, St. Augustine FL 32084

904-209-1712 | www.sjcfl.us

From: Chad J. Smith <cjsmith@sjcfl.us>
Sent: Monday, September 11, 2023 3:30 PM
To: Melissa Caraway <mcaraway@sjcfl.us>
Subject: RE: City of St. Aug Beach Publix plans

Missy,

Below are the comments for the St Augustine Beach Publix:

1. Provide existing square footage that will be demolished.
2. Provide arch/plumbing plans of new building.
3. Clarify ownership of new 1 & ½" water meter. This plaza is master metered so the new meter could be a privately owned meter to deduct usage from master meter. SJCUC does not allow publicly owned meters on private water mains.
4. Provide grease trap spec sheets for review by SJCUC Pre-treatment Dept.

Thank you,



Chad J Smith
Utility Review Specialist
Utilities Development Group
St. Johns County Board of County Commissioners
1205 SR 16, St. Augustine FL 32084
904-209-2632 | www.sjcfl.us



Florida has a very broad public records law. Most written communications to or from the St. Johns County Board of County Commissioners and employees regarding public business are public records available to the public and media through a request. Your e-mail communications may be subject to public disclosure. This communication may contain privileged and confidential information intended only for the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution or duplication of this communication is strictly prohibited. If you are not the intended recipient, please notify the sender by reply email and destroy all copies of the original message.

**BEFORE THE COMPREHENSIVE PLANNING
AND ZONING BOARD OF THE
CITY OF ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR A LAND USE VARIANCE
PERTAINING TO RECONFIGURATION OF THE
EXISTING ANASTASIA PLAZA SHOPPING
CENTER PARKING LOT IN A COMMERCIAL
LAND USE DISTRICT AT 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080**

Public Records of St. Johns County, FL
Clerk number: 2023050382
BK: 5783 PG: 661
6/28/2023 2:45 PM
Recording \$18.50

ORDER APPROVING VARIANCE FILE NO. VAR 2023-10

This CAUSE came on for public hearing before the Comprehensive Planning and Zoning Board of the City of St. Augustine Beach, Florida, on Tuesday, June 20, 2023, upon Application (File No. VAR 2023-10) by Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant, for a land use variance for existing non-conforming uses for minimum parking space size of 9-feet-by-20 feet, per Section 6.03.05.B of the City of St. Augustine Beach Land Development Regulations, to 9.5-feet-by-18; reduction of the northern landscape buffer, per Section 6.06.04 of the City of St. Augustine Beach Land Development Regulations, to five (5) feet to accommodate the proposed new truck dock; and to lower the existing non-conforming impervious surface ratio (ISR) coverage but still exceed the maximum 70% ISR coverage allowed in a commercial land use district, per Section 6.01.02 of the City of St. Augustine Beach Land Development Regulations, for proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, Parcel Identification Number 174200-0020, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080. The Planning and Zoning Board having reviewed the Application, received public comments, and upon motion duly made, seconded and passed, the variance was approved based upon the following findings and subject to the following conditions:

1. The required considerations for the granting of a variance as detailed in the Application and discussed at the hearing are incorporated herein as findings of fact, as a result of the finding that the hardship granted is due to the acquisition of the property preceding the adoption of the regulations from which the variance is sought, which shall act in favor of the granting of the variance per Section 10.02.03.B.4 of the City of St. Augustine Beach Land Development Regulations.

2. A land use variance shall be granted for the allowances as stated above for the proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot on the property described above in a commercial land-use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, subject to the condition that a barrier fence be installed along the northern buffer area of the Anastasia Plaza property adjacent to Hammock Dunes Park.
3. A violation of the conditions listed above shall void the variance approval granted herein.

Any appeal of this decision may be made by filing an application for appeal to the St. Augustine Beach City Commission within thirty (30) days of the date of this Order.

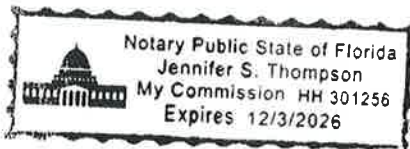
DONE AND ORDERED this 28 day of June, 2023, at St. Augustine Beach, St. Johns County, Florida.

**COMPREHENSIVE PLANNING AND ZONING BOARD OF
THE CITY OF ST. AUGUSTINE BEACH, FLORIDA**

By: 
Kevin Kincaid, Chairperson

**STATE OF FLORIDA
COUNTY OF ST. JOHNS**

The foregoing instrument was acknowledged before me by means of ☒ **physical presence or**
☐ **online notarization**, this 28 day of June, 2023,
by (print name of person signing above) Kevin Kincaid,
who is personally known to me ☒ or has produced the following type of
identification _____




Signature of Notary Public, State of Florida

**BEFORE THE CITY COMMISSION OF
ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR REBUILD OF THE PUBLIX
GROCERY STORE, 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080, AND
RECONFIGURATION OF THE ANASTASIA PLAZA
SHOPPING CENTER PARKING LOT, 1001 A1A BEACH
BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA,
32080**

FINAL DEVELOPMENT FILE NO. FD 2023-01

This CAUSE, pertaining to 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Parcel Identification Number 174200-0020, PERTAINING TO PARCEL A, ALL THAT PORTION OF THE NORTH ONE-HALF AND THE SOUTH ONE-HALF OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, WHICH LIES BETWEEN COUNTY ROAD A1A BEACH BOULEVARD AND STATE ROAD A1A SOUTH, AND PARCEL B, THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, PARCEL IDENTIFICATION NUMBER 174200-0020, AS RECORDED IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, came before the City of St. Augustine Beach Comprehensive Planning and Zoning Board on the 19th day of September, 2023, and before the St. Augustine Beach City Commission on the 2nd day of October, 2023, upon Application of Patrick McKinley, Agent for Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, Applicants, for review and final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, for the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations. The Comprehensive Planning and Zoning Board and the City Commission, having reviewed and considered the Application, the report of the Building and Zoning Department, the testimony, statements, and evidence presented before the Comprehensive Planning and Zoning Board and the City Commission by the Applicants and the Applicants' Authorized Agent and other persons speaking at the public hearings, including public comments, and the City Commission finding it has jurisdiction over this proceeding and that the required notices have been provided and were afforded to all parties, upon motion duly made, seconded and passed, the Application was approved and determined as follows:

FINDINGS OF FACT

The Comprehensive Planning and Zoning Board and City Commission find that the Application for Final Development File No. FD 2023-01 for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, conforms to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan, and, except as may be required to be cured herein, with all applicable City of St. Augustine Beach Land Development Regulations.

The application and accompanying documents submitted for Final Development File No. FD 2023-01 demonstrate the proposed final development plans for major development at the above-referenced property do not degrade the prescribed Levels of Service for the City of St. Augustine Beach and/or any interlocal agreement with St. Johns County concerning services or capacities which affect consistency and concurrency determinations.

Subject to the conditions hereinafter set forth, it is determined that this Final Development Order File No. FD 2023-01, prepared for the Final Development Application File No. FD 2023-01, submitted by Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, as represented by its Authorized Agent Patrick McKinley, Regency Centers, Jacksonville, Florida, for final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, unless modified by a subsequent final development order, is approved for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, and shall not be effective except upon ratification of each and every one of the following conditions.

ORDERED as follows:

1. Nothing contained herein shall be deemed to waive the requirement that the proposed final development plans for major development on the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard comply with current State of Florida Building Codes and conform to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan and the City of St. Augustine Beach Land Development Regulations, with the exception of the variance approval granted per Land Use Variance File No. VAR 2023-10 for the subject property, and the provisions of all other applicable agencies.
2. Production of evidence satisfactory to the Building Official of receipt by the Applicant of permits deemed necessary allowing development in accordance with this Final Development Order and accompanying drawings, if required, from the Army Corps of Engineers, the Florida Department of Environmental Protection, St. Johns River Water Management District, St. Johns County Fires Services, and St. Johns County Utility Department, shall be issued and in effect prior to the issuance of any permits for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080.

3. Essential services such as electricity, telephone, cable and other communication lines and street lighting must be in place prior to issuance of any Certificate of Occupancy for the subject property development. Water and sewer connection fees shall be paid and in place prior to the issuance of any building permits. Screening of any utility apparatus placed above ground shall be required. Fire hydrants shall also be in place prior to issuance of any building permits.
4. Applicant/Owner shall undertake measures to protect trees and environmentally sensitive areas by providing protective barriers prior to and during all development activities immediately adjacent to the right-of-way and utility easements and the issuance of any infrastructure or utility permits. Clearing and/or tree removal permits will not be issued prior to acceptance of a completed application for a building permit for site work.
5. Applicant/Owner shall be responsible for all repairs of curbs and/or damage to City of St. Augustine Beach, St. Johns County, and Florida Department of Transportation roadways.
6. This Final Development Order shall be effective for a period of five (5) years from its effective date, at which time the applicant/owner shall have completed one hundred (100%) percent of all development construction on the site.
7. Successors and assigns of the Applicant/Owner shall be bound by the terms and conditions of this Final Development Order. However, persons acquiring property do so with notice that although under appropriate circumstances, owners of property have vested rights, changes in the City of St. Augustine Beach Land Development Regulations affecting use would not be acquired under the transfer of ownership.
8. Any appeal of this decision may be made by filing an application for appeal to the St. Johns County Circuit Court within thirty (30) days of the date of this Order.

DONE AND ORDERED this _____ day of _____, 2023, at St. Augustine Beach, St. Johns County, Florida.

**CITY COMMISSION OF THE CITY OF
ST. AUGUSTINE BEACH, FLORIDA**

Attest: _____
Max Royle, City Manager

By: _____
Donald Samora, Mayor

THIS ORDER IS SUBJECT TO APPEAL PER THE PROVISIONS OF SECTION 12.06.04 OF THE CITY OF ST. AUGUSTINE BEACH LAND DEVELOPMENT REGULATIONS.

Sec. 12.06.04.C. *“Appeals from the decision of the City Commission shall be appealed to the circuit court.”*

City of St. Augustine Beach Building and Zoning Department
 Major Development Application
 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FLORIDA 32080
WWW.STAUGBCH.COM BLDG. & ZONING (904)471-8758 FAX (904) 471-4470

1. Legal description of the parcel for which major development is being sought:

Lot(s) _____ Block(s) _____ Subdivision _____

Street Address 1033 A1A Beach Blvd, St. Augustine, FL 32080

2. Location (N, S, W, E): West Side of (Street Name): A1A Beach Blvd

3. Is the property seaward of the Coastal Construction Control Line (CCCL)? Yes ☒ No (Circle one)

4. Real estate parcel identification number: 1742000020

5. Name and address of owner(s) as shown in St. Johns County Public Records: _____

MCW-RC-FL-Anastasia, LLC

One Independent Dr, Suite 114, Jacksonville, FL 32202

6. Current land use classification: Commercial

7. Section of land use code from which major development is being sought: Land Development Regulations

Sections 12.02.05--12.02.15

8. Reasons for which major development is being sought: Replacing the existing grocery store with a newer and better building to serve the community, improved parking and look of the shopping center.

9. Architect's name and address: Fisher Architects 2315 Belleair Rd. Clearwater, FL 33764

10. Contractor's name and address: TBD

11. Please check if the following information required for submittal of the application has been included:

☒ Survey including legal description of parcel submitted for major development

☒ Copy of warranty deed

☐ Owner Authorization Form (if applicable)

☒ List of names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

☒ First-class postage-stamped legal-size envelopes with names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

☒ Survey to include all existing structures and fences

☐ Other documents or relevant information to be considered

☒ Fourteen (14) copies of the completed application including supplemental documentation and/or relevant information

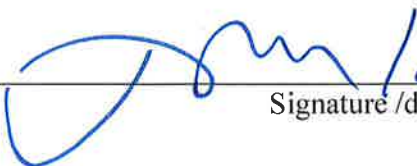
In filing this application for major development, the undersigned acknowledges it becomes part of the official record of the Comprehensive Planning and Zoning Board and/or City Commission and does hereby certify that all information contained is true and accurate, to the best of his/her knowledge.

The application must be signed by either the owner or the owner's authorized agent. If an authorized agent's signature is used, a notarized written authorization approving such representation must accompany the application.

Patrick McKinley

Print name (owner or his/ her agent)

Print name (applicant or his/her agent)

 / 08/18/23

Signature /date

Signature /date

One Independent Dr, Suite 114, Jacksonville, FL 32202

Owner/agent address

Applicant/agent address

904-598-7000

Phone number

Phone number

****All agents must have notarized written authorization from the property owner(s)****

**** Please note that if you are a resident within a development or subdivision that has covenants and restrictions, be aware that approval of this application by the Comprehensive Planning and Zoning Board and/or City Commission does not constitute approval for variation from the covenants and restrictions.****

Major Development File #: 2023-01

Applicant's name: MCW-RC-FL-Anastasia, LLC

Applicant's address: One Independent Dr, Suite 114, Jacksonville, FL 32202

Applicant's phone number and email address: 904-598-7000 patrickmckinley@regencycenters.com

For major development at: 1033 A1A Beach Blvd, St. Augustine, FL 32080

Fee Schedule for Major Development Application

Major Development Application Fee:	\$350.00 if under 2 acres/\$500.00 if 2 acres or more
Legal Notice Sign:	\$10.00
Review of Preliminary Plat:	\$150.00 plus \$2.00 per lot with a \$400.00 minimum
Final Plat Approval:	\$5.00 per lot plus the cost of conformity with Chapter 177 F.S. by a professional surveyor and mapper either employed by or under contract to the City of St. Augustine Beach. The estimated cost shall be deposited with the City at the time of application and any costs in excess of the estimated amounts shall be paid by the applicant prior to execution of the plat by the City.

App # 7693
Amount Paid 510.00 Date 08-21-2023

Invoice # 1303312 Received by Jennifer Thompson

Check # or type of credit or debit card payment VISA

City of St. Augustine Beach Major Development Application 07-22

Instructions for Applying for Major Development

- 1) Per Section 12.02.06, all major developments, per the criteria in Section 12.02.05 of the City's Land Development Regulations (LDRs), must be submitted to concept review. The applicant/developer shall file a completed application and a concept plan as a prerequisite to obtaining major development approval.
- 2) All major development shall be reviewed by the Comprehensive Planning and Zoning Board for recommendation of approval or denial to the City Commission, based on determination of whether the plan satisfies the requirements of the City's LDRs, with the final hearing and final determination of approval or denial to be made by the City Commission.
- 3) The major development application shall be placed on the agenda of the next meeting of the Comprehensive Planning and Zoning Board that allows the giving of required notice. Notification of all property owners within a radius of 300 feet of the property for which major development is being sought shall be mailed by the Building and Zoning Department. The St. Johns County Real Estate/Survey Department (telephone number 904-209-0804) will provide applicants with a list of the names and addresses of the property owners within 300 feet of the property for which major development is requested. **This list of names and addresses of all property owners within 300 feet is to include the applicant's name and address. Along with the list of all property owners within 300 feet, the applicant shall submit stamped, addressed legal-size (4-inch-by-9½-inch) envelopes with the major development application. (Note: Do not fill in a return address on the stamped envelopes. The Building and Zoning Department will stamp its address on the envelopes as the return address and mail the legal notices to all property owners).** Signatures and approvals of property owners within 300 feet are not necessary.
- 4) After review and recommendation to the City Commission of approval or denial by the Comprehensive Planning and Zoning Board, the major development applications shall be placed on the agenda of the next meeting of the City Commission, with the final hearing and final determination of approval or denial to be made by the City Commission.

Required Information for Major Development Application

Per Section 12.02.07.D of the City's LDRs, final development plans for major development shall include the information required in a preliminary (concept) plan plus the following additional or more detailed information:

- 1) *Existing conditions.*
 - a. A map of vegetative cover including the location and identity by common name of all protected trees, including existing protected trees within areas of proposed improvements.
 - b. A topographic map of the site clearly showing the location, identification, and elevation of benchmarks, including at least one (1) benchmark for each major water control structure.
 - c. A detailed overall project area map showing existing hydrography and runoff patterns, and the size, location, topography, and land use of any off-site areas that drain onto, through or from the project area.

- d. Existing surface water bodies, wetlands, streams and canals within the proposed development site, including seasonal high water-table elevations and attendant drainage areas for each.
- e. The location of any underground or overhead utilities, culverts and drains on the property and within one-hundred (100) feet of the proposed development boundary.
- f. Location, names and widths of existing and proposed streets, highways, easements, building lines, alleys, parks, and other public spaces and similar facts regarding adjacent property.
- g. The one-hundred (100) year flood elevation, minimum required floor elevation and boundaries of the one-hundred (100) year floodplain for all parts of the proposed development.
- h. Drainage basin or watershed boundaries identifying locations of the routes of off-site waters onto, through or around the project.

2) *Proposed development activities and design.*

a. *Generally.*

- 1. Area and percentage of total site to be covered by an impervious surface.
- 2. Grading plans specifically including perimeter grading.
- 3. Construction phase lines.

b. *Buildings and other structures.*

- 1. Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.
- 2. Front, rear and side architectural elevations of all buildings.
- 3. Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.
- 4. Minimum floor elevations of buildings within any one-hundred (100) year floodplain.
- 5. The location, dimensions, type, composition, and intended use of all other structures.

c. *Potable water and wastewater systems.*

- 1. Proposed location and sizing of potable water and wastewater facilities to serve the proposed development, including required improvements or extensions of existing off-site facilities.
- 2. The boundaries of proposed utility easements.
- 3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.
- 4. Exact locations of on-site and nearby existing and proposed fire hydrants.

d. *Streets, parking and loading.*

- 1. The layout of all streets and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.
- 2. A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street
- 3. The location of all exterior lighting.
- 4. The location and specifications of any proposed garbage dumpsters.
- 5. Cross sections and specifications of all proposed pavement.
- 6. Typical and special roadway and drainage sections and summary of quantities.

- e. *Tree removal and protection.*
 - 1. All protected trees to be removed and a statement of why they are to be removed.
 - 2. Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.
 - 3. A statement of the measures to be taken to protect the trees to be retained.
 - 4. A statement of tree relocations and replacements proposed.
- f. *Landscaping.*
 - 1. Location and dimensions of proposed buffer zones and landscaped areas.
 - 2. Description of plant materials existing and to be planted in buffer zones and landscaped areas.
- g. *Stormwater management.*
 - 1. An erosion and sedimentation control plan that describes the type and location of control measures, the stage of development at which they will be put into place or used, and maintenance provisions.
 - 2. A description of the proposed stormwater management system, including:
 - (a) Channel, direction, flow rate, and volume of stormwater that will be conveyed from the site, with a comparison to natural or existing conditions.
 - (b) Detention and retention areas, including plans for the discharge of contained waters, maintenance plans, and predictions of surface water quality changes
 - (c) Areas of the site to be used or reserved for percolation including an assessment of the impact on groundwater quality.
 - (d) Location of all water bodies to be included in the surface water management system (natural and artificial) with details of hydrography, side slopes, depths, and water-surface elevations or hydrographs.
 - (e) Linkages with existing or planned stormwater management systems.
 - (f) On and off-site rights-of-way and easements for the system including locations and a statement of the nature and of the reservation of all areas to be reserved as part of the stormwater management system.
 - (g) The entity or agency responsible for the operation and maintenance of the stormwater management system.
 - 3. The location of off-site water resource facilities such as works, surface water management systems, wells, or well fields, that will be incorporated into or used by the proposed project, showing the names and address of the owner of the facilities.
 - 4. Runoff calculations shall be in accord with the stormwater management manual.
- h. *Environmentally sensitive lands.*
 - 1. The exact sites and specifications for all proposed drainage, filling, grading, dredging, and vegetation removal activities including estimated quantities of excavations or fill materials computed from cross sections, proposed within a protected environmentally sensitive zone.
 - 2. Detailed statement of other materials showing the following:
 - (a) The percentage of the land surface of the site that is covered with natural vegetation and the percentage of natural vegetation that will be removed by development.
 - (b) The distances between development activities and the boundaries of the protected environmentally sensitive zones.
 - 3. The manner in which habitats of endangered and threatened species are protected.

i. *Signs.*

1. Two (2) blueprints or ink drawings of the plans and specifications of regulated signs, and method of their construction and attachment to the building or ground, except those plans for standard signs that have been placed on file with the building official by a licensed sign contractor for standard signs. The plans shall show all pertinent structural details, wind pressure requirements, and display materials in accordance with the requirements of this Code and the building and electrical codes adopted by St. Augustine Beach. The plans shall clearly illustrate the type of sign or sign structure as defined in this Code; the design of the sign, including dimensions, colors and materials; the aggregate sign area; the dollar value of the sign; maximum and minimum heights of the sign; and sources of illumination.
2. For regulated ground signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas and other existing ground signs on the parcel.
 - (b) All regulated trees that will be damaged or removed for the construction and display of the sign.
 - (c) The speed limit on adjacent streets.
3. For regulated building signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas, buildings and structures on the parcel.
 - (b) The number, size, type, and location of all existing signs on the same parcel, except a single business unit in a multiple occupancy complex shall not be required to delineate the signs of other business units.
 - (c) A building elevation or other documentation indicating the building dimensions.

j. *Subdivision.*

Proposed number, minimum area and location of lots, if development involves a subdivision of land.

k. *Land use and dedications.*

1. Location of all land to be dedicated or reserved for all public and private uses including rights-of-way, easements, special reservations, and the like.
2. Amount of area devoted to all existing and proposed land uses, including school, open space, churches, residential and commercial, as well as the location thereof.
3. The total number and type of residential units categorized according to number of bedrooms. The total number of residential units per acre (gross density) shall be given.

l. *Wellfield protection.*

Location of onsite wells, and wells within one-thousand (1,000) feet of any property line, exceeding one-hundred-thousand (100,000) gallons per day.

m. *Historic and archaeologic sites.*

The manner in which historic and archaeologic sites on the site, or within one-thousand (1,000) feet of any boundary of the site, will be protected.

Per Section 12.02.07.E of the City's Land Development Regulations, final development plans for subdivision of land shall comply with the requirements of this section. Per Section 12.02.07.F of the City's Land Development Regulations, final development plans for commercial structures requires the front, rear and side architectural elevations for commercial structures to demonstrate compliance with the following criteria:

- 1) The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
- 2) The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure is in conformity with the standards of these Land Development Regulations and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved. Conditions may be applied when the proposed building of structure does not comply with the above criteria and shall be such as to bring the structure or project into conformity. If any application is disapproved, the Comprehensive Planning and Zoning Board shall detail in its findings the criterion or criteria that are not met. The actions taken by the Board shall be reduced to writing, signed by the chairman and a copy thereof made available to the applicant upon request.
- 4) The proposed structure or project is in harmony with the proposed developments in the general area, with the Comprehensive Plan for the City and with the criteria set forth in any supplemental criteria and procedural rules of the Comprehensive Planning and Zoning Board, as the same may be from time to time amended and revised. Any decision of the Board must comply with such supplemental criteria and rules of the Board may be amended from time to time by ordinance regularly adopted upon action initiated by the City Commission.
- 5) The proposed landscape and irrigation design shall promote water conservation. Water requirements may be reduced by providing for:
 - a. Preservation and reestablishment of native plant communities.
 - b. The use of drought-tolerant, site specific, and shade producing plants.
 - c. Design and maintenance of irrigation systems which eliminate waste of water due to over application or loss from damage.
- 6) Renovations to the exterior of a commercial structure shall comply with the criteria and supplemental criteria for Community Appearance Standards; provided, however, than an application for final development approval for a renovation of an existing structure shall only require such information as may reasonably be required by the Building Department or the Comprehensive Planning and Zoning Board to demonstrate compliance with the criteria and supplemental criteria for Community Appearance Standards and shall not be required to provide information as to areas not proposed for renovation except as provide for an understanding of the proposed changes or alterations to the structure.
- 7) Definitions. As used in this section 12.02.07.F and as used in the Supplemental Criteria for Community Appearance Standards, the following terms and phrases shall have the meanings indicated:

Commercial structure shall mean a structure located within a commercially zoned area regardless of its actual size.

Renovation shall mean a change or alteration to a material element of a structure that changes or alters (a) a major structural or architectural feature of a building including changes to roof lines, porches, location or size of windows or doors; or (b) the exterior of a building requiring the submittal of plans signed and signed by a registered architect or engineer.

Per Section 12.02.08 of the City's Land Development Regulations, a master plan for the entire development site must be approved for a major development that is to be developed in phases. The master plan shall be submitted simultaneously with an application for review of the final development plan for the first phase of the development and must be approved as a condition of approval of the final plan for the first phase. A final development plan must be approved for each phase of the development under the procedures for development review prescribed above.

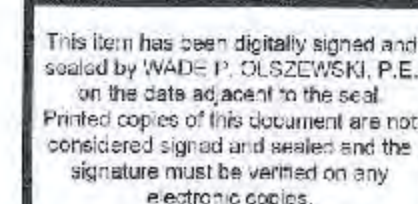
Per Section 12.02.09 of the City's Land Development Regulations, a master plan is required for a major development which is to be developed in phases. A master plan shall provide the following information for the entire development as specified in this section. Review of final development plans for major developments shall comply with Section 12.02.10.

Per Section 12.02.10.B, *Amendment to final development plans*, "If a major development has received a final development order or other approval, the amendment, modification or extension of such a final development order or approval shall only be by the same process as the order or approval was originally obtained (except that the concept review process does not have to be repeated) and the review fee shall also be the same. For Planned Unit Developments, strikethrough and underlined sections of the proposed changes shall be submitted. Expired final development orders are not eligible for renewal."

Per Section 12.02.13, each administrative hearing shall conform to the following procedures, as supplemented by law, rule or decision.

- A. *Burden and nature of proof.* The applicant for any development permit must prove that the proposal satisfies the applicable requirements and standards of this Code.
- B. Order of proceedings.
 - 1. The Comprehensive Planning and Zoning Board and City Commission shall:
 - a. Determine whether it has jurisdiction over this matter.
 - b. Determine whether any member must abstain or is disqualified. Abstaining from voting or disqualification because of conflict of interest must be declared in accordance with Part III of
 - c. Chapter 112, Florida Statutes.

Where proposed minor or major development includes the subdivision of land, platting shall conform to the requirements of Section 12.02.14 of the City's LDRs. Final approval of the development plan by the Comprehensive Planning and Zoning Board shall be made contingent upon approval by the St. Augustine Beach Commission of a plat conforming to the development plan.

[illegible]

Designed: W. Olszewski	
Drawn: D. Schneider	
Checked: W. Olszewski	
Job No.: R9123	
Date: 6/05/23	© 2023

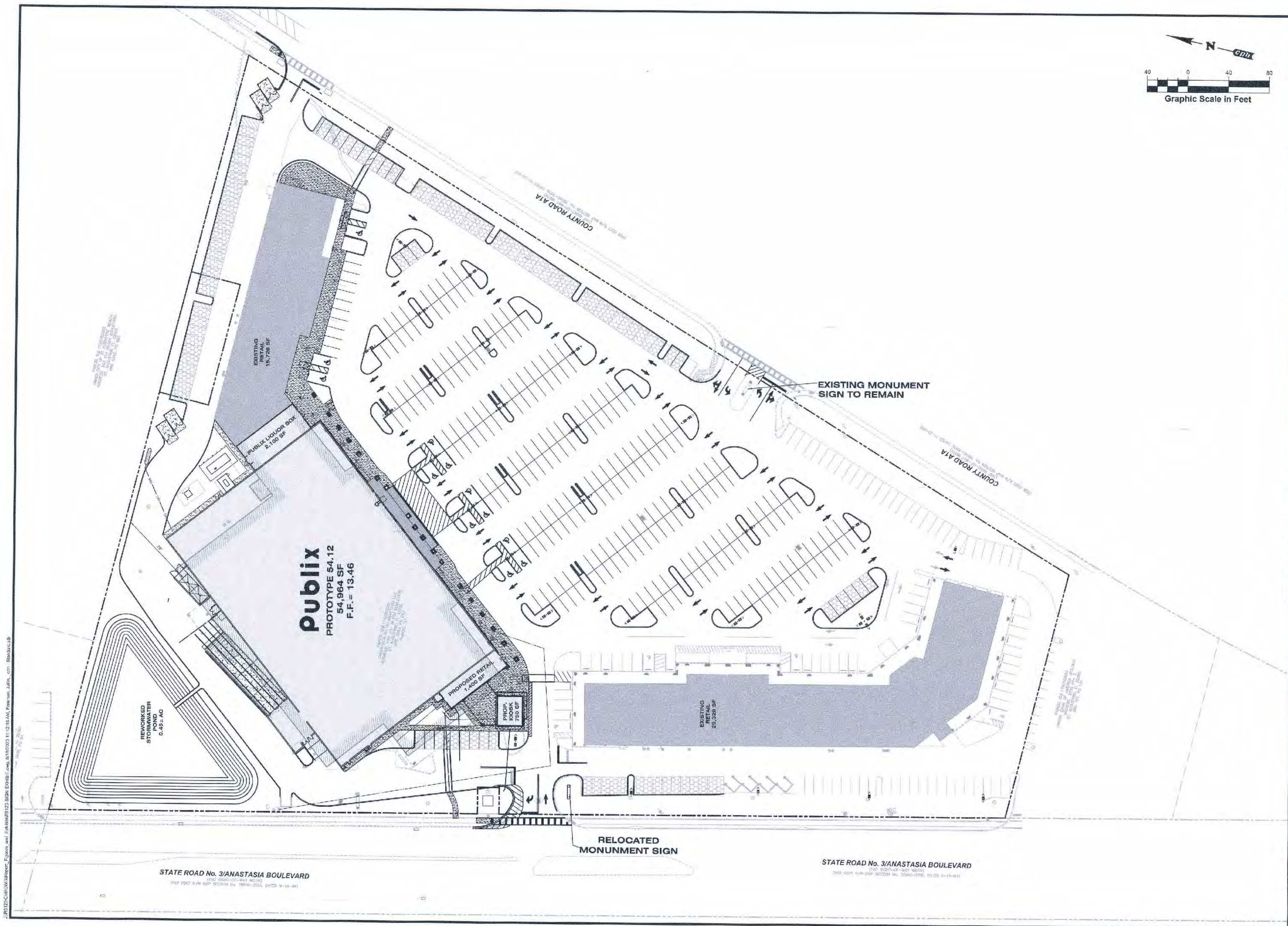
OVERALL SITE PLAN

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

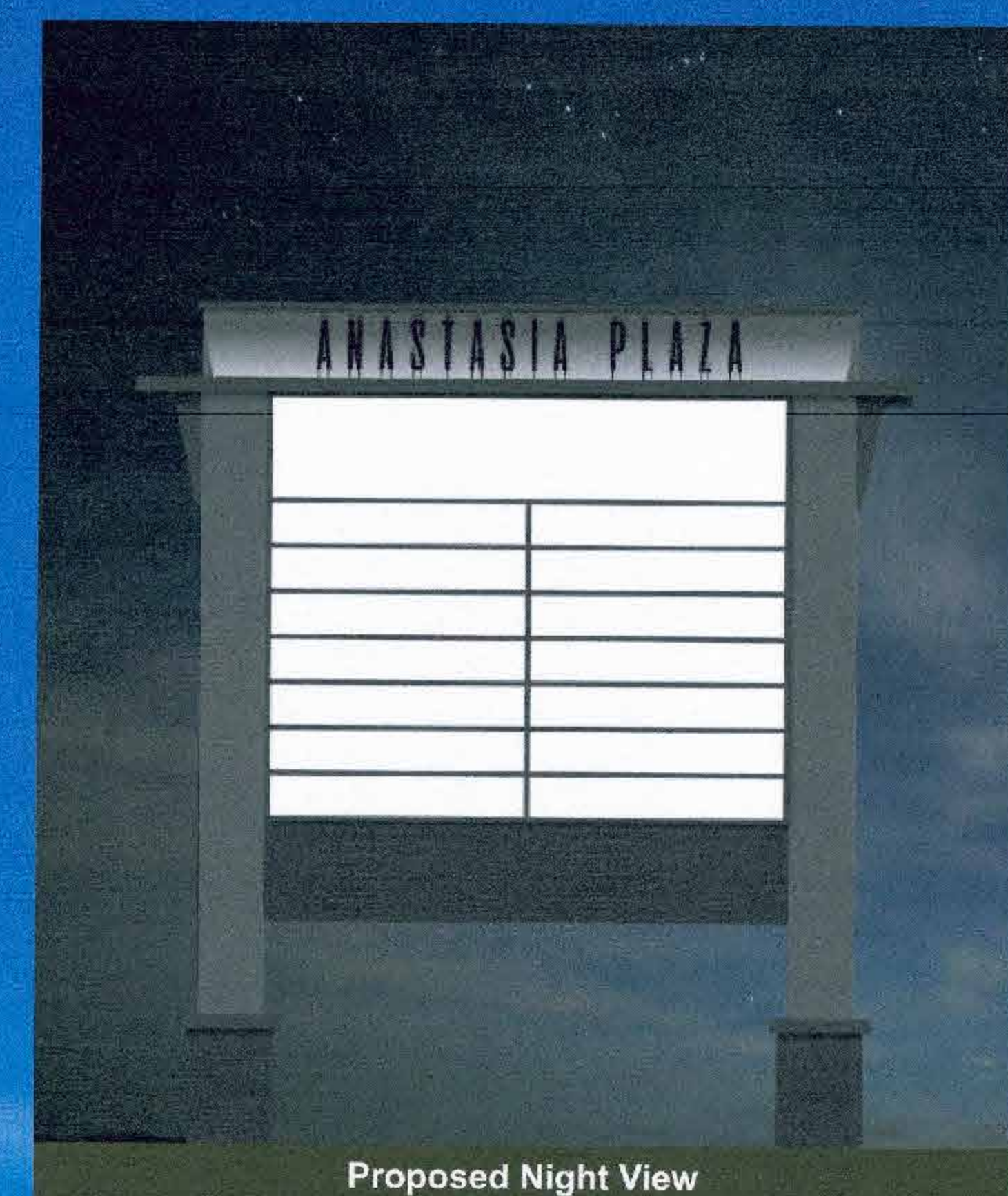
Sheet No.
C0.5



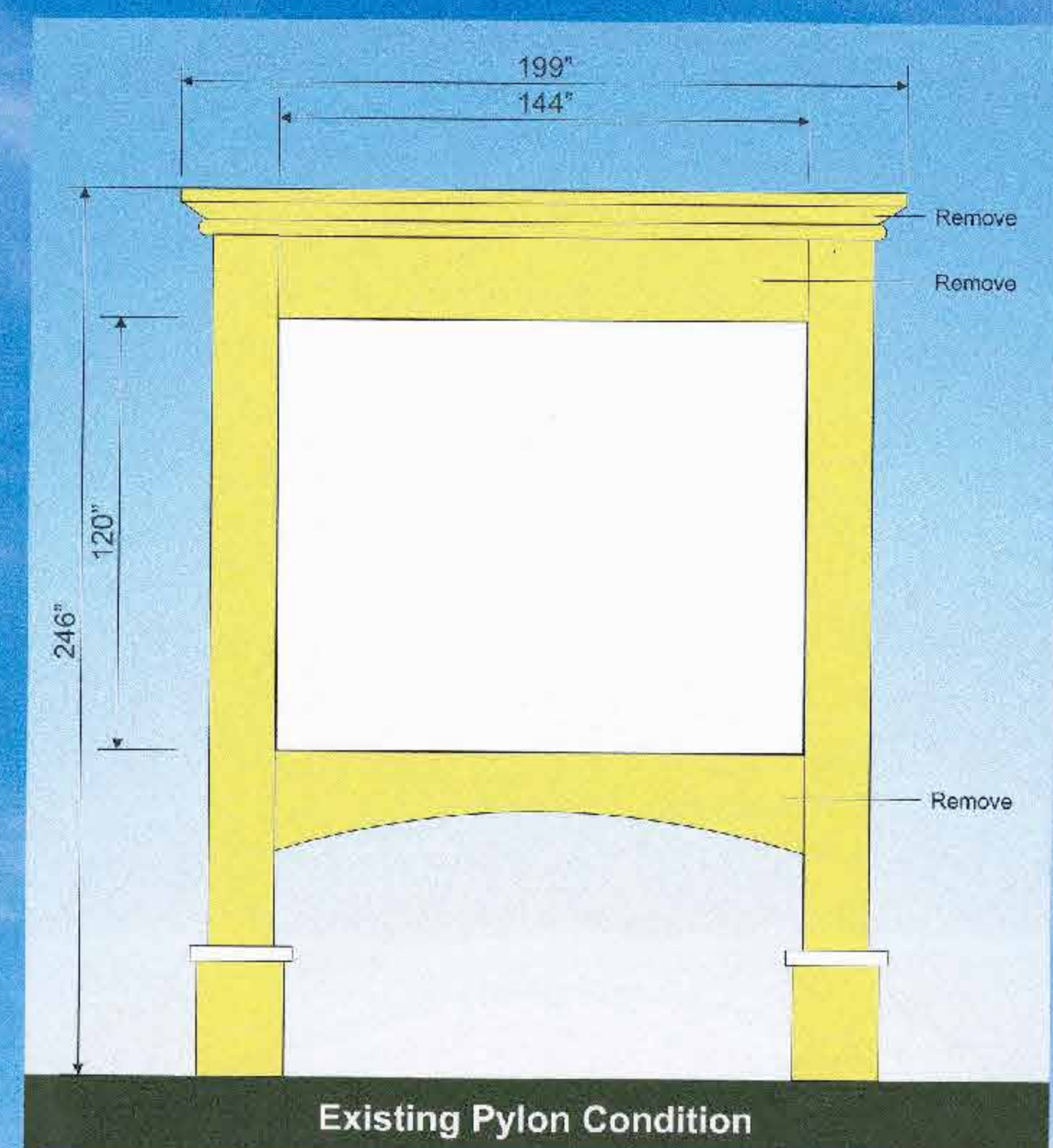
Refurbish existing D/F internally illuminated pylon sign. Existing pylon to new fabricated aluminum elements added to top portion of sign.
 New 1" thick routed acrylic letters pin mounted off horizontal embellishment.
 External upwards illumination by white L.E.D.s. Existing tenant cabinet to receive new L.E.D. illumination. Bottom portion of cabinet to receive new fabricated aluminum "slat" elements. Pole covers to be repainted.



Front Elevation - Illuminated Pylon Sign | 3/8" = 1'-0"



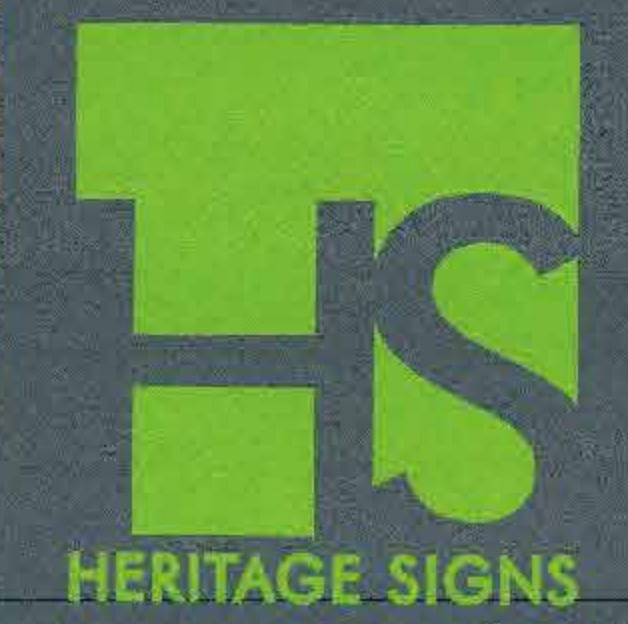
Proposed Night View



Existing Pylon Condition

Paint to match SW 7004 Snow Bound
 Paint to match Slate Gray
 Paint to match Musket Gray

End View - Illuminated Pylon Sign | 3/8" = 1'-0"



1282 Energy Cove Ct.
 Green Cove Springs, FL 32043
 904-529-7446
 904-529-1567 fax

Client:
 Anastasia Plaza
 St. Augustine, FL
 Origin Date: 03.17.23

DWG NAME:
 ANP100-00

Revision:
 00.00.23

Salesperson: C. Knight

Drawn By: T. Beach

☒ Client Approval/Date:

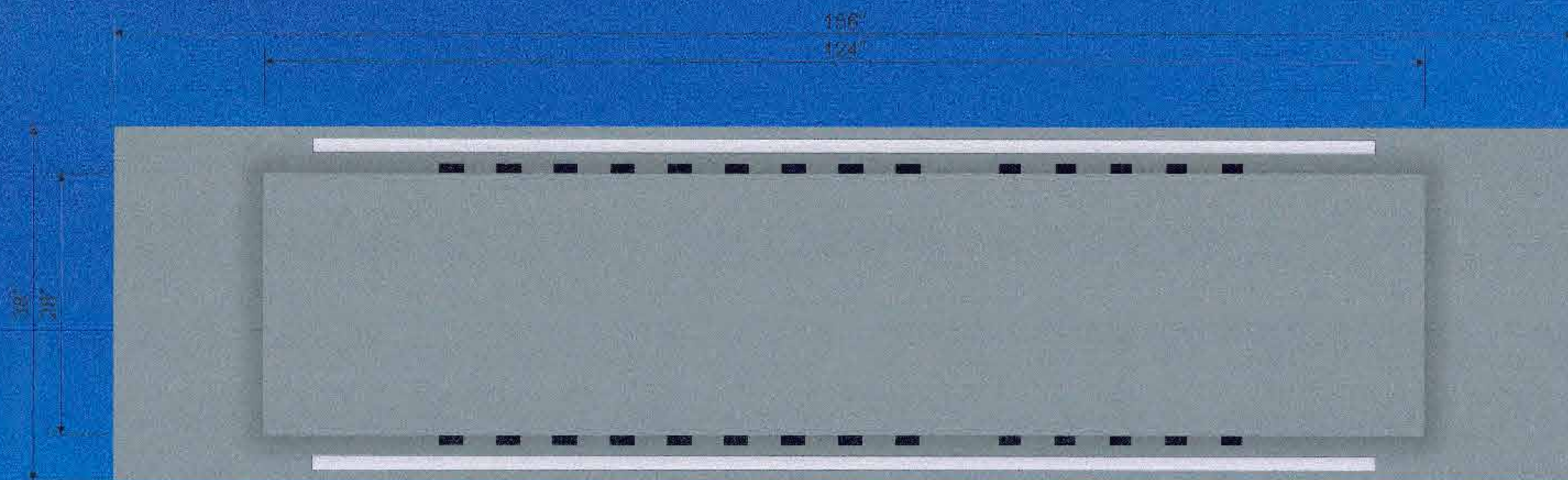
☒ Landlord Approval/Date:

Notes:



Burn rate on plastic
 as measured by
 ASTM D-635 is 1.8
 inches per minute

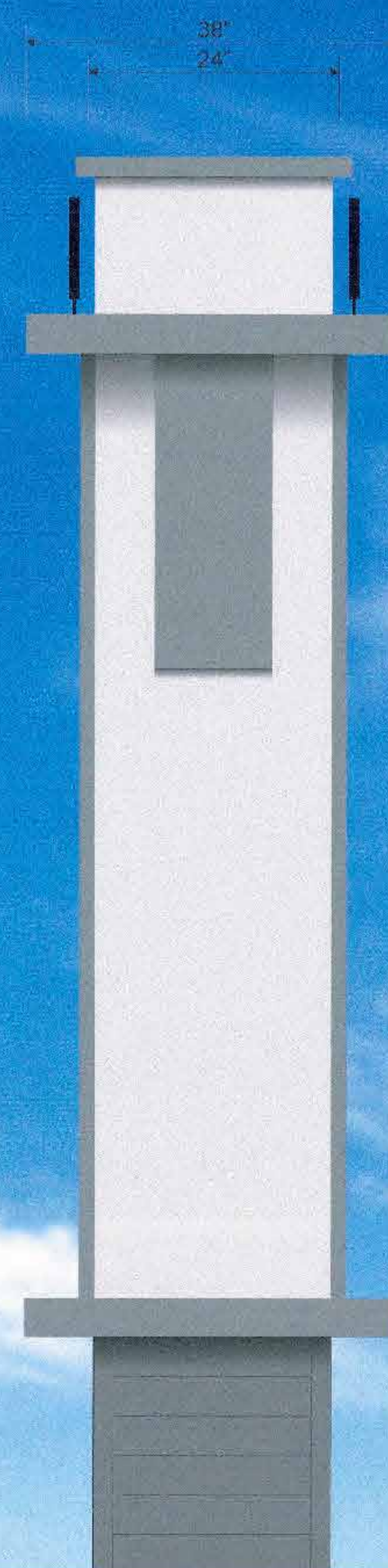
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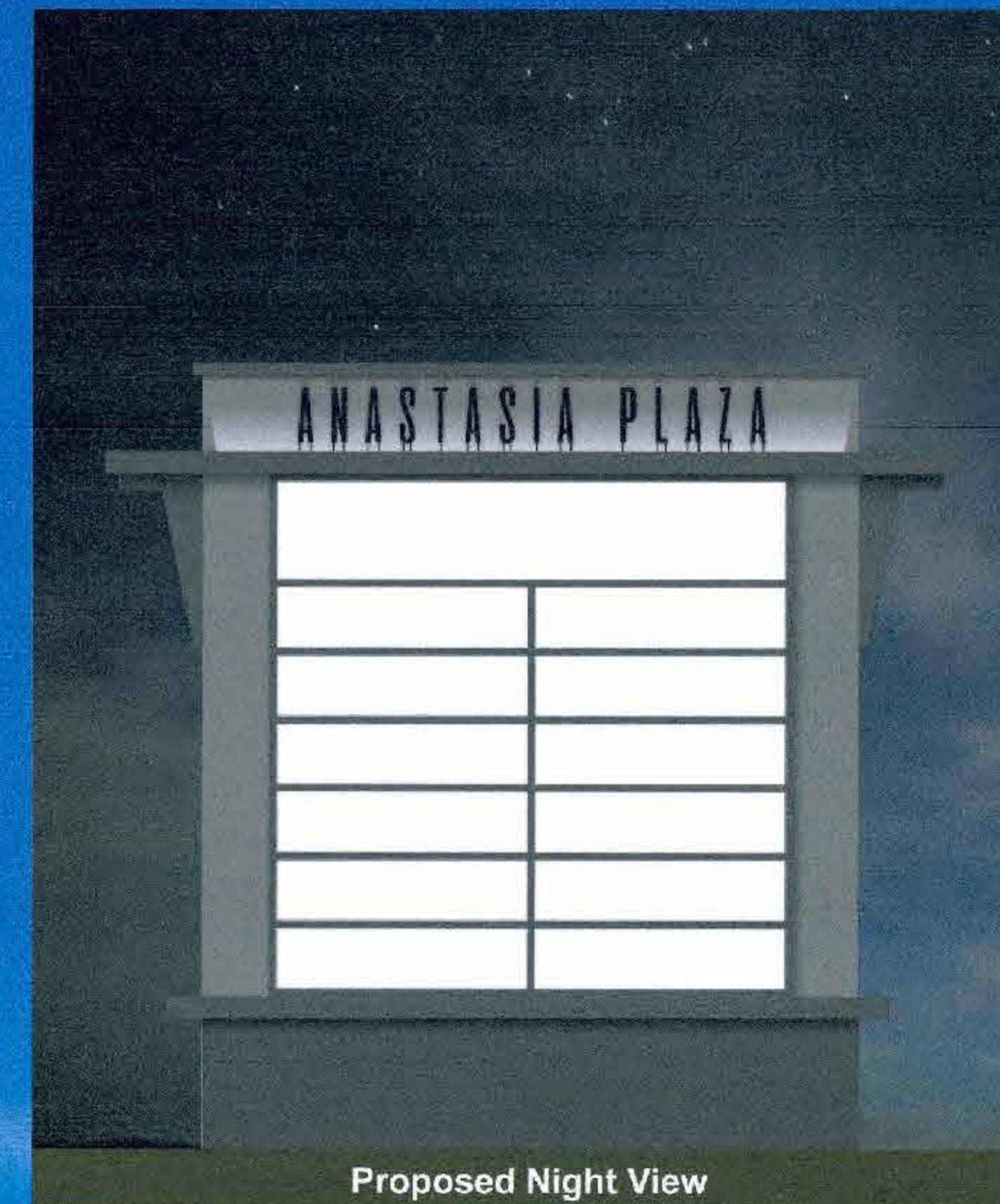
Plan View



Front Elevation - Illuminated Pylon Sign 1/2" = 1'-0"



End View - Illuminated Pylon Sign 1/2" = 1'-0"



Proposed Night View

D/F internally illuminated pylon sign with .063" aluminum skin over 2" x 2" aluminum tube frame. 1" thick routed acrylic letters pin mounted off horizontal embellishment.

Sign to have 8' x 8' D/F illuminated tenant cabinet with 1 1/2" T-bar dividers.

1" thick routed acrylic letters pin mounted off horizontal embellishment.

External upwards illumination by white L.E.D.s.

Sign to have automotive grade painted finish and installed with single steel support pole into concrete footer.



Paint to match
SW 7004 Snow Bound



Paint to match
Slate Gray



Paint to match
Musket Gray



1282 Energy Cove Ct.
Green Cove Springs, FL 32043

904-529-7446
904-529-1567 fax

Client:
Anastasia Plaza
St. Augustine, FL
Origin Date: 03.17.23

DWG NAME:
ANP100-00

Revision:
00.00.23

Salesperson: C. Knight

Drawn By: T. Beach

X
Client Approval/Date:

X
Landlord Approval/Date:

Notes:



Burn rate on plastic
as measured by
ASTM D-635 is 1.8
inches per minute

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PUBLIX FRONT ELEVATION

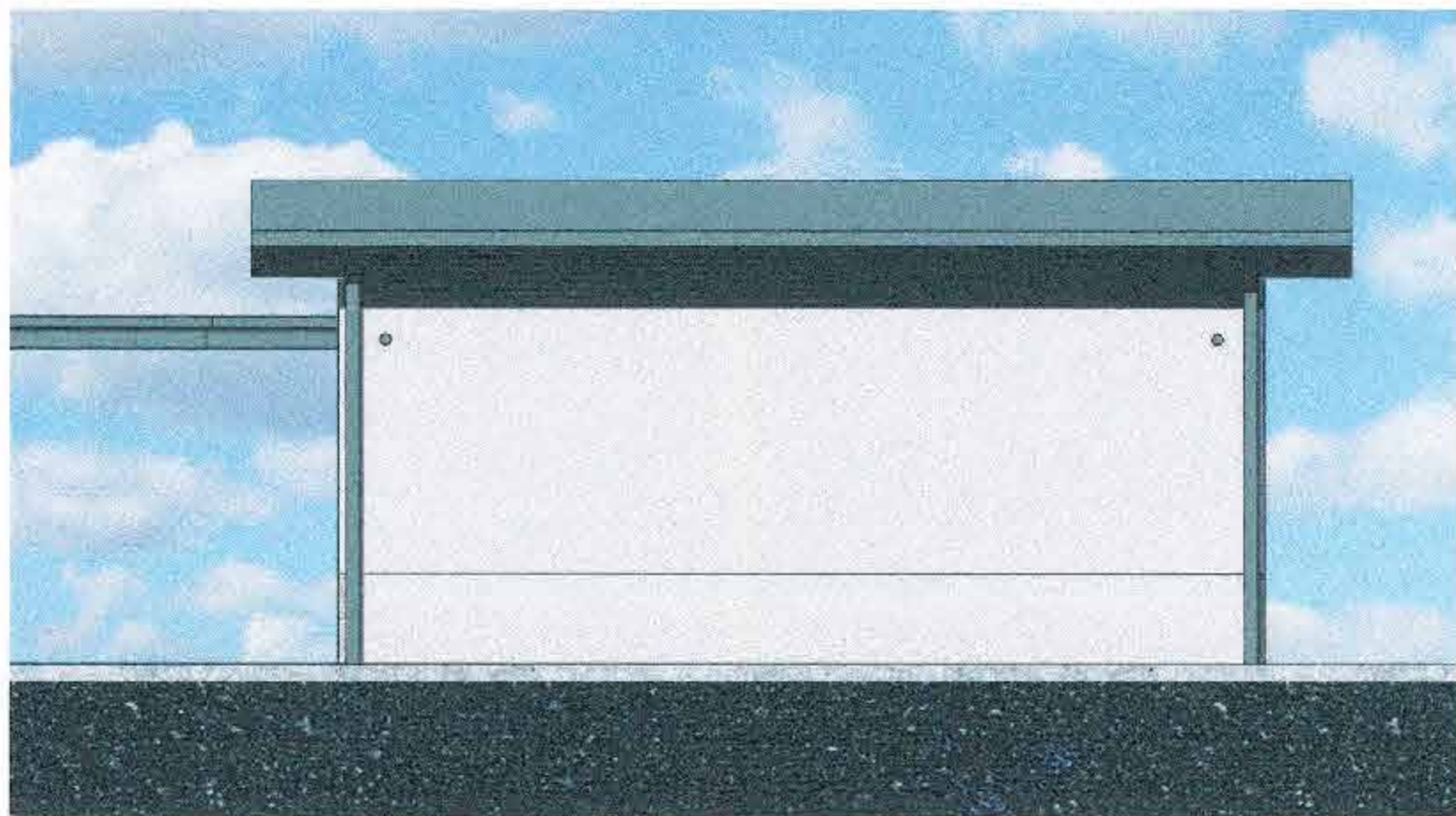
SIGNAGE REQUIREMENTS

PROVIDED: PUBLIX: 187.05 BOXED SF

Frontage	Number	Maximum Square Footage
0—49 feet	3	100
50—100 feet	4	150
Over 100 feet	5	200



KIOSK FRONT ELEVATION



KIOSK REAR ELEVATION

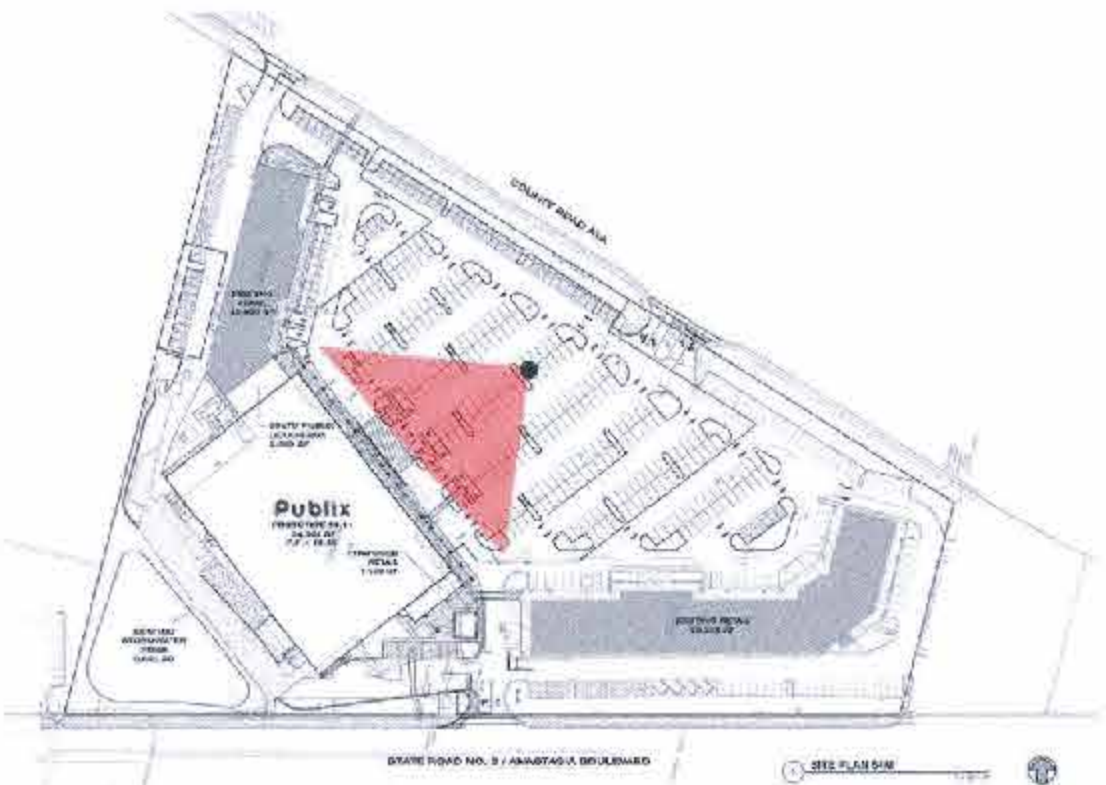


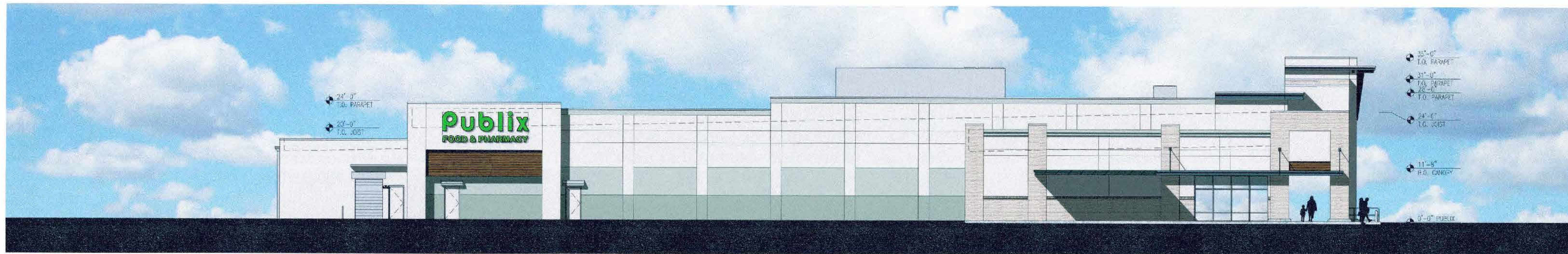
KIOSK RIGHT ELEVATION



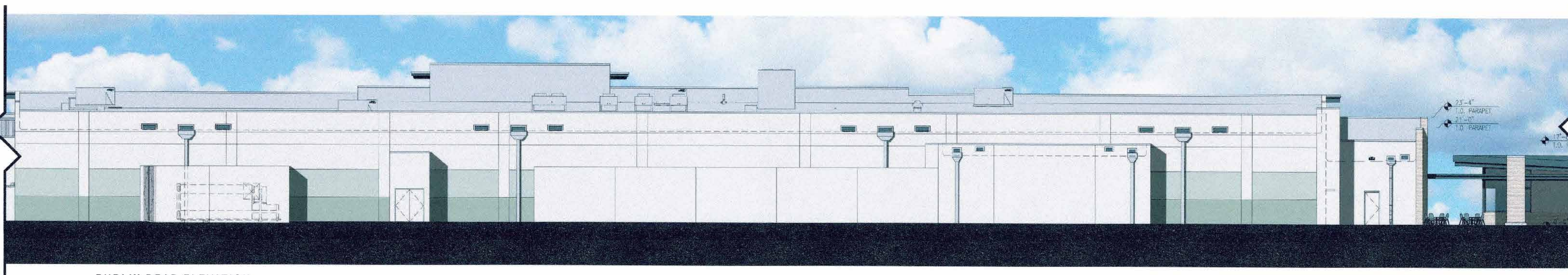
KIOSK LEFT ELEVATION

	PAINT		PAINT		PAINT		METAL		METAL		BRICK		WOOD
SW 7004 SNOW BOUND		SW 9548 SWEATER WEATHER		SW 9553 ALLEGORY		PAC CLAD SLATE GRAY		PAC CLAD MUSKET GRAY		GLEN GARY CHARLES - TON		KNOTWOOD CHESTNUT	

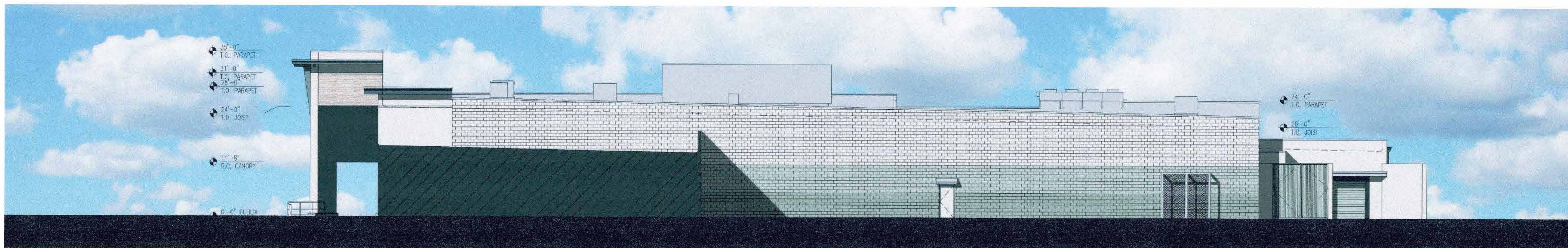




PUBLIX LEFT ELEVATION



PUBLIX REAR ELEVATION



PUBLIX RIGHT ELEVATION

	PAINT		PAINT		PAINT		METAL		METAL		BRICK		WOOD
SW 7004 SNOW BOUND		SW 9548 SWEATER WEATHER		SW 9553 ALLEGORY		PAC CLAD SLATE GRAY		PAC CLAD MUSKET GRAY		GLEN GARY CHARLES - TON		KNOTWOOD CHESTNUT	

ANASTASIA PLAZA PUBLIX
DESIGN DEVELOPMENT

ST. AUGUSTINE, FL

08.18.2023

FISHER
ARCHITECTS
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AA26001738

CONSTRUCTION PLANS FOR

ANASTASIA PLAZA PUBLIX REBUILD

1033 A1A BEACH BLVD ST. AUGUSTINE BEACH FL, 32080

SECTION 22 - TOWNSHIP 3 NORTH - RANGE 28 EAST

PARCEL ID: 181416 1110

cph

www.cphcorp.com

A Full Service
A & E Firm




5200 Belfort Road, Suite 220
Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA26000926
Landscape No. LC000298

WADE PRESTON OLSZEWSKI
LICENSE
No. 54068
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CELEBRATING
40
YEARS

ABBREVIATION/ SIGN LEGEND	CONSULTANTS	UTILITY PROVIDERS	APPROVAL AGENCIES	INDEX OF SHEETS	MAPS
<div><div><div>A/C</div><div>APPROX</div><div>ASPH</div><div>AVG</div><div>BFP</div><div>BLK</div><div>BLDG</div><div>BOC</div><div>BOW</div><div>C & G</div><div>CE</div><div>CAL</div><div>CMP</div><div>CO</div><div>CONC</div><div>DEPT</div><div>DS</div><div>ELEC</div><div>EM</div><div>ELEV</div><div>EOP</div><div>FDC</div><div>FDOT</div><div>FF</div><div>FG</div><div>PH</div><div>FM</div><div>FOC</div><div>FP&L</div><div>GOVT</div><div>HB</div><div>HC</div><div>HDPE</div><div>INV</div><div>IRR</div><div>ME</div><div>MES</div><div>MH</div><div>PVC</div><div>PWMT</div><div>R</div><div>RCP</div><div>REV</div><div>RAW</div><div>SF</div><div>SW</div><div>TOB</div><div>TOE</div><div>TV</div><div>TYP</div><div>UNK</div><div>UTL</div><div>WV</div><div>WV</div></div><div><div>-AIR CONDITIONER</div><div>-APPROXIMATE</div><div>-ASPHALT</div><div>-AVERAGE</div><div>-BACKFLOW PREVENTER</div><div>-BLOCK</div><div>-BUILDING</div><div>-BACK OF CURB</div><div>-BACK OF WALL</div><div>-CURB & GUTTER</div><div>-CONSTRUCTION ENTRANCE</div><div>-CENTERLINE</div><div>-CORRUGATED METAL PIPE</div><div>-CLEAN OUT</div><div>-CONCRETE</div><div>-DEPARTMENT</div><div>-DOWN SPOUT</div><div>-ELECTRIC</div><div>-ELECTRICAL METER</div><div>-ELEVATION</div><div>-EDGE OF PAVEMENT</div><div>-FIRE DEPARTMENT CONNECTION</div><div>-FLORIDA DEPARTMENT OF TRANSPORTATION</div><div>-FINISH FLOOR</div><div>-FINISH GRADE</div><div>-FIRE HYDRANT</div><div>-FORCE MAIN</div><div>-FACE OF CURB</div><div>-FLORIDA POWER AND LIGHT</div><div>-GOVERNMENT</div><div>-HOSE BIB</div><div>-ADA ACCESSIBLE</div><div>-HIGH DENSITY POLYETHYLENE PIPE</div><div>-INVERT</div><div>-IRRIGATION</div><div>-MATCH EXISTING ELEVATION</div><div>-MITERED END SECTION</div><div>-MANHOLE</div><div>-POLYVINYL CHLORIDE PIPE</div><div>-PAVEMENT</div><div>-RADIUS</div><div>-REINFORCED CONCRETE PIPE</div><div>-REVISION</div><div>-RIGHT-OF-WAY</div><div>-SQUARE FEET</div><div>-SIDEWALK</div><div>-TOP OF BANK</div><div>-TOE OF SLOPE</div><div>-TOP OF WALL</div><div>-TYPICAL</div><div>-UNKNOWN</div><div>-UNDERGROUND TELEPHONE LINES</div><div>-WITH</div><div>-WATER VALVE</div></div></div>	<p>OWNER MCW-RC-FL-ANASTASIA, LLC ONE INDEPENDENT DR., SUITE 114 JACKSONVILLE, FL 32202</p> <p>ENGINEER CPH, INC. 5200 BELFORD ROAD, SUITE 220 JACKSONVILLE, FLORIDA 32256 ATTN.: WADE P. OLSZEWSKI, P.E. (904) 332-0999</p> <p>SURVEYOR CPH, INC. 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN.: JEFF PATERSON, PSM (407) 322-6841</p> <p>LANDSCAPE ARCHITECT CPH, INC. 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN.: GALEN PUGH, RLA (407) 322-6841</p>	<p>ELECTRIC FLORIDA POWER AND LIGHT 303 HASTINGS ROAD ST AUGUSTINE, FL 32084 ATTN.: MICHAEL SPRUIELL (904) 824-7658</p> <p>WATER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN.: TERI SHOEMAKER, P.E. (904) 209-2652</p> <p>SEWER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN.: TERI SHOEMAKER, P.E. (904) 209-2652</p> <p>GAS FLORIDA PUBLIC UTILITIES P.O. BOX 418 FERNANDINA BEACH, FLORIDA 32035 (904) 261-3663</p>	<p>CITY OF ST. AUGUSTINE BEACH 2200 STATE ROAD A1A SOUTH ST. AUGUSTINE BEACH, FL 32080 (904) 484-9145</p> <p>WATER MANAGEMENT DISTRICT ST. JOHNS RIVER WATER MANAGEMENT DISTRICT 7775 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FLORIDA 32256 ATTN.: EVERETT FRYE (904) 448-7913</p> <p>STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION NORTHEAST DISTRICT 8800 BAYMEADOWS WAY WEST JACKSONVILLE, FLORIDA 32256 ATTN.: REVIEWER (904) 256-1700</p> <p>FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 2 1109 SOUTH MARION AVENUE LAKE CITY, FLORIDA 32025 ATTN.: LARRY BLAND, PSM (386) 961-7461</p> <p>ST. JOHNS COUNTY UTILITIES ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS 1205 STATE ROAD 16 ST. AUGUSTINE FL, 332084 ATTN.: TERI SHOEMAKER, P.E. (904) 209-2652</p>	<div><div>C0.1COVER SHEET</div><div>1 OF 5TOPOGRAPHIC SURVEY</div><div>2 OF 5TOPOGRAPHIC SURVEY</div><div>3 OF 5TOPOGRAPHIC SURVEY</div><div>4 OF 5TOPOGRAPHIC SURVEY</div><div>5 OF 5TOPOGRAPHIC SURVEY</div><div>C0.2GENERAL NOTES</div><div>C0.3GENERAL NOTES</div><div>C0.4ST. JOHN'S COUNTY UTILITIES GENERAL NOTES</div><div>C0.5OVERALL SITE PLAN</div><div>* C0.6PHASING PLANS</div><div>D0.1DEMOLITION PLAN</div><div>D0.2DEMOLITION PLAN</div><div>C1.1STORMWATER POLLUTION PREVENTION PLAN</div><div>C1.2STORMWATER POLLUTION PREVENTION PLAN</div><div>C1.3STORMWATER POLLUTION PREVENTION PLAN</div><div>C1.4SITE DIMENSION PLAN</div><div>C1.5SITE DIMENSION PLAN</div><div>* C1.5A TRUCK TURNING PLAN</div><div>* C1.5B ACCESSIBILITY PLAN</div><div>* C1.5C TEMPORARY SITE ACCESS AND STAGING PLAN</div><div>C1.6GRADING AND STORM DRAINAGE PLAN</div><div>C1.7GRADING AND STORM DRAINAGE PLAN</div><div>C1.8COMPOSITE UTILITY PLAN</div><div>C1.9COMPOSITE UTILITY PLAN</div><div>C2.0CONSTRUCTION DETAIL SHEET</div><div>C2.1CONSTRUCTION DETAIL SHEET</div><div>C2.2CONSTRUCTION DETAIL SHEET</div><div>C2.3ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS</div><div>C2.4ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS</div><div>C2.5ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS</div><div>C2.6ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS</div><div>C2.7ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS</div><div>C3.0PUBLIX DETAILS</div><div>LP-1LIGHTING PLAN</div><div>T1.1TREE RETENTION PLAN</div><div>T1.2TREE RETENTION PLAN</div><div>L-1LANDSCAPE PLAN</div><div>L-2LANDSCAPE PLAN</div><div>L5.0LANDSCAPE NOTES AND DETAILS</div></div> <div>* NOT INCLUDED IN THIS SET</div>	<div><div><div>VICINITY MAP SCALE: 1" = 2,000'</div></div><div><div><div>LOCATION MAP SCALE: 1" = 500'</div></div><div><div></div><div>VERTICAL DATUM: NAVD88</div></div></div></div>

OWNER

MCW-RC-FL-ANASTASIA, LLC

ONE INDEPENDENT DR, SUITE 114

JACKSONVILLE, FL 32202

ENGINEER

CPH, INC.

5200 BELFORT ROAD, SUITE 220

JACKSONVILLE, FLORIDA 32256

ATTN.: WADE P. OLSZEWSKI, P.E.

(904) 332-0999

SURVEYOR

CPH, INC.

500 WEST FULTON STREET

SANDFORD, FLORIDA 32771

ATTN.: JEFF PATERSON, PSM

(407) 322-6841

LANDSCAPE ARCHITECT

CPH, INC.

500 WEST FULTON STREET

SANDFORD, FLORIDA 32771

ATTN.: GALEN PUGH, RLA

(407) 322-6841

ELECTRIC

FLORIDA POWER AND LIGHT

303 HASTINGS ROAD

ST AUGUSTINE, FL 32084

ATTN.: MICHAEL SPRUIELL

(904) 824-7658

WATER

ST. JOHNS COUNTY UTILITY DEPARTMENT

1205 STATE ROAD 16

ST. AUGUSTINE, FL 32084

ATTN.: TERI SHOEMAKER, P.E.

(904) 209-2652

SEWER

ST. JOHNS COUNTY UTILITY DEPARTMENT

1205 STATE ROAD 16

ST. AUGUSTINE, FL 32084

ATTN.: TERI SHOEMAKER, P.E.

(904) 209-2652

GAS

FLORIDA PUBLIC UTILITIES

P.O. BOX 418

FERNANDINA BEACH, FLORIDA 32035

(904) 261-3663

CITY OF ST. AUGUSTINE BEACH

2200 STATE ROAD A1A SOUTH

ST. AUGUSTINE BEACH, FL 32080

(904) 484-9145

WATER MANAGEMENT DISTRICT

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

7775 BAY MEADOWS WAY, SUITE 102

JACKSONVILLE, FLORIDA 32256

ATTN.: EVERETT FRYE

(904) 448-7913

STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION

NORTHEAST DISTRICT

8800 BAY MEADOWS WAY WEST

JACKSONVILLE, FLORIDA 32256

ATTN.: REVIEWER

(904) 256-1700

FLORIDA DEPARTMENT OF TRANSPORTATION

DISTRICT 2

1109 SOUTH MARION AVENUE

LAKE CITY, FLORIDA 32025

ATTN.: LARRY BLAND, PSM

(386) 961-7461

ST. JOHNS COUNTY UTILITIES

ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS

1205 STATE ROAD 16

ST. AUGUSTINE FL, 322084

ATTN.: TERI SHOEMAKER, P.E.

(904) 209-2652

C0.1

COVER SHEET

1 OF 5

TOPOGRAPHIC SURVEY

2 OF 5

TOPOGRAPHIC SURVEY

3 OF 5

TOPOGRAPHIC SURVEY

4 OF 5

TOPOGRAPHIC SURVEY

5 OF 5

TOPOGRAPHIC SURVEY

C0.2

GENERAL NOTES

C0.3

GENERAL NOTES

C0.4

ST. JOHN'S COUNTY UTILITIES GENERAL NOTES

C0.5

OVERALL SITE PLAN

* C0.6

PHASING PLANS

D0.1

DEMOLITION PLAN

D0.2

DEMOLITION PLAN

C1.1

STORMWATER POLLUTION PREVENTION PLAN

C1.2

STORMWATER POLLUTION PREVENTION PLAN

C1.3

STORMWATER POLLUTION PREVENTION PLAN

C1.4

SITE DIMENSION PLAN

C1.5

SITE DIMENSION PLAN

* C1.5A

TRUCK TURNING PLAN

* C1.5B

ACCESSIBILITY PLAN

* C1.5C

TEMPORARY SITE ACCESS AND STAGING PLAN

C1.6

GRADING AND STORM DRAINAGE PLAN

C1.7

GRADING AND STORM DRAINAGE PLAN

C1.8

COMPOSITE UTILITY PLAN

C1.9

COMPOSITE UTILITY PLAN

C2.0

CONSTRUCTION DETAIL SHEET

C2.1

CONSTRUCTION DETAIL SHEET

C2.2

CONSTRUCTION DETAIL SHEET

C2.3

ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS

C2.4

ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS

C2.5

ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS

C2.6

ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS

C2.7

ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS

C3.0

PUBLIX DETAILS

LP-1

LIGHTING PLAN

T1.1

TREE RETENTION PLAN

T1.2

TREE RETENTION PLAN

L-1

LANDSCAPE PLAN

L-2

LANDSCAPE PLAN

L5.0

LANDSCAPE NOTES AND DETAILS

* NOT INCLUDED IN THIS SET

THE SIZE OF THESE PLANS MAY HAVE BEEN SLIGHTLY ALTERED BY REPRODUCTION PROCESSES, THIS MUST BE CONSIDERED WHEN SCALING ANY REPRODUCED PLANS FOR THE PURPOSE OF COLLECTING DATA.



VICINITY MAP

SCALE: 1" = 2,000'



LOCATION MAP

SCALE: 1" = 500'

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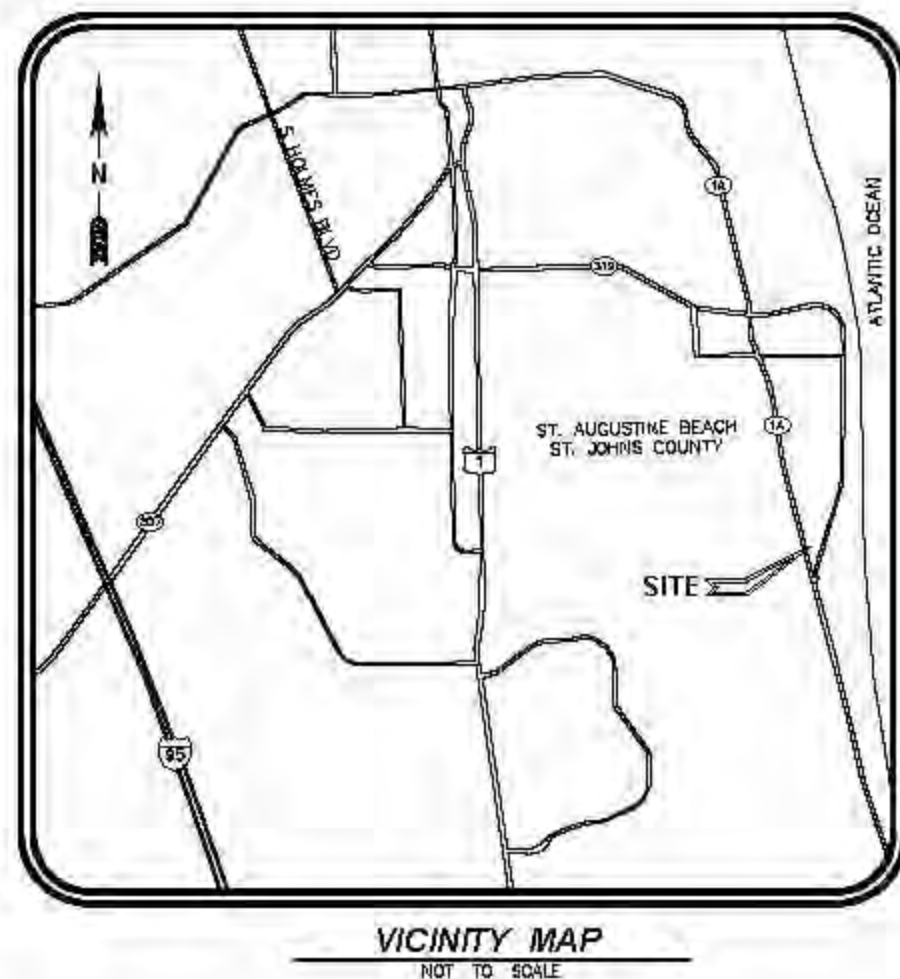
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VERTICAL DATUM: NAVD88

J:\P8123\CD\DWG\Current\Plan_Site\8123\COVER.dwg, 8/21/2023 8:05:25 AM, Schneider, David, cph - Standard.dwg



BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)
FOR
REGENCY CENTERS
AT
1001 A1A (BEACH BOULEVARD)
LYING IN
SECTION 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST
CITY OF ST. AUGUSTINE BEACH
ST. JOHNS COUNTY, FLORIDA



Legal Description: (EXHIBIT "A" OF PROPERTY INFORMATION REPORT, AS PROVIDED BY THE CLIENT)

PARCEL A
ALL THAT PORTION OF THE NORTH 1/2 AND THE SOUTH 1/2 OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, WHICH LIES BETWEEN COUNTY HIGHWAY A-1-A (ALSO KNOWN AS ALTERNATE A-1-A AND STATE HIGHWAY A-1-A BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS:
BEGIN AT THE INTERSECTION OF THE NORTHERLY LINE OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY A-1-A; THENCE SOUTH 13 DEGREES 08 MINUTES 00 SECONDS EAST ALONG SAID LINE, 930.96 FEET; THENCE SOUTH 88 DEGREES 56 MINUTES 58 SECONDS EAST, 247.84 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SAID COUNTY HIGHWAY A-1-A ALSO BEING A POINT ON A CURVE LEADING TO THE RIGHT; THENCE ALONG AND AROUND THE ARC OF SAID CURVE AND SAID RIGHT-OF-WAY LINE BEING CONCAVE EASTERLY AND HAVING A RADIUS OF 2404.8 FEET, AN ARC DISTANCE OF 48.31 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 18 DEGREES 11 MINUTES 5 SECONDS EAST, 48.31 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 18 DEGREES 51 MINUTES 20 SECONDS EAST CONTINUING ALONG SAID RIGHT-OF-WAY LINE, 907.99 FEET TO THE AFOREMENTIONED NORTHERLY LINE OF SAID SECTION 10; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, ALONG SAID LAST LINE, 220.83 FEET; THENCE SOUTH 01 DEGREES 06 MINUTES 30 SECONDS WEST, 49.76 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, 122.80 FEET; THENCE NORTH 01 DEGREES 06 MINUTES 30 SECONDS EAST, 49.75 FEET TO THE NORTHERLY LINE OF SAID SECTION 10; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, ALONG SAID LINE 425.88 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH
EASEMENT IN RECIPROCAL EASEMENT AGREEMENT, DATED NOVEMBER 5, 1993 AND RECORDED IN OFFICIAL RECORDS BOOK 1019, PAGE 2049 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

LESS AND EXCEPT:
THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND LYING IN AND BEING PART OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE NORTH BOUNDARY OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY A-1-A AND/OR STATE ROAD 3; THENCE S 13°06' 00" E, BY AND ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 421.45 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE S 13°06' 00" E BY AND ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET; THENCE, N.76°54' 00" E, AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26.00 FEET; THENCE N 13°06' 00" W AND PARALLEL WITH SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET; THENCE S 76°54' 00" W AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26.00 FEET TO SAID EASTERLY RIGHT-OF-WAY AND THE POINT OF BEGINNING.

PARCEL B
THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD A-1-A (ALSO KNOWN AS STATE ROAD NO. 3) WITH THE NORTHERLY LINE OF SAID SECTION 10; THENCE SOUTH 88 DEGREES 53 MINUTES 30 SECONDS EAST ALONG SAID NORTHERLY LINE, 425.88 FEET TO A 1/2" REBAR AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88 DEGREES 53 MINUTES 30 SECONDS EAST ALONG SAID NORTHERLY LINE, 122.80 FEET TO A 1/2" REBAR; THENCE SOUTH 01 DEGREE 06 MINUTES 30 SECONDS WEST 49.75 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST 122.80 FEET; THENCE NORTH 01 DEGREE 06 MINUTES 30 SECONDS EAST 49.75 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PART LYING IN ROAD RIGHT OF WAYS.

Abbreviation Legend:

(A)	= ACTUAL	MH	= MANHOLE
A/C	= AIR CONDITIONER	MLP	= METAL LIGHT POLE
ACSM	= AMERICAN CONGRESS ON SURVEYING & MAPPING	MPH	= MILES PER HOUR
ADA	= AMERICANS WITH DISABILITIES ACT	MPP	= METAL POWER POLE
ALTA	= AMERICAN LAND TITLE ASSOCIATION	N/A	= NOT APPLICABLE
APPROX	= APPROXIMATE	NAVD	= NORTH AMERICAN VERTICAL DATUM
ARV	= AIR RELEASE VALVE	NAD	= NORTH AMERICAN DATUM
AVE	= AVENUE	NG	= NATURAL GROUND
AVG	= AVERAGE	NGS	= NATIONAL GEODETIC SURVEY
(BB)	= BEARING BASIS	NGVD	= NATIONAL GEODETIC VERTICAL DATUM
BFP	= BACK FLOW PREVENTER	N & D	= NAIL AND DISK
BUL	= BLOCK	NR	= NON-RADIAL
BLDG	= BUILDING	NSPS	= NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
BLVD	= BOULEVARD	NT	= NON-TANGENT
BW	= BENCH MARK	NTS	= NOT TO SCALE
BWC	= BACK OF CURB	OD	= OUTSIDE DIAMETER
BOW	= BACK OF WALK	ORB	= OFFICIAL RECORDS BOOK
BSL	= BUILDING SETBACK LINE	OR	= OFFICIAL RECORDS
BWF	= BARBED WIRE FENCE	OUL	= OVERHEAD UTILITY LINES
C-X	= DENOTES SHEET NUMBERING FOR ENGINEERING PLANS	OTL	= OVERHEAD TRAFFIC LINES
(C)	= CALCULATED	(P)	= PLAT
CAD	= CADDED	PC	= PLAT BOOK
CATV	= CABLE TELEVISION RISER	PC	= POINT OF CURVATURE
CB	= CHORD BEARING	PC	= POINT OF COMPOUND CURVATURE
CB	= CONCRETE BLOCK STRUCTURE	PCC	= PERMANENT CONTROL POINT
CBS	= CERTIFIED CORNER RECORD	PFF	= PROPOSED FINISHED FLOOR
C&G	= CURB & GUTTER	PG	= PAGE
CI	= CATCH INLET	PGS	= PAGES
C/L	= CENTERLINE	PI	= POINT OF INTERSECTION
CL	= CHAIN LINK FENCE	PIV	= POST INDICATOR VALVE
CM	= CONCRETE MONUMENT	PK	= PARKER KAYLON
CMP	= CORRUGATED METAL PIPE	POB	= POINT OF BEGINNING
CMC	= CLEANOUT	POC	= POINT OF COMMENCEMENT
COR	= CORNER	POL	= POINT ON LINE
CORP	= CORRUGATED PLASTIC PIPE	PP	= POWER POLE
CUE	= COUNTY UTILITY EASEMENT	PRC	= POINT OF REVERSE CURVATURE
CWS	= CROSSWALK SIGNAL	PRM	= PERMANENT REFERENCE MONUMENT
Δ	= DELTA	PSM	= PROFESSIONAL SURVEYOR & MAPPER
(D)	= DESCRIPTION	PT	= POINT OF TANGENCY
DB	= DEED BOOK	PVC	= POLYVINYL CHLORIDE PIPE
DBH	= DIAMETER AT BREAST HEIGHT IN INCHES	PVMT	= PAVEMENT
DE	= DRAINAGE EASEMENT	R30E	= RANGE 30 EAST
DEPT	= DEPARTMENT	R	= RADIUS
DIP	= DUCTILE IRON PIPE	RAD	= RADIAL
DR	= DRIVE	RCP	= REINFORCED CONCRETE PIPE
D/U	= DRAINAGE AND UTILITY EASEMENT	REC	= RECOVERED
(E)	= ENGINEERING PLAN	REV	= REVISION
EJB	= ELECTRIC JUNCTION BOX	RP	= RIGHT-OF-WAY
ELEC	= ELECTRIC	R/W	= REGISTERED LAND SURVEYOR
ELEV	= ELEVATION	RLS	= RADIUS POINT
ELIP	= ELLIPTICAL	RP	= UNDERGROUND RECLAIM WATER LINE
EQ	= END OF INFORMATION	RWM	= RECLAIMED WATER METER
EOP	= EDGE OF PAVEMENT	SE	= SPECIAL EASEMENT
FB	= FIELD BOOK	SEC 10	= SECTION 10
FDOT	= FLORIDA DEPARTMENT OF TRANSPORTATION	SMH	= SANITARY SEWER MANHOLE
FISH	= FISH FLOOR	(SP)	= STATE PLANE
FG	= FLAT GRATE INLET	SG	= SQUARE
FGLP	= FIBERGLASS LIGHT POLE	SG FT	= SQUARE FEET
PHYD	= FIRE HYDRANT	ST	= STREET
FM	= FORCE MAIN	STW	= STORM DRAINAGE MANHOLE
FND	= FOUND	SWH	= SIDEWALK
FP&L	= FLORIDA POWER AND LIGHT	TB	= TANGENT BEARING
FS	= FLORIDA STATUTES	TBS	= TOWNSHIP 8 SOUTH
(G)	= GRID (STATE PLANE)	TEL	= TELEPHONE
GL	= UNDERGROUND GAS LINES	TEL	= OVERHEAD TRAFFIC SIGNAL LINES
GOVT	= GOVERNMENT	TOD	= TOP OF BANK
GRP	= GROUND PENETRATING RADAR	TOE	= TOE OF SLOPE
GTMH	= GREASE TRAP MANHOLE	TR	= TELEPHONE RISER
HDPE	= HIGH DENSITY POLYETHYLENE PIPE	TRANS	= TRANSFORMER
HWF	= HOG WIRE FENCE	TSB	= TRAFFIC SIGNAL BOX
ID	= IDENTIFICATION	TSSP	= TRAFFIC SIGNAL SUPPORT POLE
ICV	= IRRIGATION CONTROL VALVE	TVL	= UNDERGROUND CABLE TV LINES
INFO	= INFORMATION	(TVF)	= TYPICAL
INV	= INVERT	UE	= UTILITY EASEMENT
IP	= IRON PIPE	UNK	= UNKNOWN
IP&C	= IRON PIPE & CAP	UTL	= UNDERGROUND TELEPHONE LINES
IR	= IRON ROD	W	= WITH
IR&C	= IRON REBAR & CAP	W	= UNDERGROUND WATER LINE
IRR	= IRRIGATION	WLP	= WOOD LIGHT POLE
LB#	= ARC LENGTH	WM	= WATER METER
LCB	= LICENSED BUSINESS NUMBER	WP	= WORK PROGRAM
LP	= LIGHT POLE	WPF	= WOOD POST FENCE
(M)	= MEASURED	WPP	= WOOD POWER POLE
MB	= MAP BOOK	WV	= WOOD VALVE
MBX	= MAILBOX	Y	= YELLOW PAINT LINE
MES	= MITERED END SECTION		

Line Legend:

NOT TO SCALE

---	= 1 FOOT CONTOURS
---	= 5 FOOT CONTOURS
---	= ADJOINER PROPERTY LINES
---	= BARBED WIRE FENCE
---	= BROKEN LINE
---	= BURIED CABLE
---	= BURIED CABLE TELEVISION
---	= BURIED ELECTRIC
---	= BURIED FIBER OPTICS
---	= BURIED GAS
---	= BURIED RECLAIMED WATER LINE
---	= BURIED SANITARY LINES
---	= BURIED SANITARY SEWER FORCE MAIN LINE
---	= BURIED TRAFFIC CONTROL
---	= BURIED TELEPHONE LINE
---	= BURIED WATER LINES
---	= CENTER LINE R/W
---	= CHAIN LINK FENCE
---	= EASEMENT LINES (EXISTING)
---	= EASEMENT LINES (PROPOSED)
---	= EDGE OF WATER LINES
---	= EXISTING DRAINAGE PIPES (OUTFALL NOT LOCATED)
---	= EXISTING DRAINAGE PIPES
---	= FIRE WATER MAIN LINES
---	= HOT WATER SUPPLY LINES
---	= IRRIGATION LINES
---	= OVERHEAD TRAFFIC LINES
---	= OVERHEAD UTILITY LINES
---	= RAILROAD TRACKS
---	= RIGHT-OF-WAY LINES
---	= SECTION LINES
---	= STONE WALL LINES
---	= TOP OF BANK LINES
---	= TOE OF SLOPE LINES
---	= TREE LINES
---	= TRAVEL LINES
---	= UNKNOWN BURIED LINES
---	= VINYL FENCE
---	= WOOD FENCE
---	= WETLAND LINE
---	= ORANGE PAINT LINE
---	= GREEN PAINT LINE
---	= RED PAINT LINE
---	= WHITE PAINT LINE
---	= PURPLE PAINT LINE
---	= BLUE PAINT LINE
---	= YELLOW PAINT LINE

Symbol Legend:

NOT TO SCALE

---	= AIR RELEASE VALVE	---	= LIGHT POLE (DUAL)
---	= BORING HOLE LOCATION	---	= LIGHT POLE (TRIPLE)
---	= BRICK PAVES	---	= LIGHT POLE (QUAD)
---	= CABLE TV RISER	---	= MAILBOX
---	= CENTRAL ANGLE	---	= MONITOR WELLS
---	= CLEAN OUT	---	= NAIL & DISC (AS NOTED)
---	= CONCRETE	---	= PARKING SPACES (2)
---	= CONCRETE LIGHT POLE	---	= PULL BOX (AS NOTED)
---	= CONCRETE LIGHT POLE (DUAL)	---	= REVISION NUMBER (3)
---	= CONCRETE LIGHT POLE (TRIPLE)	---	= RECLAIMED WATER METER
---	= CONCRETE LIGHT POLE (QUAD)	---	= RECLAIMED WATER VALVE
---	= CONCRETE MITERED END SECTION	---	= ROOF DRAIN
---	= CONCRETE PAVERS	---	= SANITARY SEWER MANHOLE
---	= CONCRETE RIP RAP	---	= SANITARY SEWER VALVE
---	= CONCRETE UTILITY POLE	---	= SCHEDULE B ITEM NUMBER (8)
---	= COUNTY ROAD SYMBOL	---	= SECTION CORNER
---	= CROSSWALK SIGNAL POLE	---	= 4" X 4" CM LB #7143
---	= DETECTABLE WARNING AREA	---	= 5/8" IR20 LB #7143
---	= DUAL SUPPORT SIGN	---	= SIGN
---	= ELECTRICAL MANHOLE	---	= SITE BENCH MARK
---	= ELECTRICAL METER	---	= STORM SEWER MANHOLE
---	= ELECTRICAL JUNCTION BOX	---	= STRIPING (DIRECTIONAL)
---	= ELECTRIC OUTLET	---	= TELEPHONE CABLE RISER
---	= ELECTRIC RISER	---	= TELEPHONE MANHOLE
---	= FIBER OPTIC MARKER	---	= TELEPHONE JUNCTION BOX
---	= FIRE HYDRANT	---	= TEST HOLE
---	= LIGHT LIGHT	---	= TRAFFIC SIGNAL BOX
---	= FOUND CONCRETE MONUMENT (AS NOTED)	---	= TRAFFIC SIGNAL SUPPORT POLE
---	= FOUND IRON PIPE (AS NOTED)	---	= UNKNOWN MANHOLE
---	= FOUND IRON REBAR (AS NOTED)	---	= UNKNOWN UTILITY MARKER
---	= FOUND/SET NAIL (AS NOTED)	---	= UNKNOWN VALVE
---	= GARBAGE CAN	---	= VENT (AS NOTED)
---	= GAS MARKER	---	= WATER METER
---	= GAS VALVE	---	= WATER SERVICE
---	= GOPHER TORTOISE HOLE	---	= WATER SPIGOT
---	= GRATE INLET	---	= WATER SPRINKLER
---	= GRAVEL/DIRT	---	= WATER VALVE
---	= GREASE TRAP MANHOLE	---	= WELL
---	= GUY ANCHOR	---	= WETLAND FLAG
---	= HANDICAP PARKING SPACE	---	= WOOD UTILITY POLE
---	= INTERSTATE SYMBOL	---	= WATER LINE MARKER
---	= IRRIGATION CONTROL VALVE	---	= WIRE HEIGHTS (SEE CHART)
---	= LIGHT POLE		

Sign Legend:

NOT TO SCALE

(R1)	= ROW NUMBER SIGN
(B)	= BUS STOP SIGN
(DE)	= DEAD END SIGN
(ONE)	= DO NOT ENTER SIGN (R5-1)
(HC)	= HANDICAP SIGN
(HC)	= DUAL HANDICAP SIGN
(INFO)	= INFORMATION SIGN
(KR)	= KEEP RIGHT SIGN
(LTO)	= LEFT TURN ONLY
(ME)	= MEDIAN SIGN
(ND)	= NO DUMPING SIGN
(NL)	= NO LEFT TURN SIGN (R3-2)
(NL)	= NO LITTERING SIGN
(NO)	= NO OUTLET SIGN
(FL)	= NO PARKING FIRE LANE SIGN
(NORP)	= NO RIGHT TURN SIGN (R3-1)
(NTT)	= NO THRU TRAFFIC SIGN
(NDT)	= NO TRUCKS (R5-2)
(NP)	= NO PARKING SIGN
(TW)	= ONE WAY SIGN (R6-2)
(PE)	= PEDESTRIAN CROSSING SIGN
(RTO)	= RIGHT TURN ONLY
(SL)	= SPEED LIMIT SIGN
(ST)	= STOP SIGN (R1-1)
(SS)	= STREET SIGN
(T2)	= TOW AWAY ZONE SIGN
(TE)	= TRUCK ENTRANCE SIGN
(U)	= UNKNOWN SIGN
(WL)	= WEIGHT LIMIT SIGN
(WW)	= WRONG WAY SIGN
(Y)	= YIELD SIGN

Reference Material

- 1) PLAT OF SEVILLA GARDENS, AS RECORDED IN MAP BOOK 4, PAGE 24 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.
- 2) PLAT OF WHISPERING OAKS, AS RECORDED IN MAP BOOK 34, PAGES 11-13 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.
- 3) PLAT OF WHISPERING OAKS III, AS RECORDED IN MAP BOOK 41, PAGES 18-19 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.
- 4) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE ROAD NO. A1A, SECTION NO. 78040-2509, DATED 11-22-93.
- 5) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE ROAD NO. 3/ANASTASIA BOULEVARD, SECTION NO. 78040-2551, DATED 6-14-94.

NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.

TITLE BLOCK ABREVIATIONS
ENG = ENGINEERING L.R. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION (N/A) = ARCHITECTURAL
LANDSCAPE = LANDSCAPE N/A = NOT APPLICABLE LIC = LICENSED
NO = NUMBER P.O. = POST OFFICE © = COPYRIGHT

Survey Notes:

- 1) "SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
- 2) "ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES."
- 3) THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.
- 4) THE LAST DAY FIELD WORK WAS PERFORMED WAS 2/1/18; ALL BOUNDARY CORNERS WERE RECOVERED OR SET AS NOTED HEREON.
- 5) THE "LEGAL DESCRIPTION" HEREON IS BASED ON INFORMATION CONTAINED IN THE PROPERTY INFORMATION REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER: 6713739, REPORT DATE DECEMBER 20, 2017 AT 5:00 P.M. AND WAS PROVIDED BY THE CLIENT.
- 6) BEARINGS SHOWN HEREON ARE RELATIVE TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY A-1-A (S.R. NO. 3), ACCORDING TO THE DEED AS RECORDED IN OFFICIAL RECORDS BOOK 3567, PAGE 682 OF THE OFFICIAL RECORDS OF ST. JOHNS COUNTY, FLORIDA, AS BEING S 13°06'00" E.
- 7) HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 121080384H, CITY OF ST. AUGUSTINE BEACH, ST. JOHNS COUNTY, REVISED DATE SEPTEMBER 2, 2004, THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE X SHADED WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, NAVD '88, THIS DETERMINATION WAS BASED ON GEOSPATIAL DATA DOWNLOADED FROM WWW.FEMA.GOV AND THE SHAPE FILE DISPLAYED HEREON WAS REFERENCED TO ABOVE GROUND IMPROVEMENTS. THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.
- 8) THE APPARENT USE OF THE LAND, AS CLASSIFIED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FS 472.022, ESTABLISHES THAT THE MINIMUM RELATIVE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY MEET THE HORIZONTAL CONTROL ACCURACY OF 1"/10,000 FEET FOR A COMMERCIAL/HIGH RISK SURVEY. THE MEASUREMENTS AND CALCULATIONS OF THE CLOSED GEOMETRIC FIGURES WERE FOUND TO MEET THIS ACCURACY REQUIREMENT. THE EQUIPMENT USED TO VERIFY THE HORIZONTAL CONTROL ON THE SUBJECT SURVEY WAS A TOPCON TOTAL STATION MODEL# GPT-3005W, AND A TOPCON GPS HIPER PRO.
- 9) HORIZONTAL WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.05 (FT). THE EQUIPMENT USED TO LOCATE THE FEATURES WAS A TOPCON TOTAL STATION MODEL# GPT-3005W, AND A TOPCON GPS HIPER PRO.
- 10) UNLESS OTHERWISE NOTED, ALL RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION CONTAINED IN THE PROPERTY INFORMATION REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, REPORT NO. 6713739, REPORT DATE DECEMBER 20, 2017 AT 5:00 P.M. AND WAS PROVIDED BY THE CLIENT.
- 11) NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
- 12) THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES.
- 13) FENCES EXISTING ON, OVER OR ADJACENT TO SUBJECT PROPERTY, ARE DISPLAYED HEREON; OWNERSHIP WHETHER SINGULAR OR JOINT WAS NOT DETERMINED BY THIS SURVEY.
- 14) VERTICAL FEATURE ACCURACY: "ELEVATIONS OF WELL-IDENTIFIED FEATURES CONTAINED IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.05 (FT)."
- 15) DIMENSIONS ARE SHOWN RELATIVE TO UNITED STATES STANDARD FEET AND DECIMALS THEREOF, UNLESS THE OBJECT SHOWN IS COMMONLY IDENTIFIED IN INCHES, I.E. TREE DIAMETER, PIPE DIAMETER, ETC. TREES DEPICTED ARE COMMON NAMES AND MEASURED AND LABELED AS DIAMETER AT BREAST HEIGHT IN INCHES.
- 16) CERTAIN INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR AS NOTED OR DISPLAYED HEREON.
- 17) THE UNDERGROUND UTILITIES DEPICTED BY PIPE LINES TYPES ARE APPROXIMATE IN NATURE BASED UPON AN INSPECTION OF THE MANHOLE, GRATE, ETC. OF EACH FACILITY. EXISTING PIPES WERE NOT LAMPED OR REMOTELY VIEWED FOR DIRECTION, OBSTRUCTIONS OR CONNECTIVITY.

Parking Table

STANDARD SPACES =	452
ACCESSIBLE HANDICAP SPACES =	18
TOTAL SPACES =	468

Index of Sheets

1	ALTA/NSPS LAND TITLE SURVEY (COVER SHEET)
2	ALTA/NSPS LAND TITLE SURVEY (COVER SHEET)
3	ALTA/NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY)
4	ALTA/NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY)

Surveyor's Certification:

Certified to: 2381 PARTNES, LLC AND CHICAGO TITLE INSURANCE COMPANY)

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 8-9 and 13 of Table A thereof. The field work was completed on February 1, 2018.

Also:
I hereby certify that the attached "ALTA/NSPS Land Title Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on February 1, 2018. I further certify that this "Boundary & Topographic Survey" meets the standards of practice set forth in Rule Chapter 5J-17 of the Florida Administrative Code pursuant to FS 472.022.

For the Firm By: Jeffrey W. Patterson
Professional Surveyor and Mapper
Florida Registration No. 5384

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Field Crew:	Drawn by:	Checked by:	Approved by:	Scale:	Date:	Job No.:	File:
D.A.S.	B.B.	R.L.R.	J.W.P.	N/A	02/01/18	R9114.1	© 2013
Survey Prepared By: CPH, Inc.							
520 Palm Coast Parkway SW Palm Coast, FL 32137 Ph: 386.445.8569 Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. A4068826 Landscape Lic. No. LC088828							

BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)
REGENCY CENTERS
1001 A1A (BEACH BOULEVARD)
SECTION 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST
CITY OF ST. AUGUSTINE, ST. JOHNS COUNTY, FLORIDA

1. LIMITED WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 675. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
2. PARTNERSHIP AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 678. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
3. CERTIFICATE OF MERGER RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 681. (NOT A SURVEY MATTER)
4. TRUSTEE'S AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 684. (DOCUMENTATION MISSING) (NO DETERMINATION)
5. MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 1869, PAGE 1000. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
6. LLC AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1899. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
7. MORTGAGE AND SECURITY AGREEMENT DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1704, SECURING THE ORIGINAL PRINCIPAL AMOUNT OF \$4,480,000.00. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
8. ASSIGNMENT OF LEASES AND RENTS DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1741. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
9. UCC-1 FINANCING STATEMENT LISTING MCW-RC FL-ANASTASIA, LLC, AS DEBTOR AND DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, AS SECURED PARTY AND RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1753. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
10. SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
11. AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 1969, PAGE 1687. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
12. ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2001, PAGE 1591. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
13. ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 476. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
14. CORRECTED ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 481. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
15. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2013, PAGE 746. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
16. RE-RECORDED ASSIGNMENT OF LEASES AND RENT RECORDED IN OFFICIAL RECORDS BOOK 2014, PAGE 1410. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
17. CORRECTED AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 467. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
18. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2112, PAGE 759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
19. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 2175, PAGE 1179. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
20. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2329, PAGE 1831. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
21. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2458, PAGE 886. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
22. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2458, PAGE 887. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
23. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2485, PAGE 1416. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
24. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2543, PAGE 1869. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
25. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2584, PAGE 308. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
26. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2637, PAGE 443. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
27. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2659, PAGE 1227. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
28. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2696, PAGE 293. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
29. ASSIGNMENT OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 2783, PAGE 1166. (NOT A SURVEY MATTER)
30. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2953, PAGE 1779. (NOT A SURVEY MATTER)
31. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2973, PAGE 432. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
32. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2976, PAGE 603. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
33. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 2983, PAGE 545. (NOT A SURVEY MATTER)
34. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3009, PAGE 40. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
35. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3042, PAGE 1293. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

72. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4151, PAGE 684. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

73. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4157, PAGE 479. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

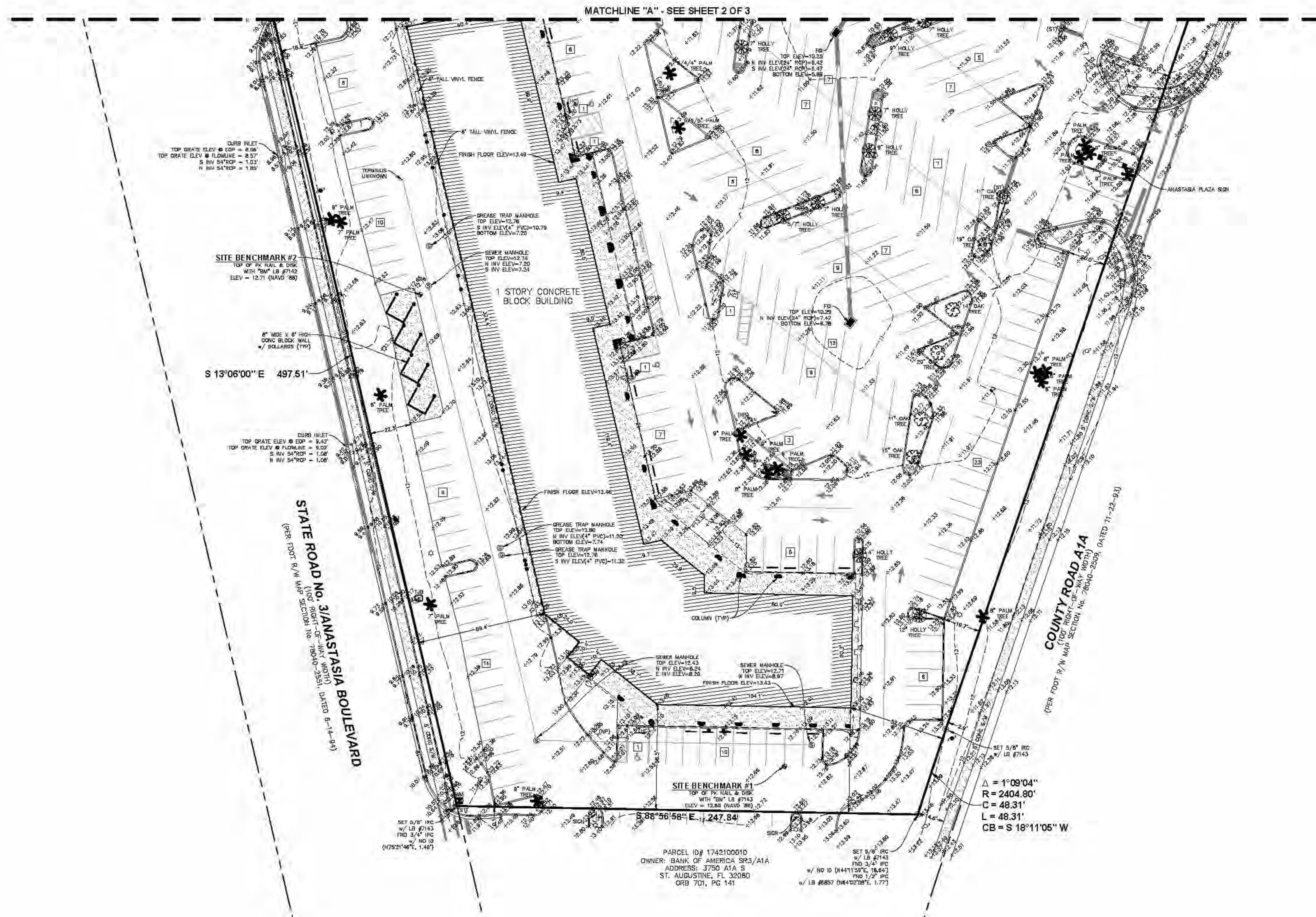
74. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 4232, PAGE 1732. (NOT A SURVEY MATTER)

75. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 4407, PAGE 390. (NOT A SURVEY MATTER)

TITLE BLOCK ABBREVIATIONS
 Eng = ENGINEERING L.B. = LICENSED BUSINESS
 C.O.A. = CERTIFICATE OF AUTHORIZATION Arch = ARCHITECTURAL
 Landscp = LANDSCAPE N/A = NOT APPLICABLE Lic. = LICENSED
 No. = NUMBER P.O. = POST OFFICE © = COPYRIGHT







NOTE:

THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.

THIS BLOCK REPRESENTS
S = SURVEYING L.B. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION A.S. = ARCHITECTURAL
Landscape = LANDSCAPE N/A = NOT APPLICABLE Lic. = LICENSED
No. = NUMBER P.O. = POST OFFICE © = COPYRIGHT

10. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
11. ALL MANHOLES AND CLEAN OUTS CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS AND COVERS.
12. MANHOLE COATINGS AND FINISHES SHALL BE:
 - A. SANITARY SEWER MANHOLE INTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.
 - B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE MAIN DISCHARGE - INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, FIBERGLASS LINER - LINER THICKNESS TO BE IN ACCORDANCE WITH THE DRAWINGS.
 - C. EXTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.

1. REINFORCE CONCRETE PIPE (RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND RUBBER GASKETS SHALL COMPLY WITH FDOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.
2. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN COMPLETED.
3. UNDERDRAIN PIPE SHALL BE PERFORMED POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 IN ACCORDANCE WITH SPECIFICATIONS SECTION 985.
4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 139, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 430-001. PROVIDE MINIMUM 12" OVERLAP.
5. INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES: MINIMUM COVER SHALL BE 36 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER; B) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 1A OR 1B AS DEFINED IN ASTM D2321: MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.
6. INSTALL UNDERDRAINS IN ACCORDANCE WITH FDOT SPECIFICATION SECTION 940. INSTALL ALL CLEANOUTS AS SHOWN ON THE DRAWINGS.
7. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 9H - 4" x 4"). RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FOOT STANDARD PLANS INDEX 705-001.
3. PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATION SECTION 971. NON-REFLECTIVE WHITE TRAFFIC PAINT, TWO COATS.
4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN THREE-INCH LETTERS.
5. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION.
7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WIRING, ETC..
8. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION.
9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

1. STEEL CASING PIPE SHALL CONFORM TO ASTM A319, GRADE "B" WITH MINIMUM YIELD STRENGTH OF 35,000 PSI. INTERIOR LINING OF PIPE SHALL BE A COAL TAR LINING CONFORMING TO AMMA C203. EXTERIOR COATING OF PIPE SHALL BE MULTIPLE COATS OF HEAVY DUTY COAL TAR BASE COATING BUILT UP TO 30 MILS TOTAL DRY THICKNESS AND APPLIED IN ACCORDANCE WITH THE COATING MANUFACTURER'S RECOMMENDATIONS.
2. EACH SPACER SHALL BE 1/2 INCHES WIDE AND MANUFACTURED OF MINIMUM 14 GAUGE TYPE 304 STAINLESS STEEL OR 14 GAUGE TYPE 316 STAINLESS STEEL. EACH SPACER SHALL BE LINED WITH A 30 MIL PVC LINER. ALL NUTS AND BOLTS SHALL BE 1-304 STAINLESS STEEL. EACH SPACER SHALL HAVE A MINIMUM OF 4 RUNNER SUPPORTS MANUFACTURED OF AROMATIC MOLECULAR WEIGHT POLYMER PLASTIC. THE RUNNER SUPPORTS SHALL BE 1/4" DIA STAINLESS STEEL, MINIMUM 10 GAUGE, OF ADEQUATE HEIGHT TO POSITION THE CARRIER PIPE IN THE CENTER OF CASING WITH A MINIMUM TOP CLEARANCE OF 0.5 INCHES.
3. ADD ON SECTIONS OF CASINO PIPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATER-TIGHT TO THE PRECEDING JOINTS. ALL WELDING OF CASINO PIPE SHALL BE DONE BY COMPETENT, EXPERIENCED WELDERS. WELDING SHALL BE DONE IN ACCORDANCE WITH AMMA C203.
4. CASING PIPE WALL MINIMUM WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 24" = 0.250; 30" = 0.312; 36" = 0.375; 42" AND 48" = 0.500. AT RAILROAD CROSSINGS, CASING PIPE WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 18" = 0.350; 20" = 0.281; 24" = 0.312; 30" = 0.406; 36" = 0.469. UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS, THE MINIMUM CASING PIPE DIAMETER SHALL BE BASED ON THE SIZE OF THE CARRIER PIPE NOMINAL DIAMETER AS FOLLOWS: WHERE CARRIER IS 8", THEN MINIMUM CASING IS 16"; WHERE CARRIER IS 8", THEN MINIMUM CASING IS 20"; WHERE CARRIER IS 12", THEN MINIMUM CASING IS 24"; WHERE CARRIER IS 12" OR 16", THEN MINIMUM CASING IS 30"; WHERE CARRIER IS 20", THEN MINIMUM CASING IS 36".
5. BORED INSTALLATIONS SHALL HAVE A HOLE DIAMETER WHICH SHALL NOT EXCEED THE O.D. OF THE CASINO PIPE (INCLUDING COATING) BY MORE THAN ONE INCH. WHERE UNSTABLE SOIL CONDITIONS ARE FOUND TO EXIST, BORING OPERATIONS SHALL BE CONDUCTED IN SUCH MANNER AS NOT TO BE DETRIMENTAL TO THE FACILITY BEING CROSSED. IF EXCESSIVE VOIDS OR TO LARGE A BORED HOLE RESULTS, OR IT IS NECESSARY TO ABANDON A BORED HOLE, PROPER REMEDIAL MEASURES SHALL BE TAKEN BY THE CONTRACTOR, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CONTROLLING AGENCY OF THE FACILITY BEING CROSSED.
6. CORRECT LINE AND GRADE SHALL BE MAINTAINED. ADD ON SECTIONS OF CASINO PIPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATER-TIGHT. TOTAL PIPE STRENGTH JOINTS, FOLLOWING PLACEMENT OF THE CARRIER PIPE, MASONRY PLUGS SHALL BE INSTALLED AT EACH OPEN END, WITH A WEEP HOLE INSTALLED NEAR THE BOTTOM OF THE PLUG.
7. UNLESS OTHERWISE SHOWN ON THE PLANS, INSTALL CASINO AT MINIMUM OF 36-INCH COVER.
8. CARRIER PIPES INSIDE OF STEEL CASING PIPE SHALL BE SUPPORTED BY CASING SPACERS. CARRIER PIPE JOINTS INSIDE OF STEEL CASING PIPE SHALL BE RESTRAINED.
9. SPACERS ALONG DUCTILE IRON CARRIER PIPE SHALL BE PLACED NO MORE THAN 2 FEET FROM THE END OF THE CASING, WITH SUBSEQUENT SPACER PLACEMENT AT INTERVALS OF NO MORE THAN 10 FEET.
10. SPACERS ALONG PVC CARRIER PIPE SHALL BE PLACED NEAR THE SPOOT END OR EACH SEGMENT OF PIPE, WHEN THE JOINT IS COMPLETE, THE SPACER SHALL BE IN CONTACT WITH THE JOINT RESTRAINT ASSEMBLY SO THAT THE SPACER PUSHES THE JOINT RESTRAINT ASSEMBLY. SUBSEQUENT SPACER PLACEMENT ALONG PVC PIPE SHALL BE AT INTERVALS OF NO MORE THAN 8 FEET.
11. THE USE OF WOOD SKIDS IN LIEU OF SPACERS IS NOT ALLOWED.
12. THE CARRIER MAY BE PUSHED OR PULLED (DEPENDING UPON PIPING MATERIAL, JOINT TYPE AND METHOD OF PIPE SUPPORT) INTO THE CASING AS PIPE LENGTHS ARE ASSEMBLED. THE CARRIER SHALL BE ADEQUATELY BLOCKED ALL AROUND TO PREVENT ANY MOVEMENT OF THE CARRIER WITHIN THE CASING. THE PROPOSED METHOD OF CARRIER PIPE INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO STARTING THE CROSSING.

1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.
3. SIDEWALKS SHALL BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.
4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. ALL CURBS SHALL HAVE SAW CUT CONSTRUCTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
5. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAVING PER 24 FT WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE, WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DETERMINED BY THE ENGINEER. ASPHALT EXTRACTION GRAVIMETER SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONE PER DAY).

1. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 21" IN DIAMETER OR LESS. INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED.
2. BASES SHALL BE ONE-PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INTEGRAL INVERTS WITH GASKETS TO MATCH THE PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STEPS WITH JOINTS TO MATCH THE PIPE.
3. RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER UNLESS OTHERWISE INDICATED, AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES.
4. GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942.2, UNLESS OTHERWISE INDICATED.
5. UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24-INCH DIAMETER OPENING, UNLESS OTHERWISE INDICATED.
6. PROVIDE A FLEXIBLE WATER TIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL BE WITH WATER TIGHT CONNECTION PER ASTM C925. WHERE CONNECTORS ARE USED, THEY SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS PROHIBITED.
7. FRAMES AND COVERS SHALL BE GREY/IRON PER ASTM A46, CLASS 300 AND SHALL BE U.S. FOUNDRY TYPE 227AS; TRAFFIC BARS SHALL BE 3/8" X 3/8" X 12" UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BUSTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM," "SEWER," OR AS DETAILLED ON THE DRAWINGS.
8. PROVIDE INLETS, FRAMES, AND GRATES IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL.
9. ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYE BOLT TO THE TOP OF THE STRUCTURE.

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GENERAL NOTES

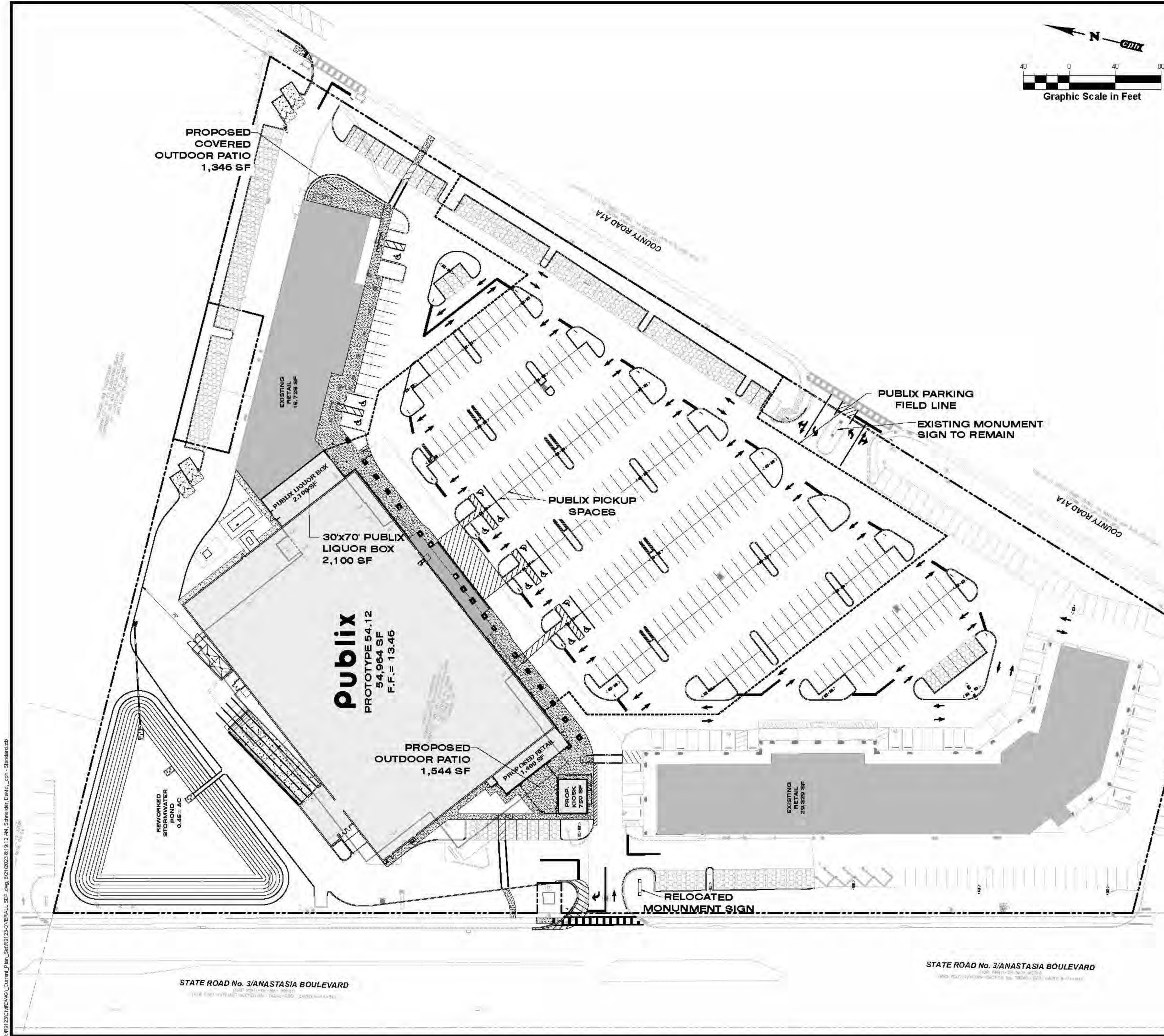
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CITY OF ST. AUGUSTINE BEACH, FLORIDA

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SITE DATA

REAL ESTATE NO: 1742000020
PARCEL AREA: 10.62 AC

EXISTING PARKING CALCULATION

PUBLIX AREA = 48,555 SF
RETAIL AREA = 55,663 SF
TOTAL AREA = 104,218 SF

EXISTING PARKING = 468 PARKING SPACES
EXISTING PARKING RATIO =
468 SPACES / 104,218 SF = 4.49 SPACES / 1,000 SF

PROPOSED PARKING CALCULATION

PUBLIX AREA = 54,964 SF
RETAIL AREA = 48,761 SF
TOTAL AREA = 103,725 SF

PROPOSED PARKING = 481 PARKING SPACES
PROPOSED PARKING RATIO =
481 SPACES / 103,725 SF = 4.64 SPACES / 1,000 SF

REQUIRED PARKING - SHOPPING CENTER

1 SPACE PER 250 SF GFA
103,725 / 250 = 415 SPACES REQUIRED

PERVIOUS PARKING/PAVERS
100% CREDIT IMPERVIOUS

PERVIOUS / IMPERVIOUS AREAS:

PRE DEVELOPMENT:			
PERVIOUS AREA:	88,186 S.F.	(2.02 A.C.)	(19.06%)
IMPERVIOUS AREA:	374,469 S.F.	(8.60 A.C.)	(80.94%)
TOTAL SITE AREA:	462,635 S.F.	(10.62 A.C.)	(100.00%)
POST DEVELOPMENT:			
PERVIOUS AREA:	98,963 S.F.	(2.27 A.C.)	(21.37%)
GRASS	81,102 S.F.	(1.86 A.C.)	(17.51%)
PERVIOUS PAVERS	17,861 S.F.	(0.41 A.C.)	(3.86%)
IMPERVIOUS AREA:	363,672 S.F.	(8.35 A.C.)	(78.63%)
TOTAL SITE AREA:	462,635 S.F.	(10.62 A.C.)	(100.00%)



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Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298



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Designed: W. Olszewski

Drawn: D. Schneider

Checked: W. Olszewski

Job No.: R9123

Date: 6/05/23

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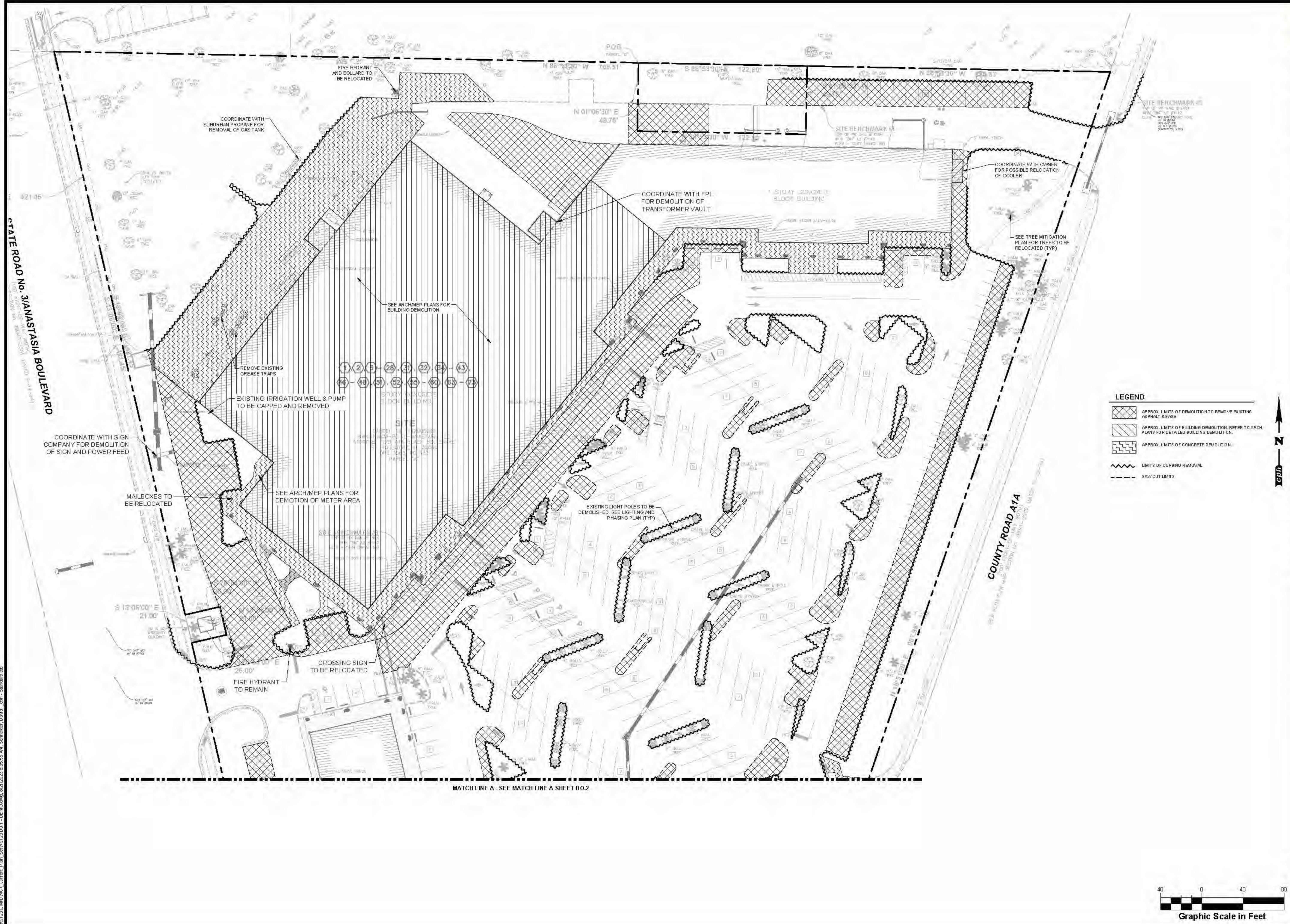
OVERALL SITE PLAN - EXHIBIT A

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CITY OF ST. AUGUSTINE BEACH, FLORIDA

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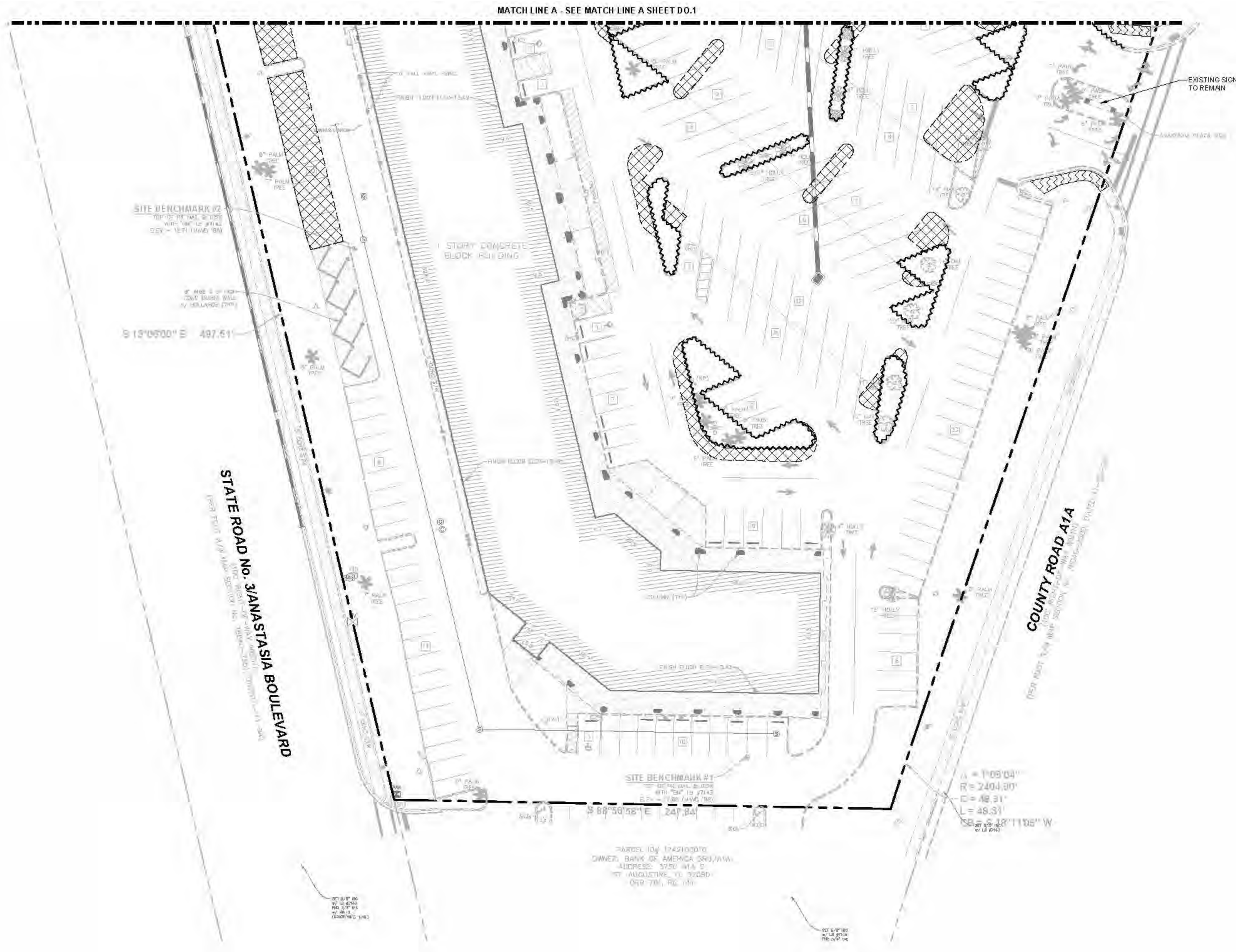
Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

DEMOLITION PLAN
regency centers
CITY OF ST. AUGUSTINE BEACH, FLORIDA

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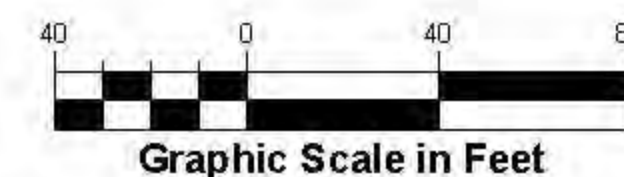


LEGEND

- APPROX. LIMITS OF DEMOLITION TO REMOVE EXISTING ASPHALT & PAVE
- APPROX. LIMITS OF BUILDING DEMOLITION. REFER TO ARCH. PLANS FOR DETAILED BUILDING DEMOLITION.
- APPROX. LIMITS OF CONCRETE DEMOLITION.
- APPROX. LIMITS OF MILLING AND RESURFACING.
- LIMITS OF CURBING REMOVAL
- SAW CUT LIMITS

DEMOLITION NOTES

- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- CHAPTER 483.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
- THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED.
 - DEMOLITION AND REMOVAL OF EXISTING CONC. BLOCK BUILDING
 - DEMOLITION AND REMOVAL OF EXISTING ON SITE ASPHALT, CONCRETE PAVING AND CURBING TO LIMITS SHOWN
 - REMOVAL OF EXISTING ON SITE ABOVE-GROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL AND/OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
- PRIOR TO REMOVAL OF ANY UNDERGROUND SEWAGE TANK AND COMPONENTS FROM SERVICE, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL AT AN APPROVED LOCATION AND IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS.
- ALL ON SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVER EXCAVATED BY A MINIMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE OF CLEAN, FINE SAND, ASH TO CLASS A3 AND SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557).
- ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS, STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.
- AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR WORK.
- CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION CAUTION PROCESS.
- REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
- PAVEMENT REMOVAL
 - WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF CONSTRUCTION RESULTS IN FAWLING OF THE SAW-CUT SURFACE, RE-CUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
 - WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY CUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAW PAVEMENT, ETC., SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING PLANTS IS TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED BY THE OWNER.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING. ALL OTHER EXIST. UTILITIES INCLUDING: STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, WATER & SEWER SHALL BE PRESERVED & PROTECTED.
- CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THIS SHEET BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.



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Surveyor No. 18743
Architect No. AA26000926
Landscape No. LC000298



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Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

DEMOLITION PLAN

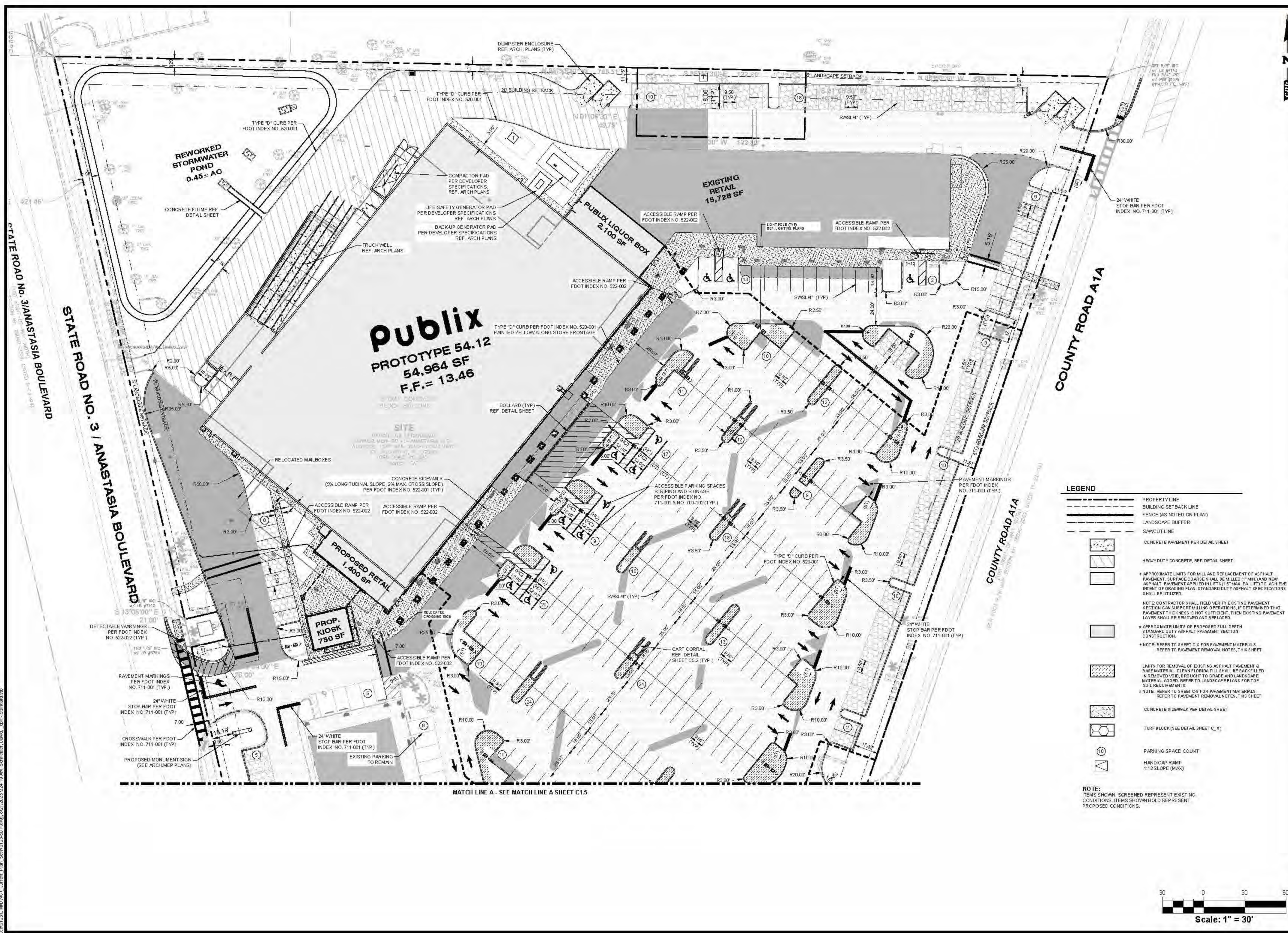
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CITY OF ST. AUGUSTINE BEACH, FLORIDA

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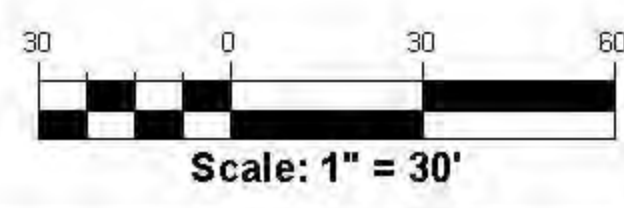
SITE DIMENSION PLAN

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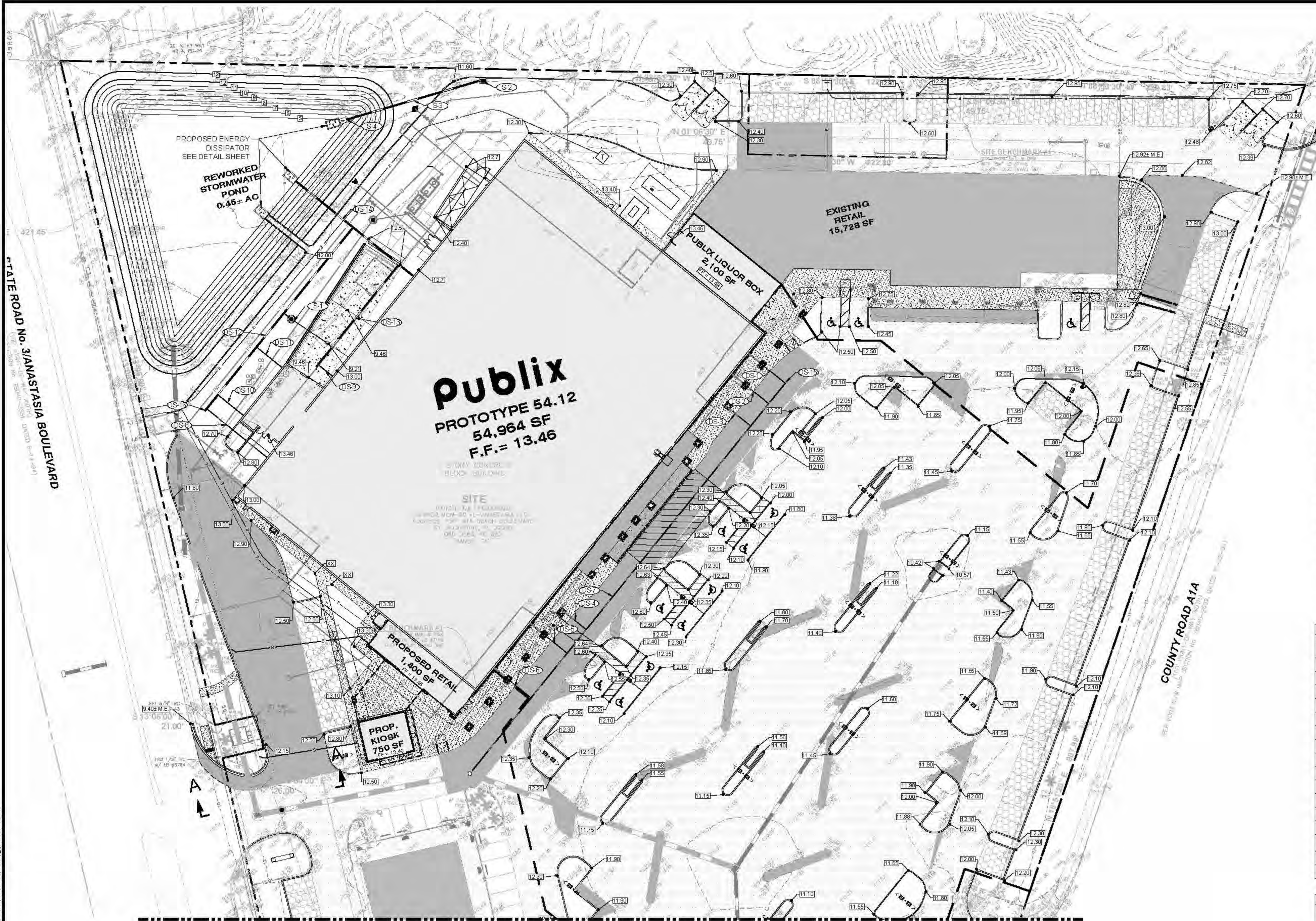
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STATE ROAD NO. 3/ANASTASIA BOULEVARD

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LEGEND

- PROPERTY LINE
- FENCE (AS NOTED ON PLAN)
- CONTOUR ELEVATION
- HIGH POINT
- STORM PIPE
- TOP OF CURB ELEV.
- PAVEMENT ELEV.
- M.E.
- DIRECTION OF FLOW
- SAWCUT LINE
- CROSS SECTION (SEE CONSTRUCTION DETAILS SHEET)

NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

PIPE MATERIALS:

STORMWATER PIPE

RCP PIPE SHALL COMPLY WITH ASTM C76
ERCP PIPE SHALL COMPLY WITH ASTM C507
HDPE PIPE SHALL COMPLY WITH ASTM D3505
PVC PIPE SHALL COMPLY WITH ASTM D3034, SDR 35

GRADING NOTES:

- GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO ENSURE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. THE FOLLOWING MINIMUM SLOPES SHALL BE PROVIDED BY THE CONTRACTOR:
 - a. ASPHALT PAVEMENT: MIN. 1% SLOPE
 - b. CONCRETE PAVEMENT: MIN. 1% SLOPE
 - c. GUTTERS: MIN. 0.5%
- STRUCTURE BOTTOMS SHALL BE TYPE "B" BOTTOMS PER FDOT REQUIREMENTS, UNLESS PIPE SIZES AND LOCATION REQUIRE A TYPE "V" BOTTOM. CONTRACTOR SHALL REVIEW DESIGN AND PROVIDE APPROPRIATELY SIZED BOTTOMS PER FDOT REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ADA AREAS ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION. IF THE CONTRACTOR DETERMINES THAT ANY INFORMATION SHOWN ON THIS PLAN MAY NOT BE IN COMPLIANCE THEY SHALL NOTIFY THE ENGINEER PRIOR TO THE WORK BEING COMPLETED.

PROPOSED DOWNSPOUT SCHEDULE	
STRUCTURE NUMBER	TYPE
DS-1	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-2	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-3	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-4	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-5	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-6	18" L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS FOR BUILDING CONNECTION (TYP. OF 5)
DS-7	310' L.F. 12" STORM @ 1.00%
DS-8	42' L.F. 10" STORM PIPE @ 1.00%
DS-9	5' L.F. 10" STORM PIPE @ 1.00%
DS-10	15' L.F. 4" STORM PIPE @ 1.00%
DS-11	15' L.F. 4" STORM @ 1.08%
DS-12	142' L.F. 12" STORM PIPE @ 1.00%
DS-13	79' L.F. 10" STORM PIPE @ 1.00%
DS-14	88' L.F. 12" STORM PIPE @ 1.00%
DS-15	8' WVC W.C.O.
DS-16	8' WVC W.C.O.

STORM STRUCTURE SCHEDULE	
STRUCTURE NUMBER	TYPE
S-1	TRUCK WELL SUMP PUMP. SEE DETAIL SHEET C_
S-2	TYPE "C" INLET, TOP EL. = 11.5, W/INV =
S-3	18" STORM PIP @ 0.5%
S-4	18" M.E.S. INV = 5.0



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Architect No. AA26000926
Landscape No. LC000298

MADE PRESTON OLSEWICK
LICENSE
No. 54068
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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Job No.: R9123
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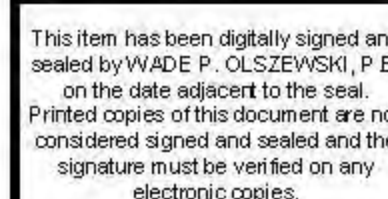
GRADING AND STORM DRAINAGE PLAN

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

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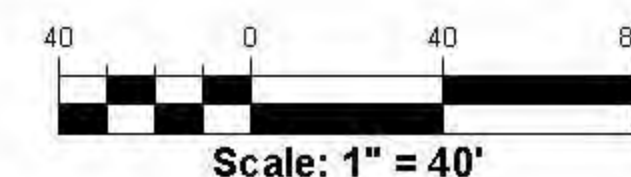
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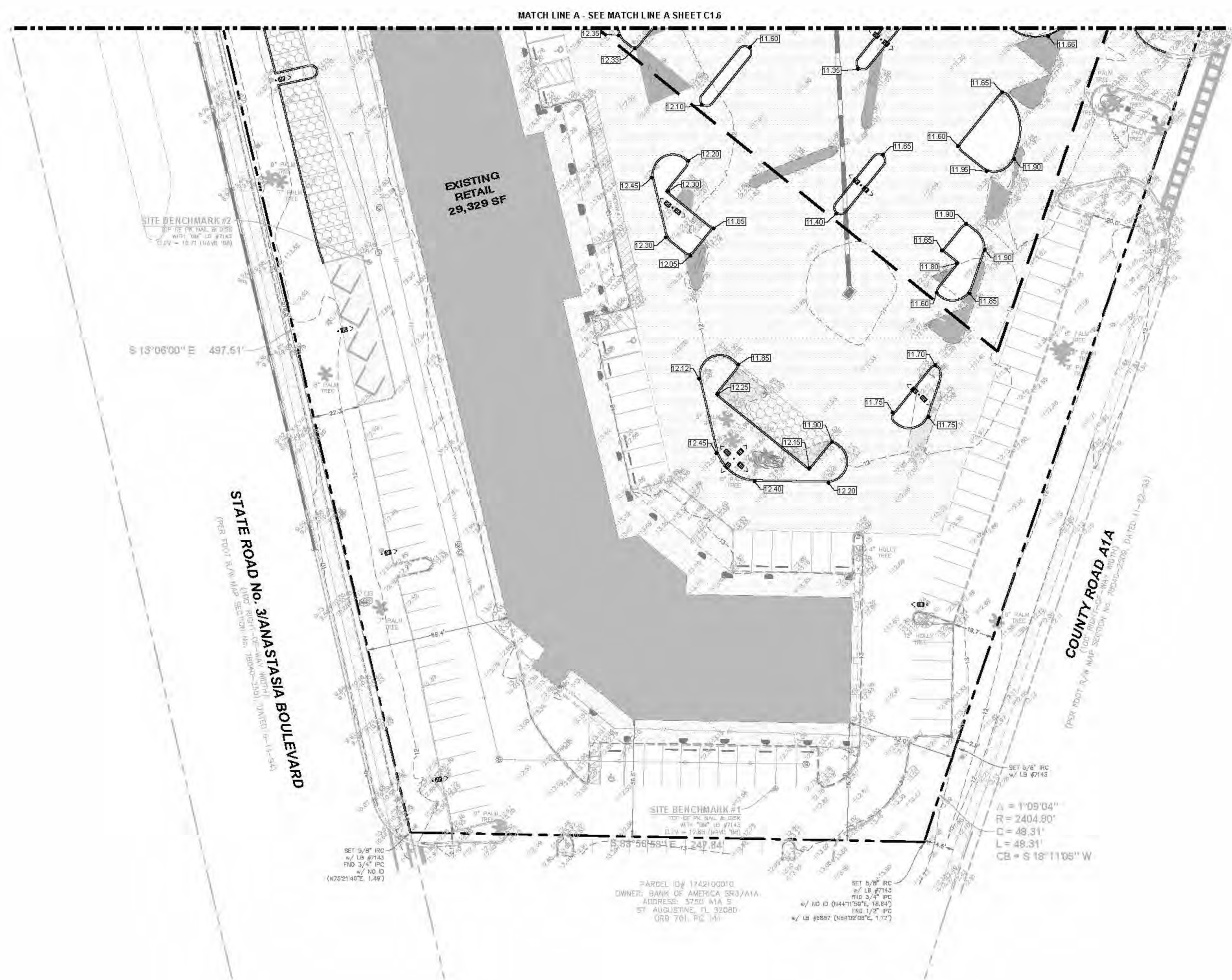
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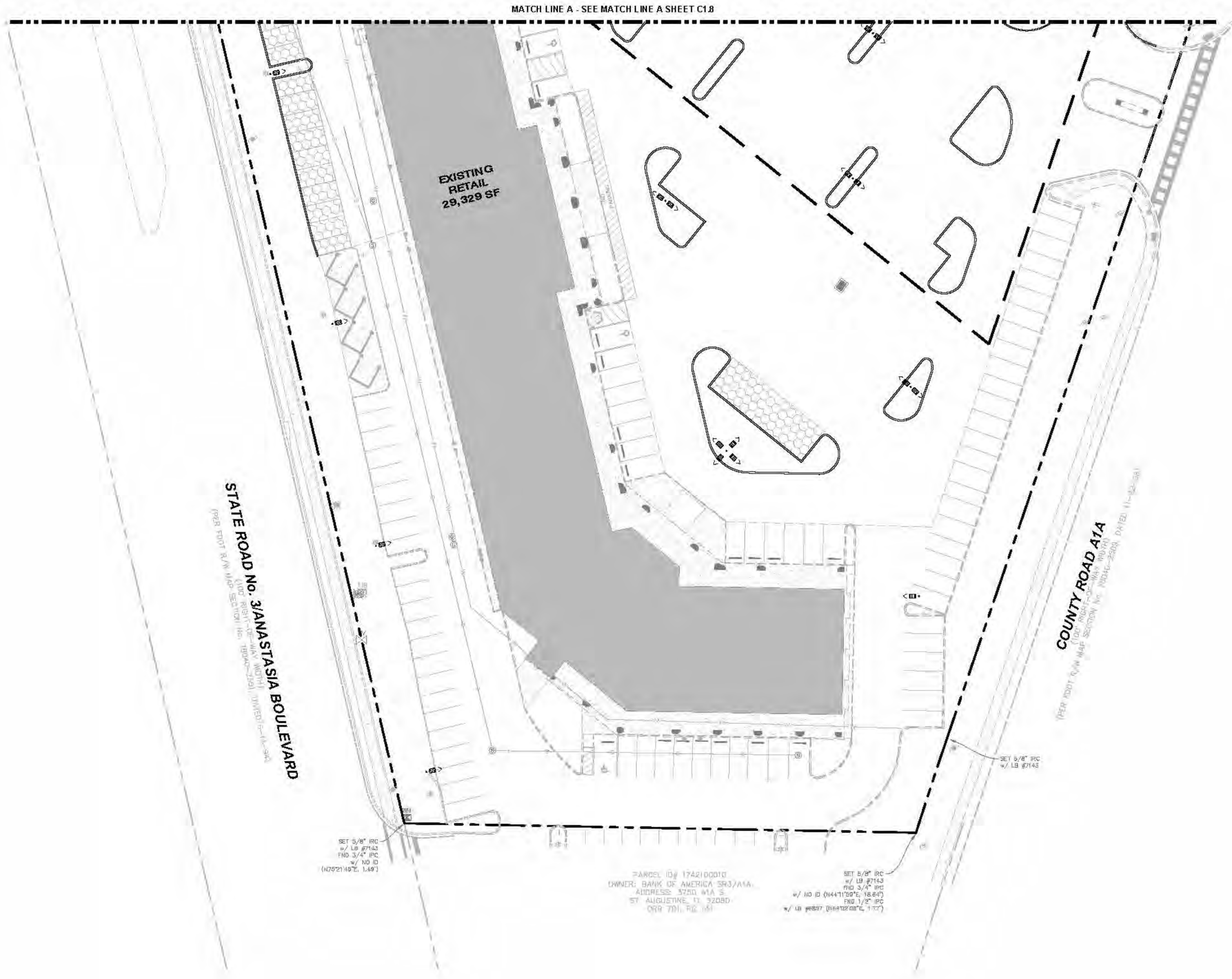
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NOTE:
ALL GRADES TO BE MATCH EXISTING
UNLESS OTHERWISE NOTED ON PLAN.
EXISTING DRAINAGE PATTERNS AND
BASINS TO BE MAINTAINED

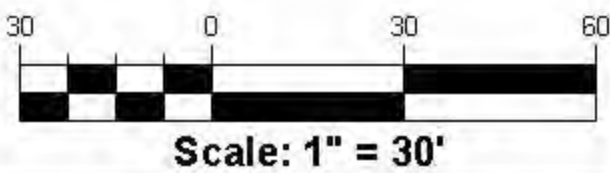


J:\98123\CI\MDMO\Current_Plan_Set\98123\CLIP.dwg, 8/20/2023 11:24:42 AM, Schneider, David, cph - Standard.dbf



NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING
CONDITIONS. ITEMS SHOWN BOLD REPRESENT
PROPOSED CONDITIONS.

CONTRACTOR SHALL PROVIDE
FREEZE PROTECTION ON
BACKFLOW PREVENTERS PER
PUBLIC SPECIFICATIONS



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A & E Firm

5200 Belfort Road, Suite 220
Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298



This item has been digitally signed and
sealed by WADE P. OLSZEWSKI, P. E.
on the date adjacent to the seal.
Printed copies of this document are not
considered signed and sealed and the
signature must be verified on any
electronic copies.

No.	Date	Revision
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Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

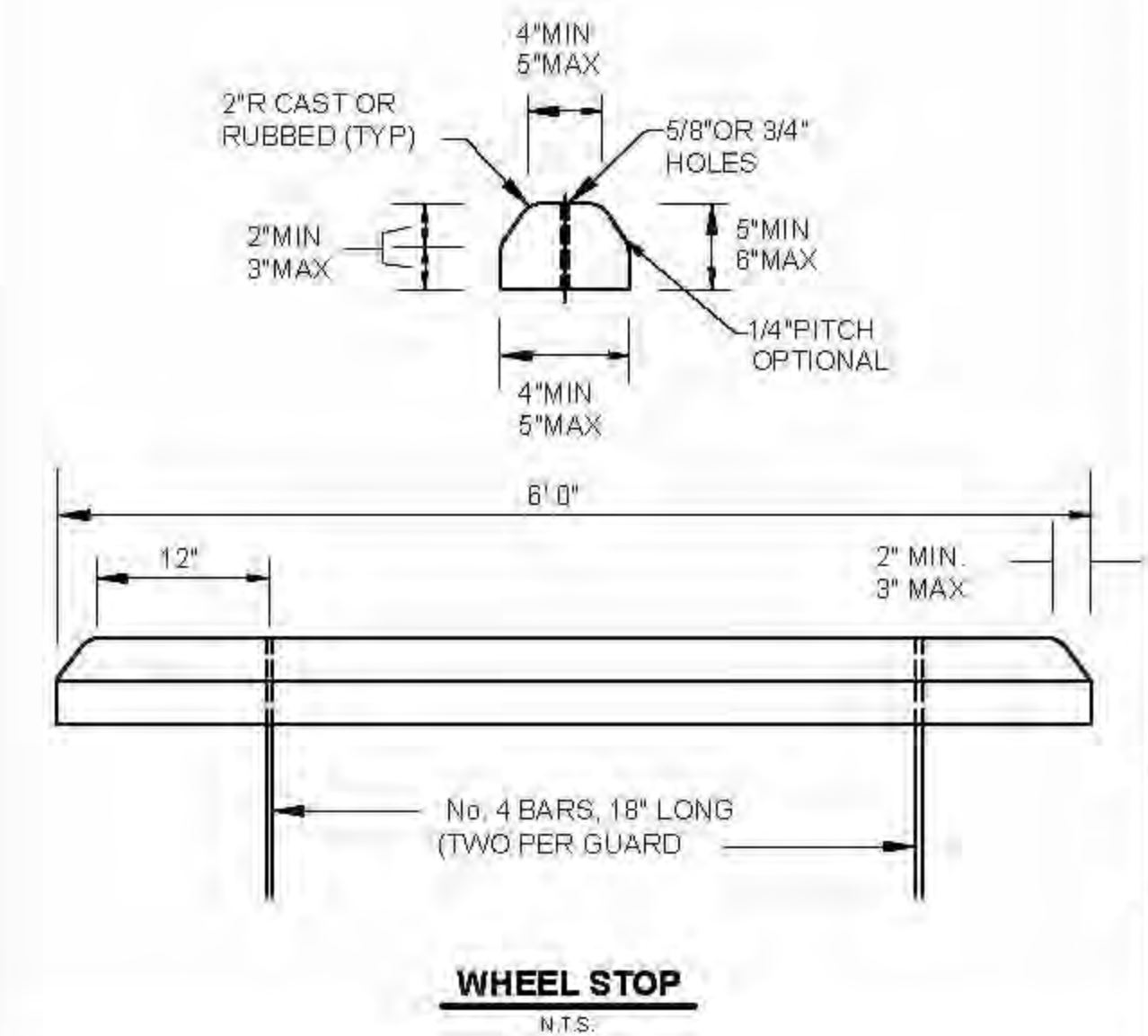
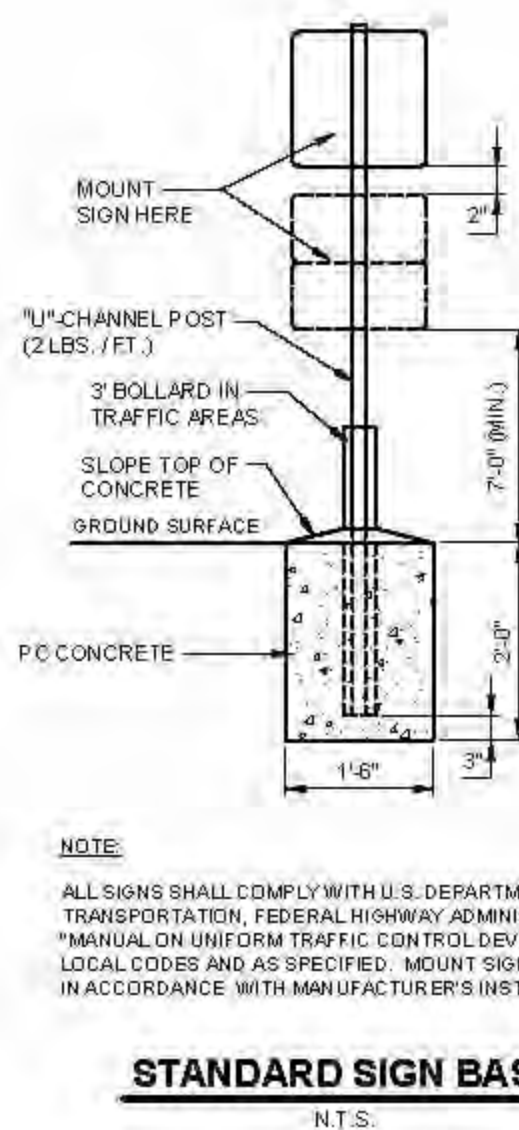
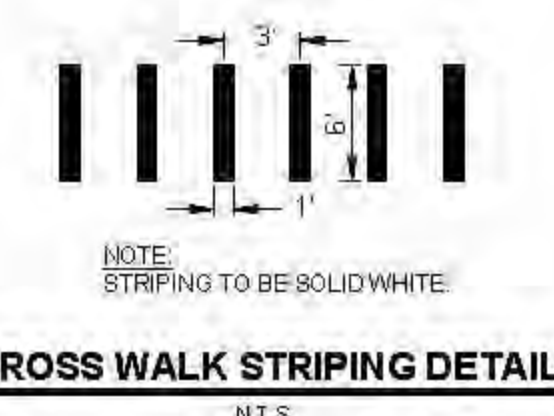
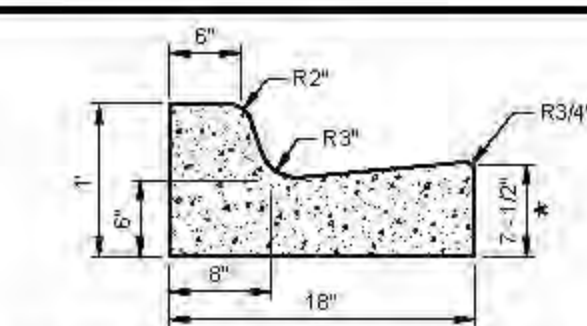
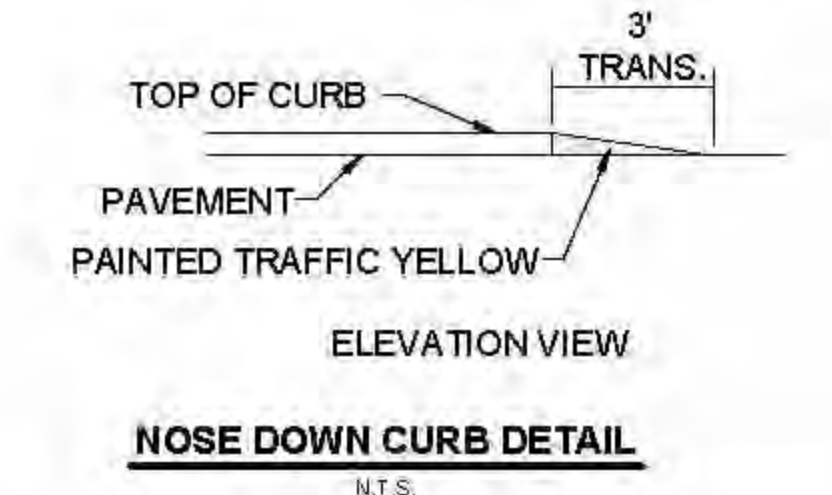
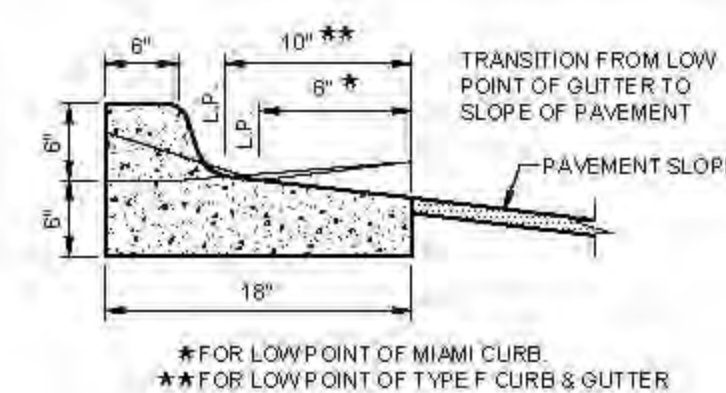
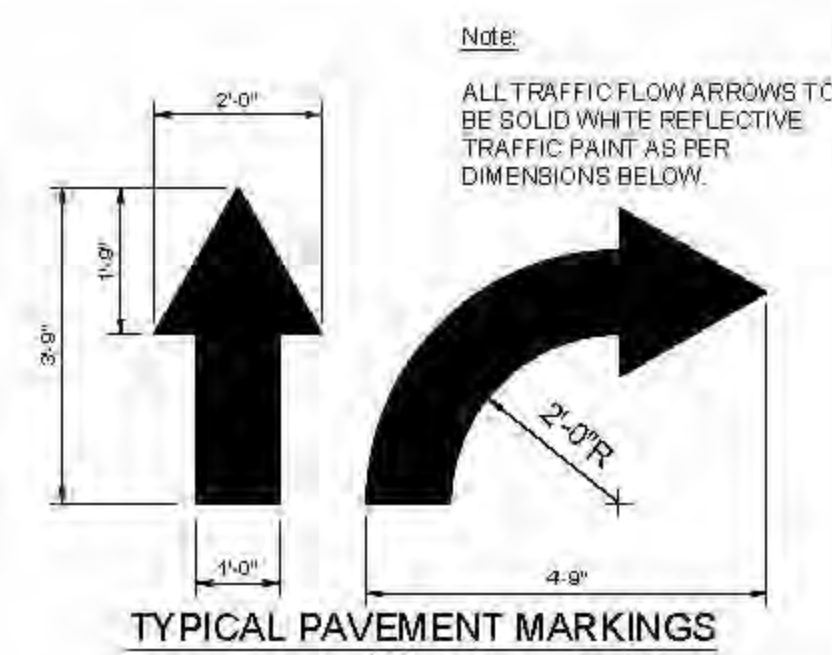
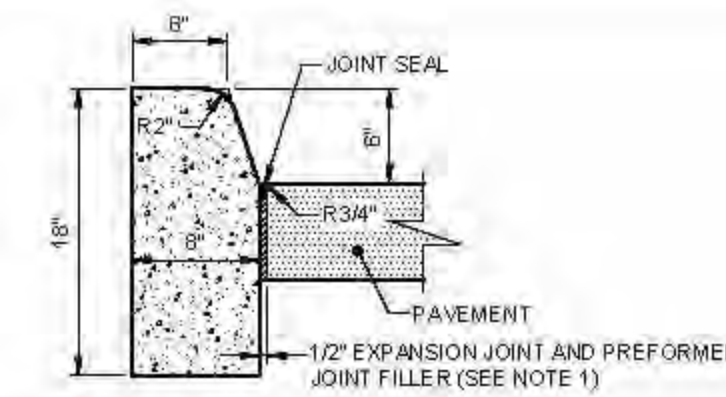
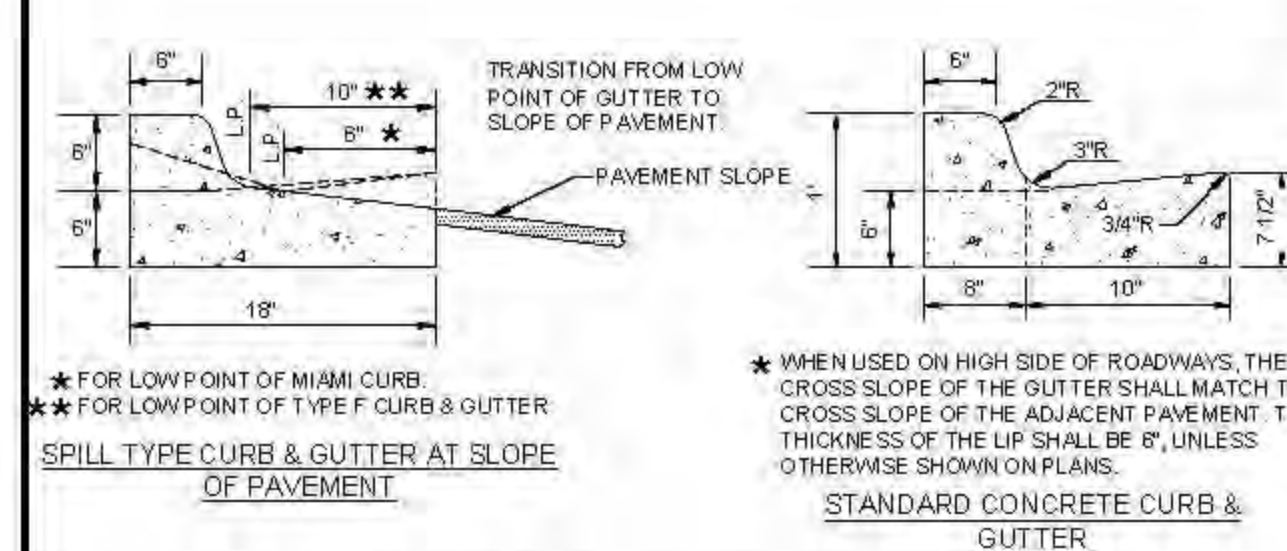
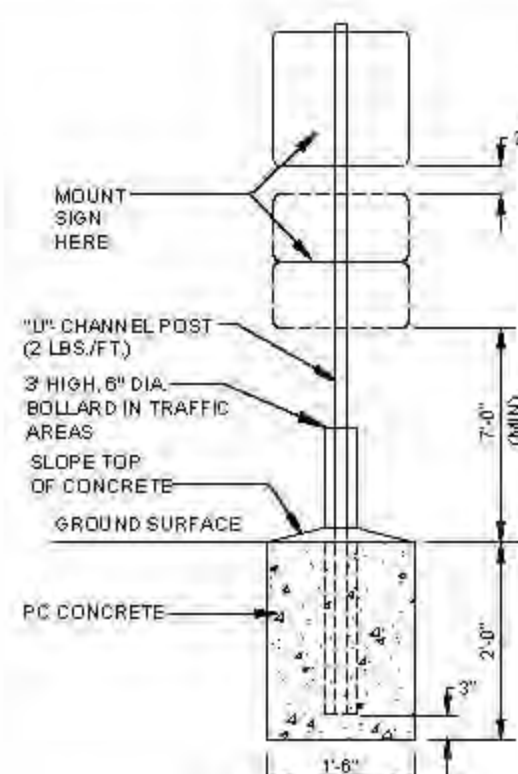
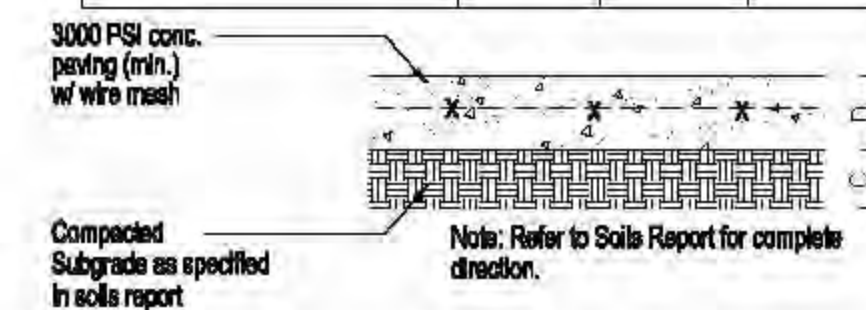
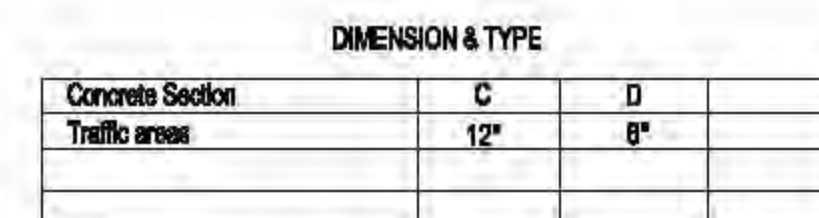
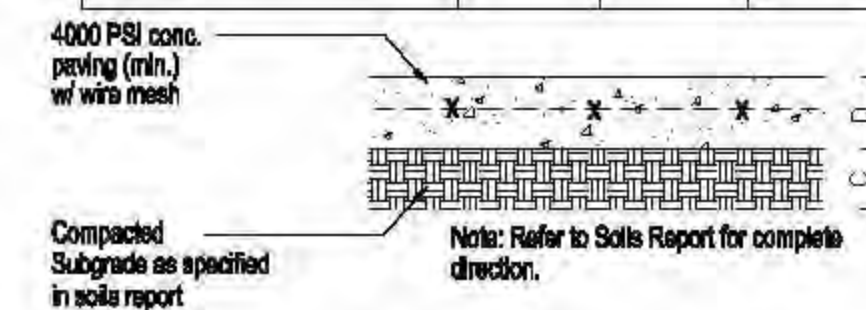
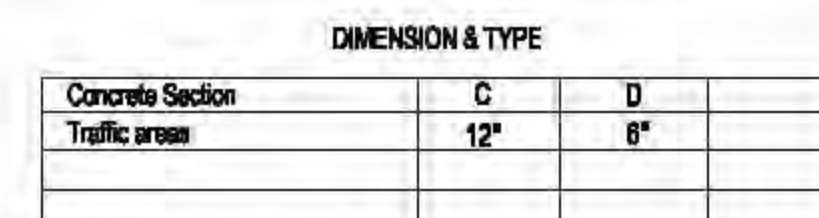
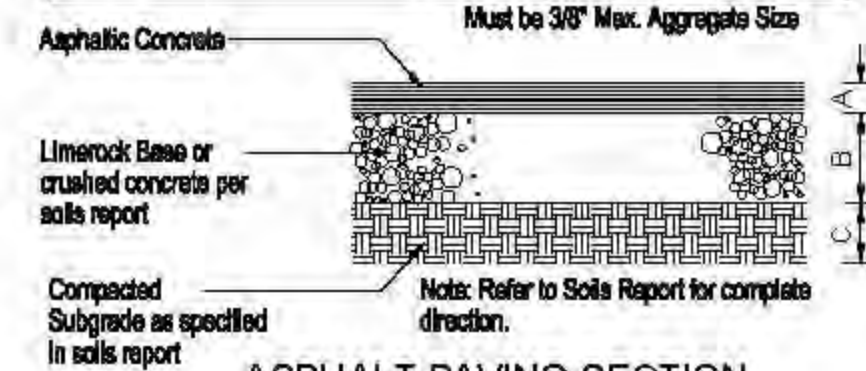
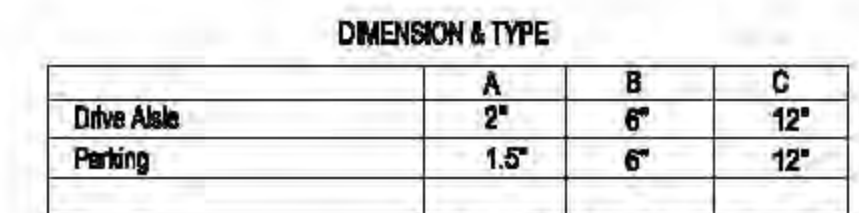
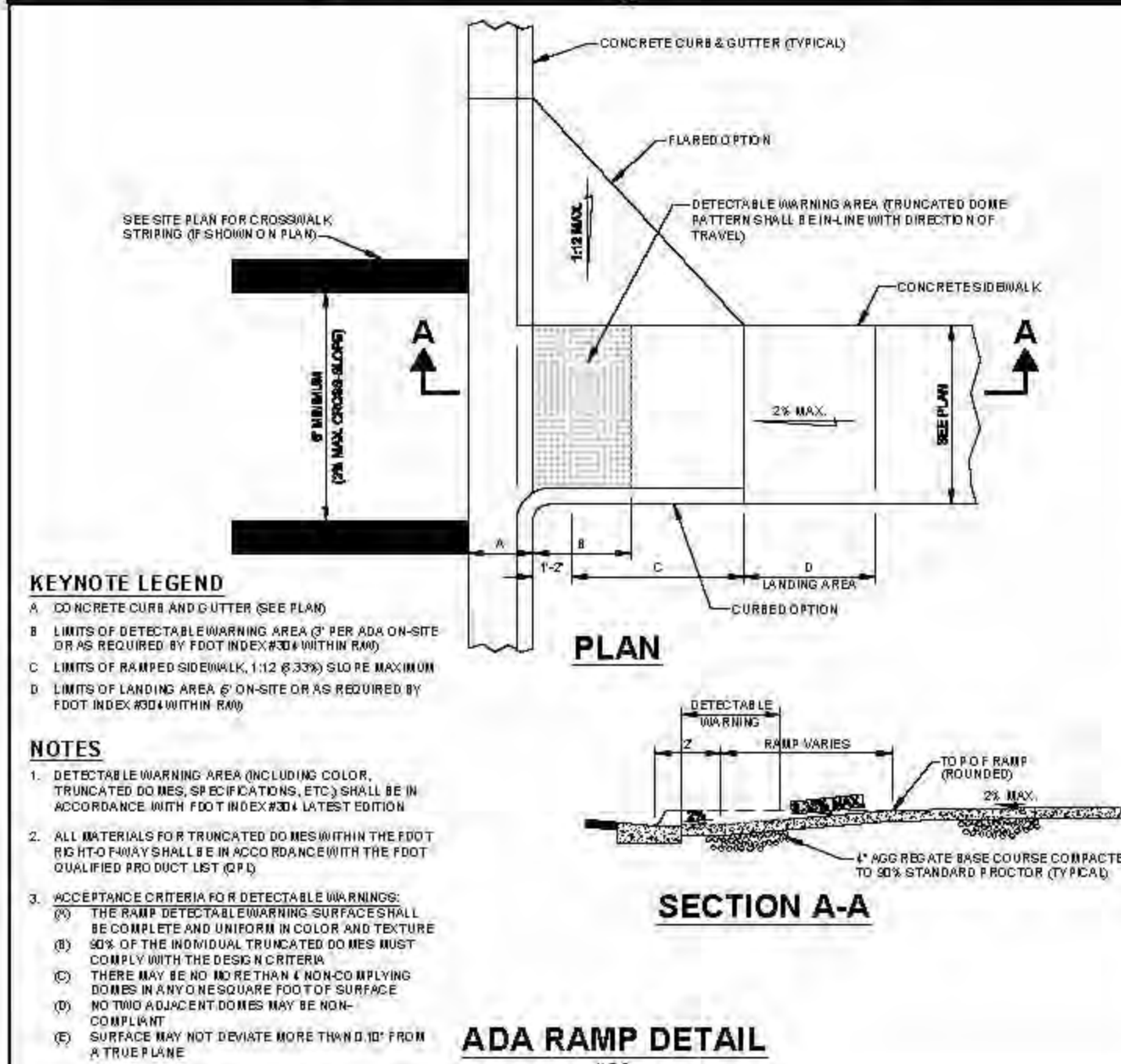
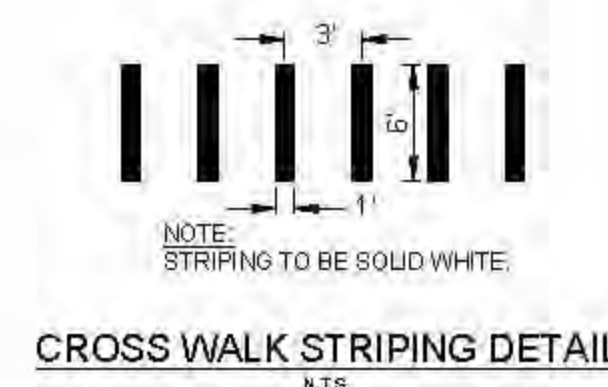
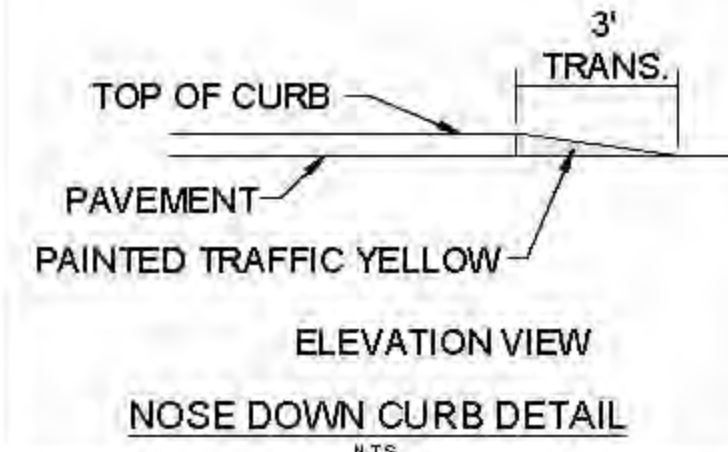
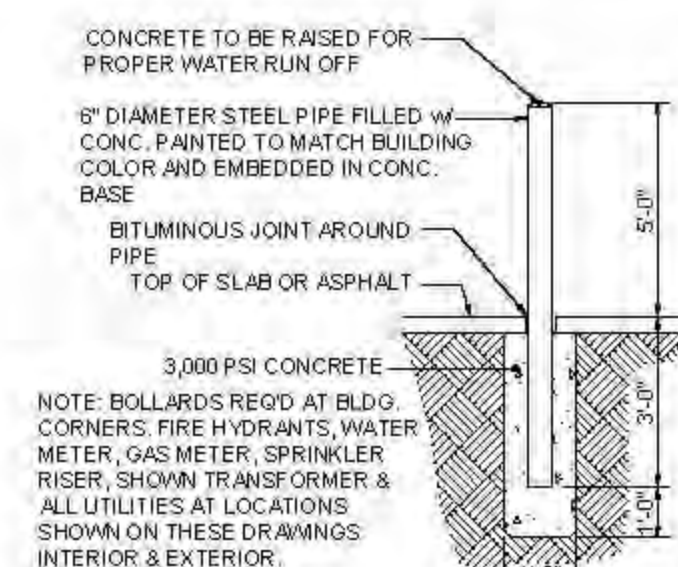
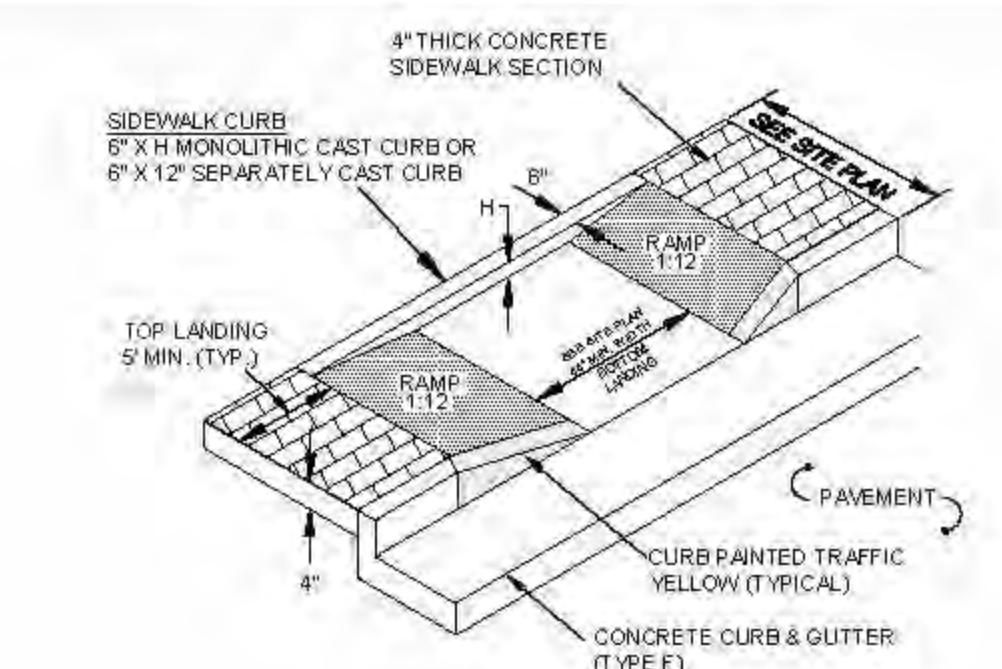
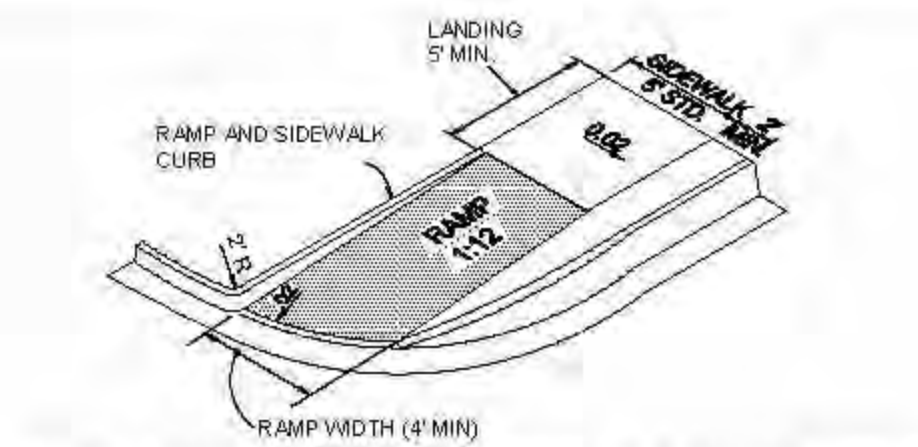
COMPOSITE UTILITY PLAN

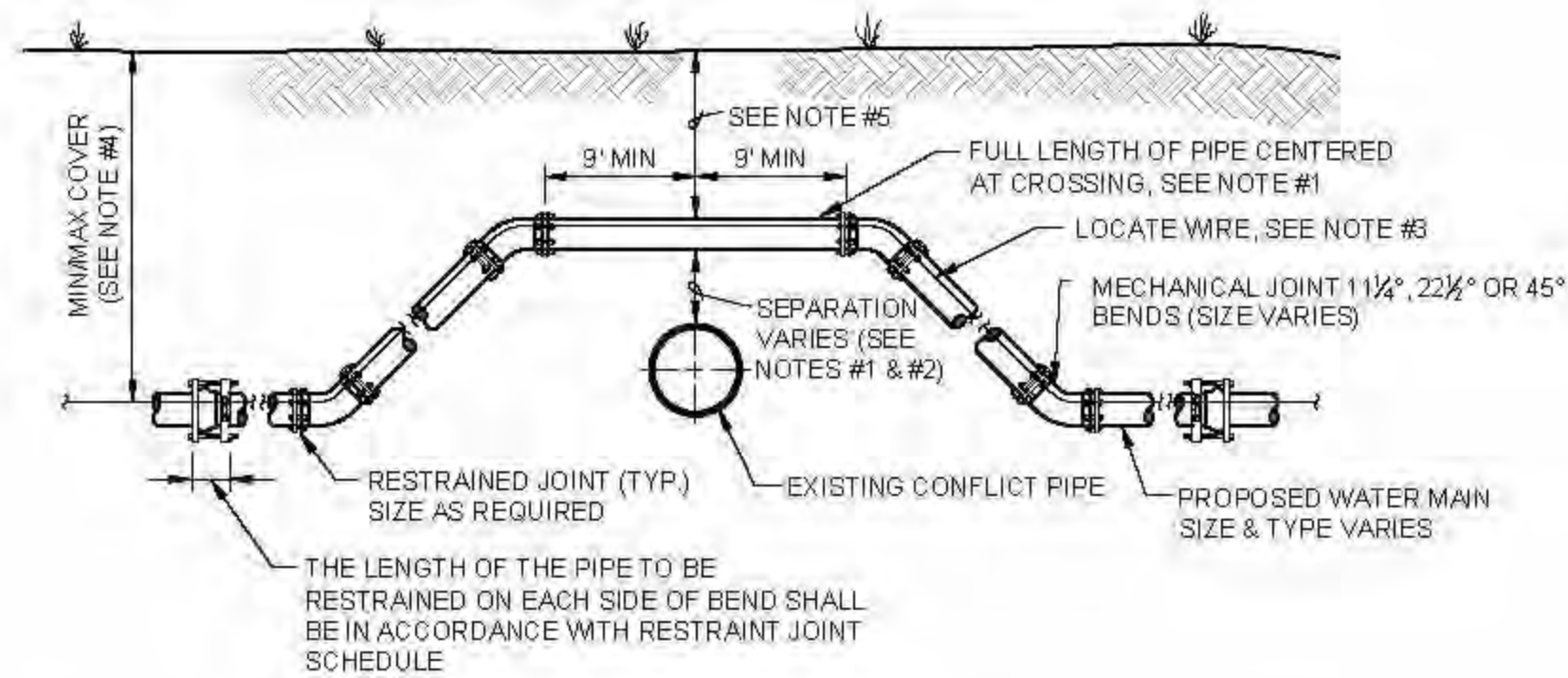
regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

Sheet No.
C1.9



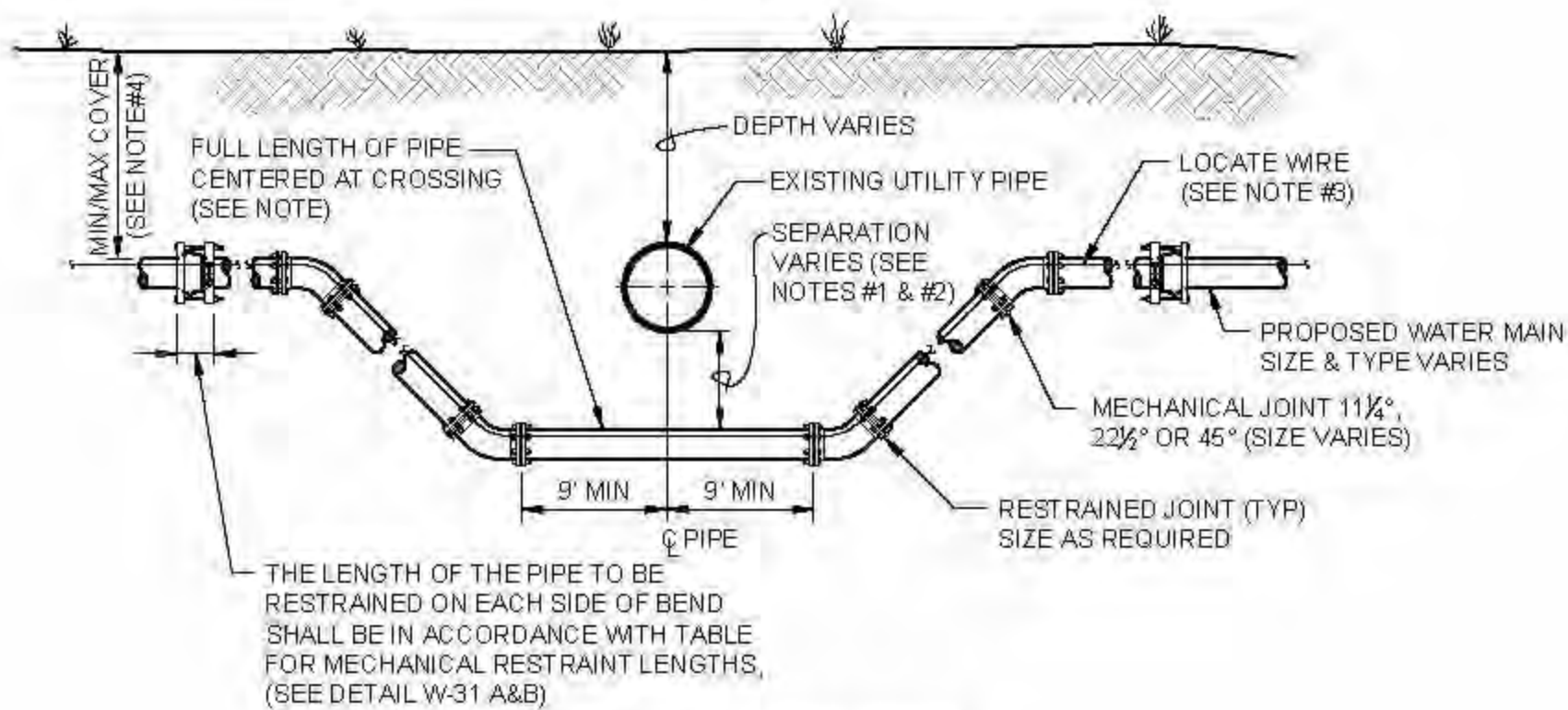


CASE "A" CROSSING

NOTES:

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
2. LOCATING WIRE REQUIRED
3. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.
4. IF UTILITY CONFLICT IS LOCATED IN A NON-TRAFFIC AREA (NO TRAFFIC LOADS) AND THE NEW PIPE IS D.I.P., THEN THE MINIMUM COVER MAY BE REDUCED TO 24 INCHES (ONLY) IN THE AREA OF THE CONFLICT.

ADJUSTMENT OVER EXISTING UTILITIES MECHANICAL RESTRAINTS

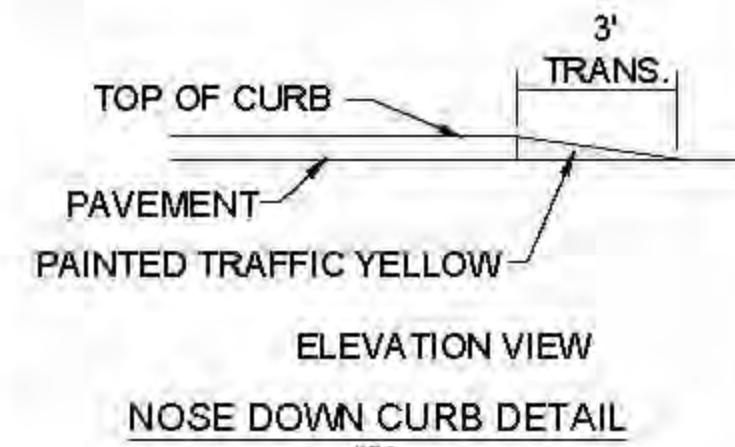
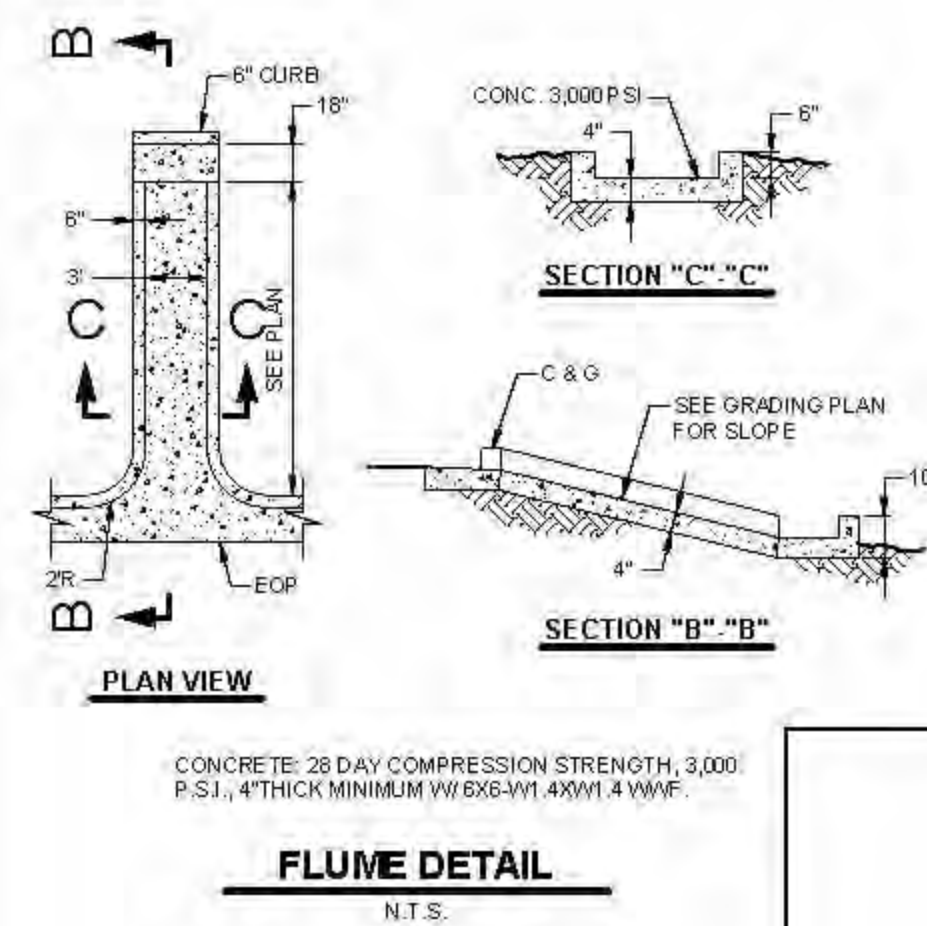
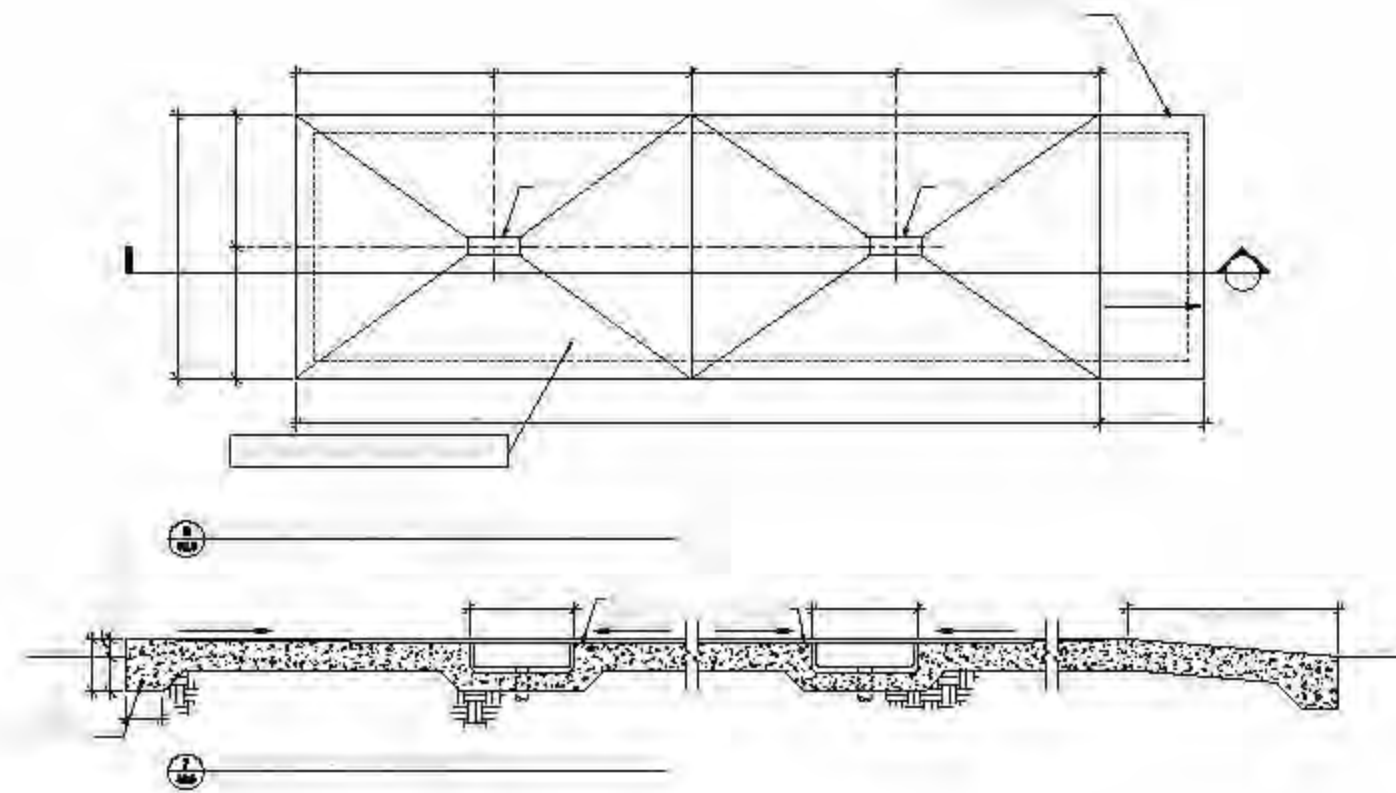


CASE "B" CROSSING

NOTES:

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
2. LOCATING WIRE REQUIRED
3. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREA, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.

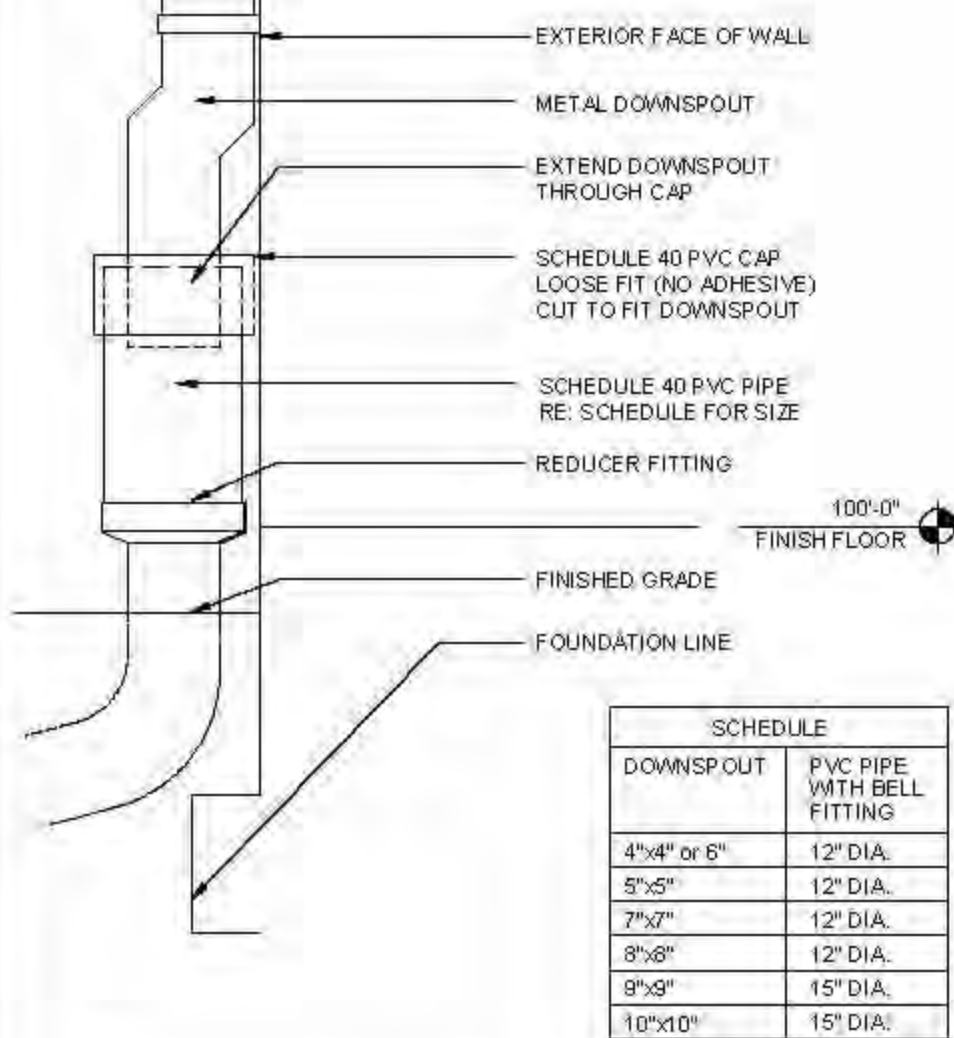
ADJUSTMENT UNDER EXISTING UTILITIES MECHANICAL RESTRAINTS



SIGNS USED AS PER FLORIDA STATUTES
F.T.P. 25 PER FS 310.1995, FS 810.1995

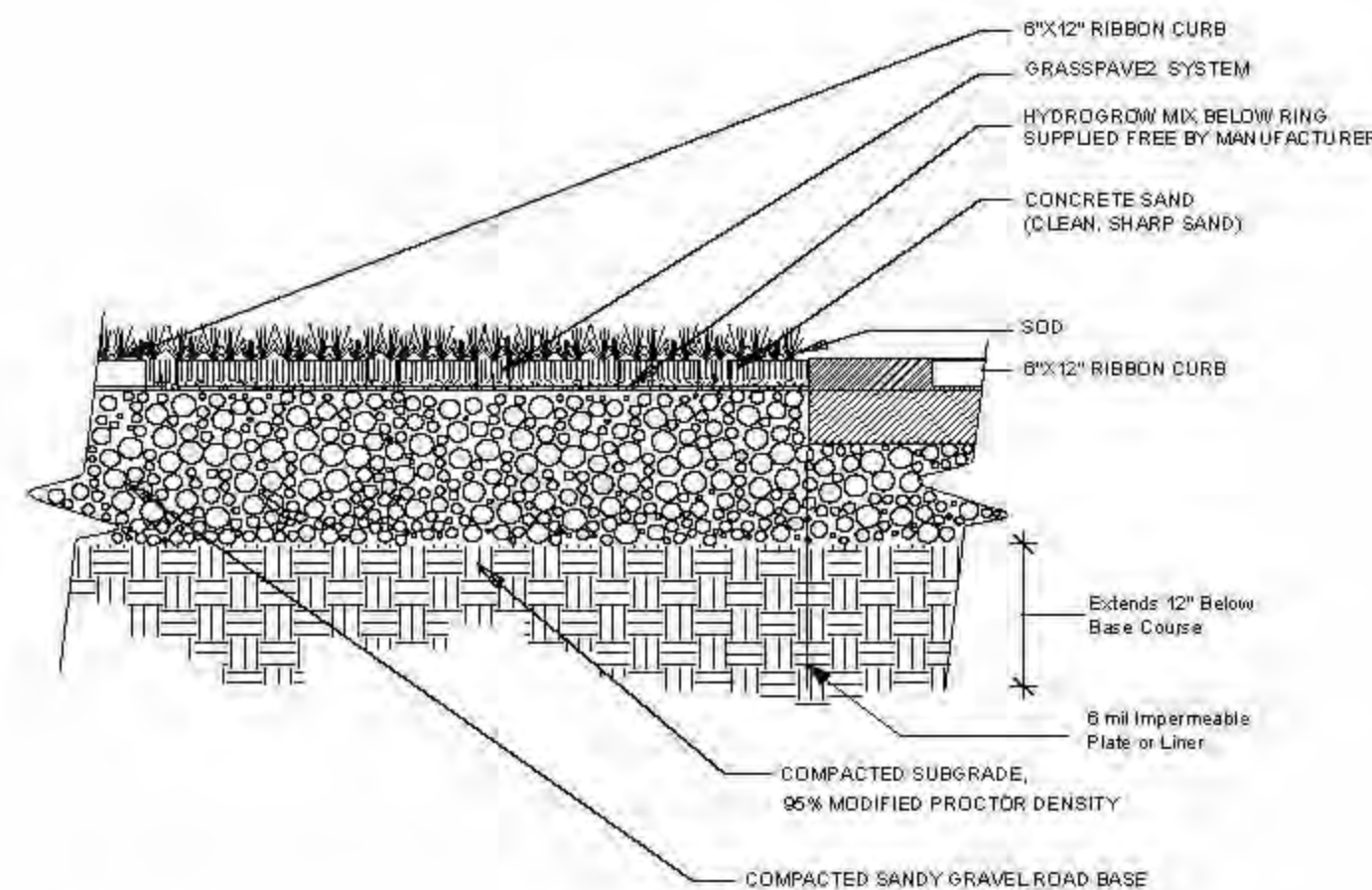
1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD
2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER
4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER
5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE
6. INSTALLATION HEIGHT OF LOWEST SIGN SHALL HAVE A MINIMUM OF 7'-0" CLEARANCE TO FINISH GRADE

TYPICAL HANDICAP SIGN N.T.S.



EXTERIOR DOWNSPOUT COLLECTOR N.T.S.

SCHEDULE	
DOWNSPOUT	PVC PIPE WITH BELL FITTING
4" x 4" or 6"	12" DIA.
5" x 5"	12" DIA.
7" x 7"	12" DIA.
8" x 8"	12" DIA.
9" x 9"	15" DIA.
10" x 10"	15" DIA.



NOTE: GRASS PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER

GRASSPAVE2 N.T.S.

NOT TO SCALE

HYDROGROW
STRUCTURAL, INC.
www.hydrogrow.com

1600 JACKSON ST., SUITE 310
GOLDEN, COLORADO 80401
800-333-1110 OR 303-233-4379
FAX: 303-233-1022 OR 303-233-2822
www.hydrogrow.com
REV. 02/04

cph

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Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA26000526
Landscape No. LC000298



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Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23
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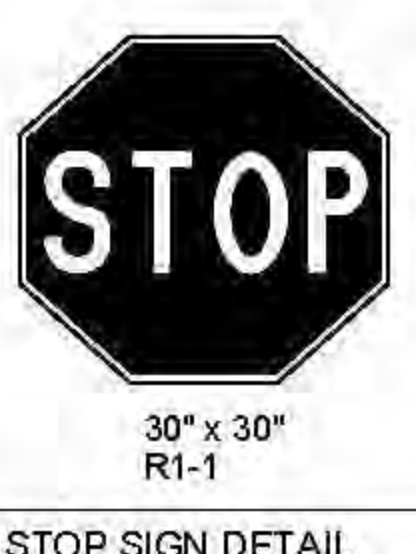
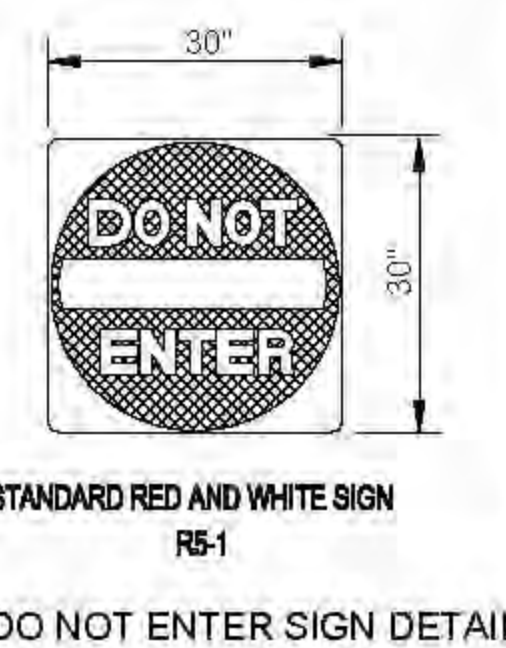
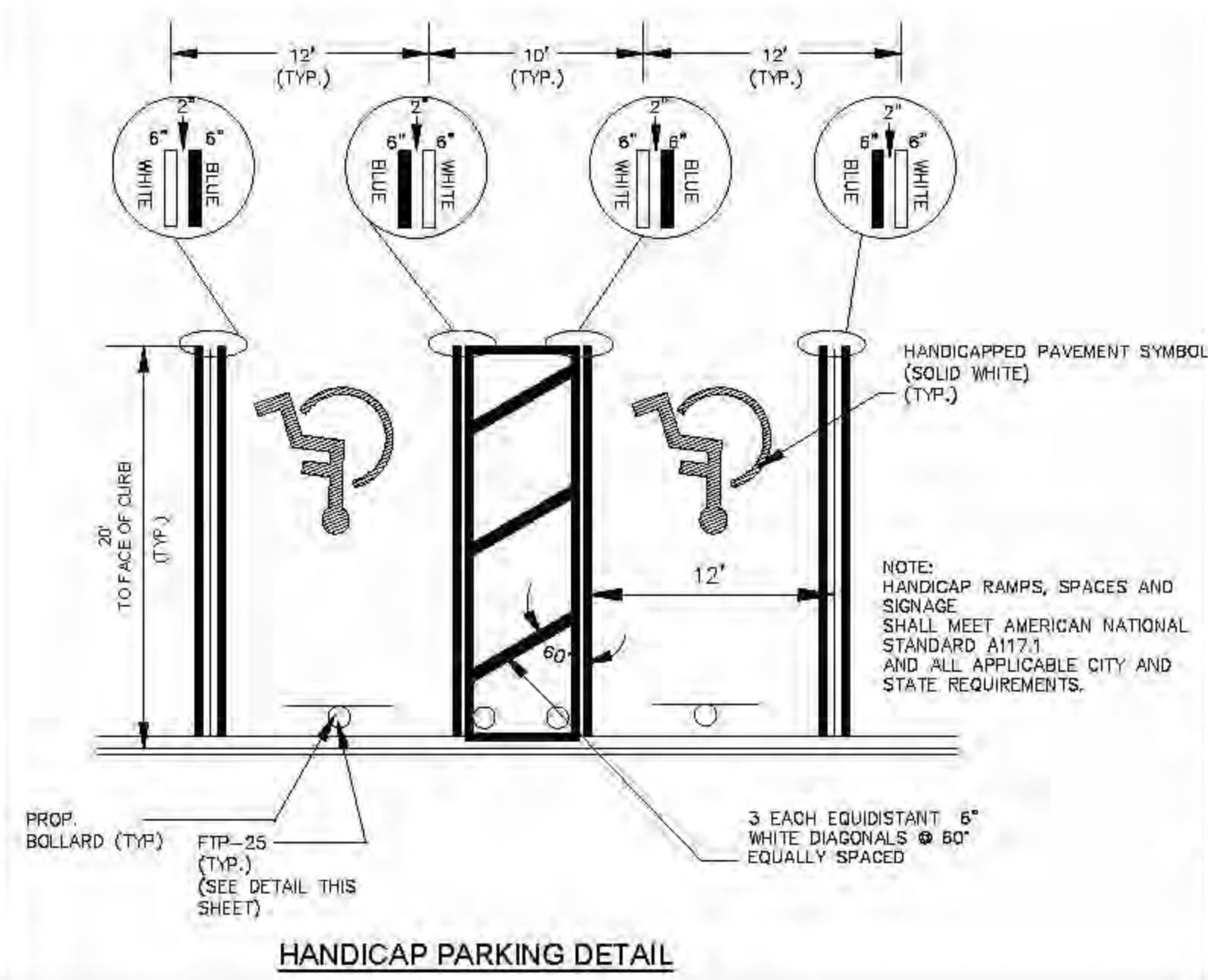
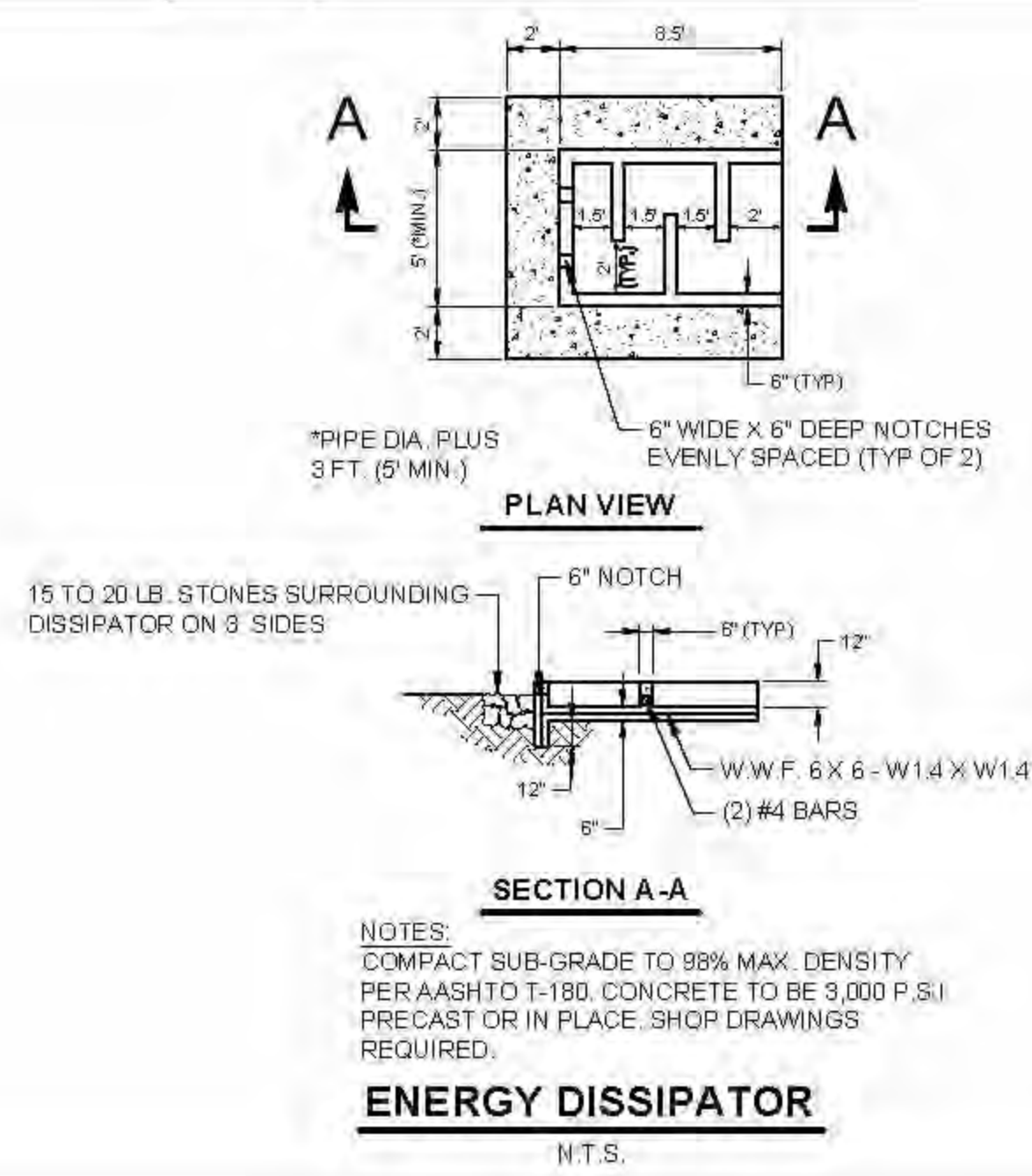
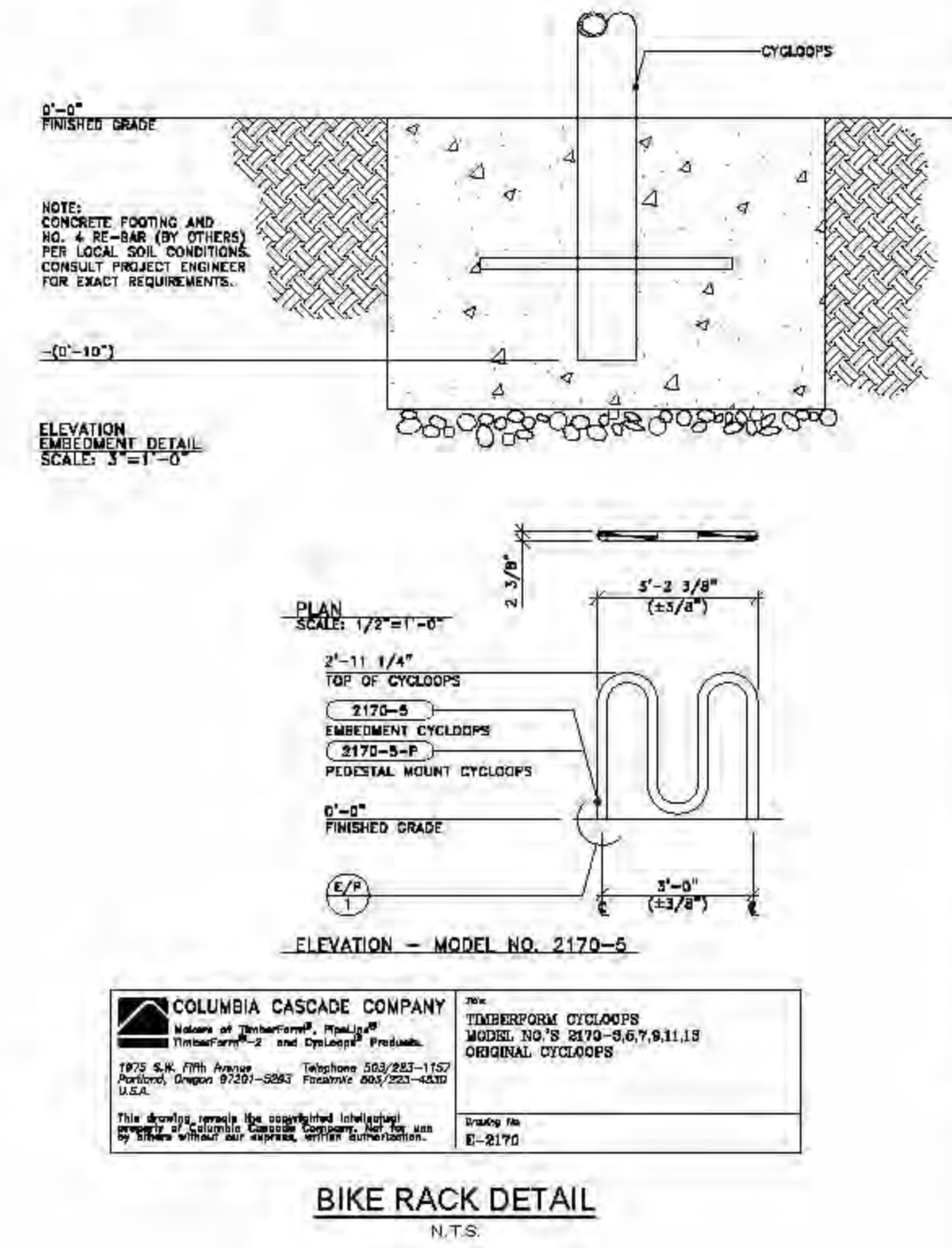
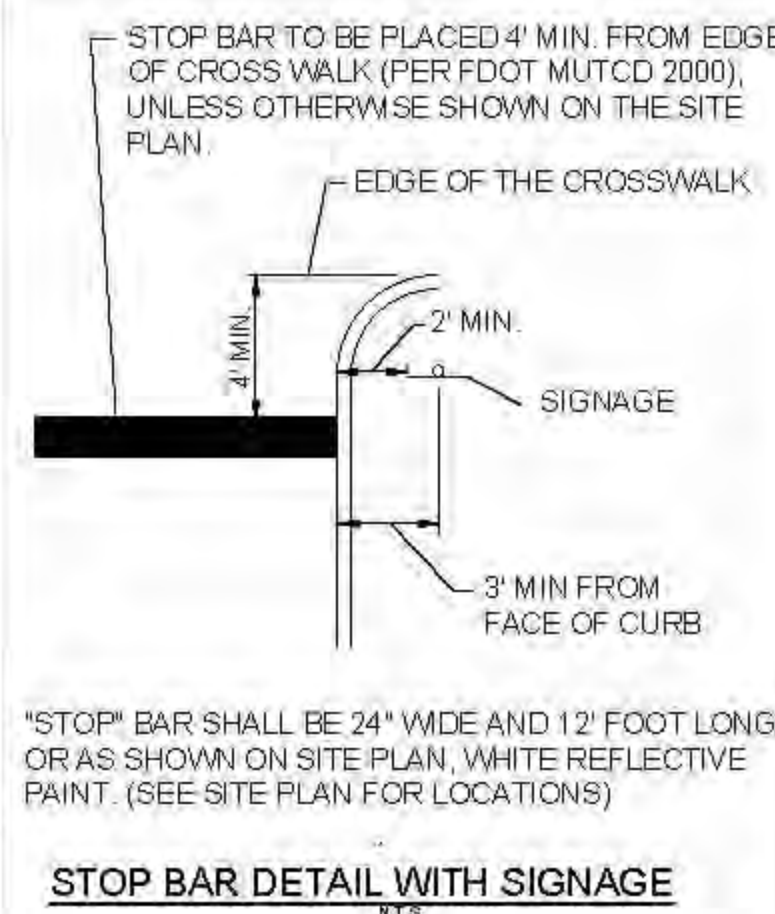
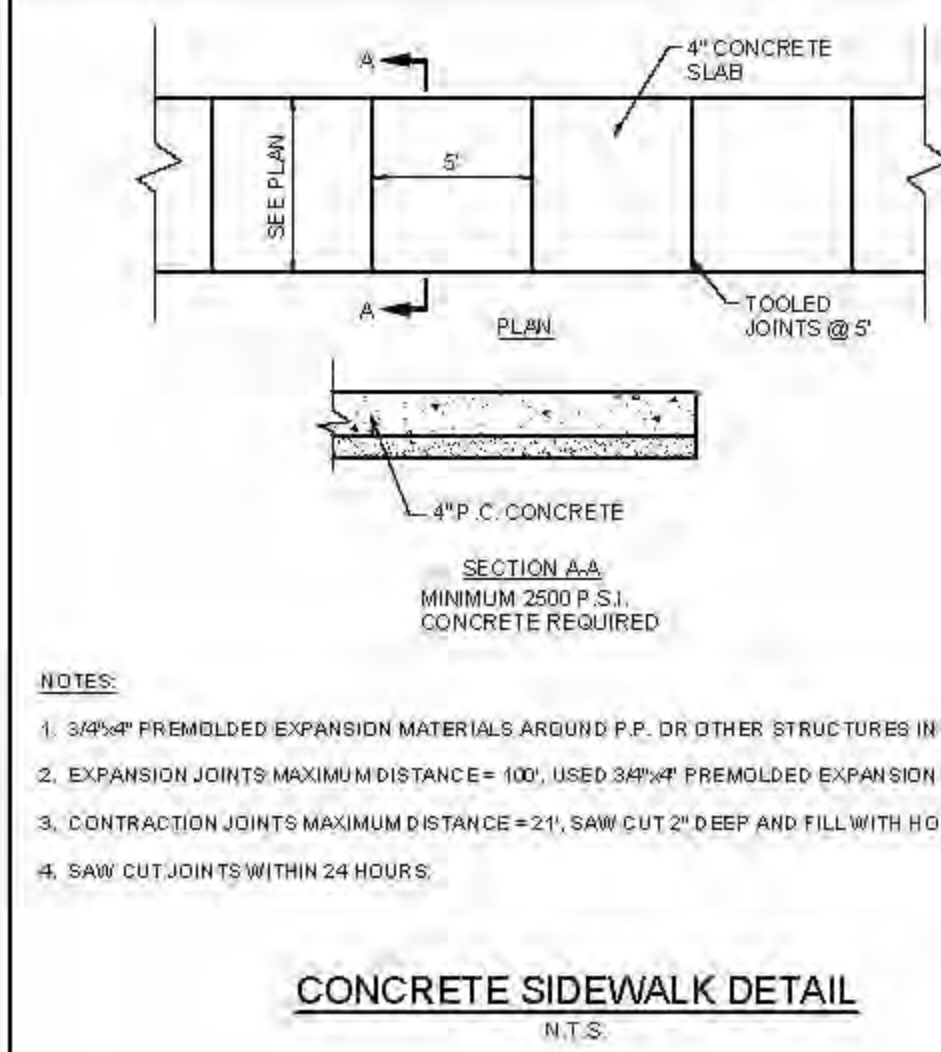
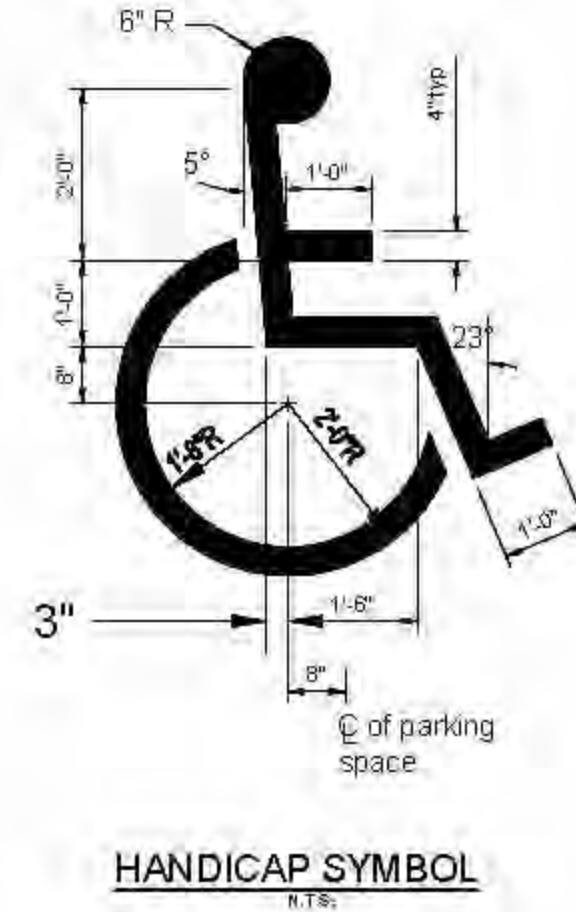
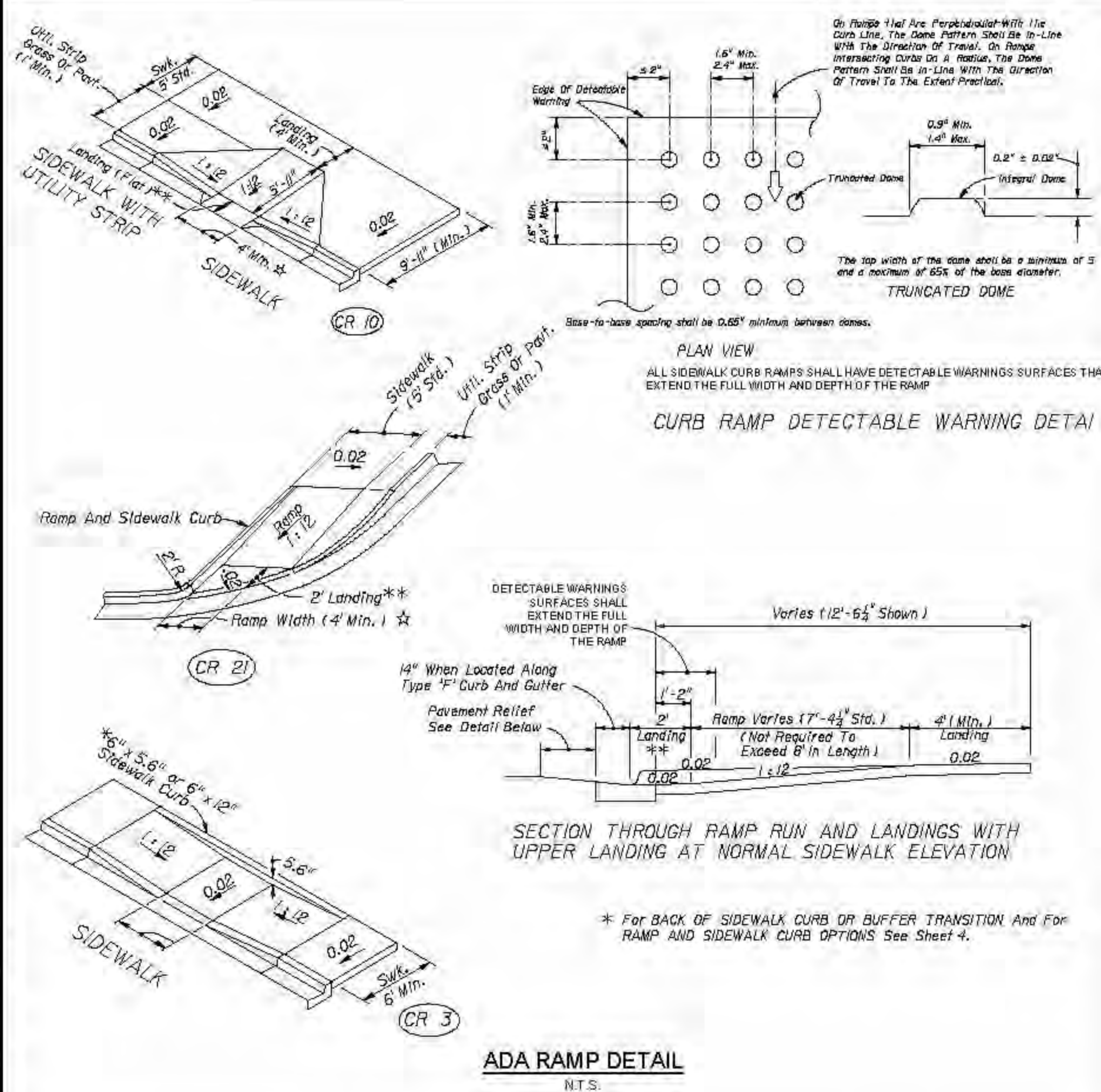
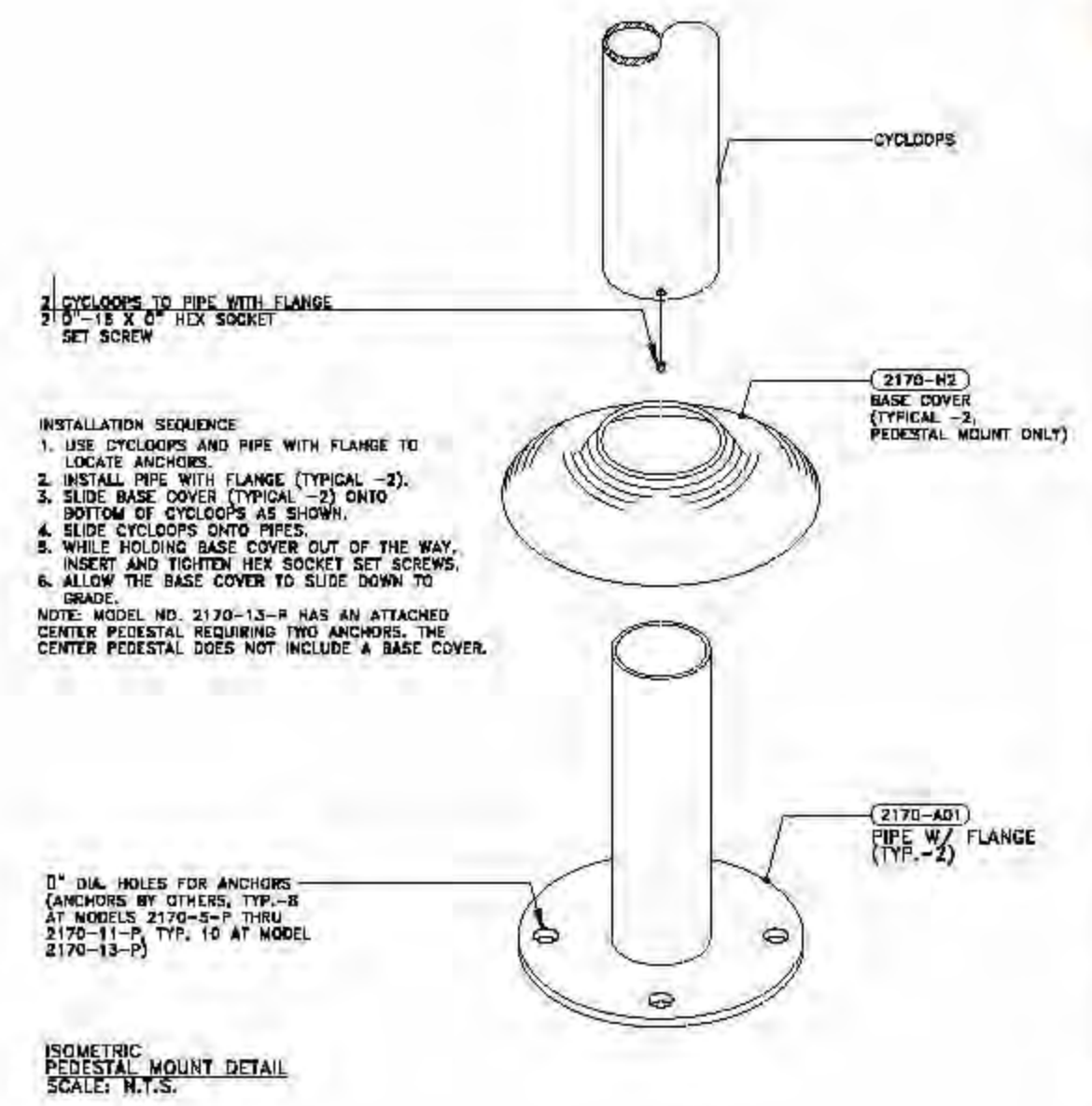
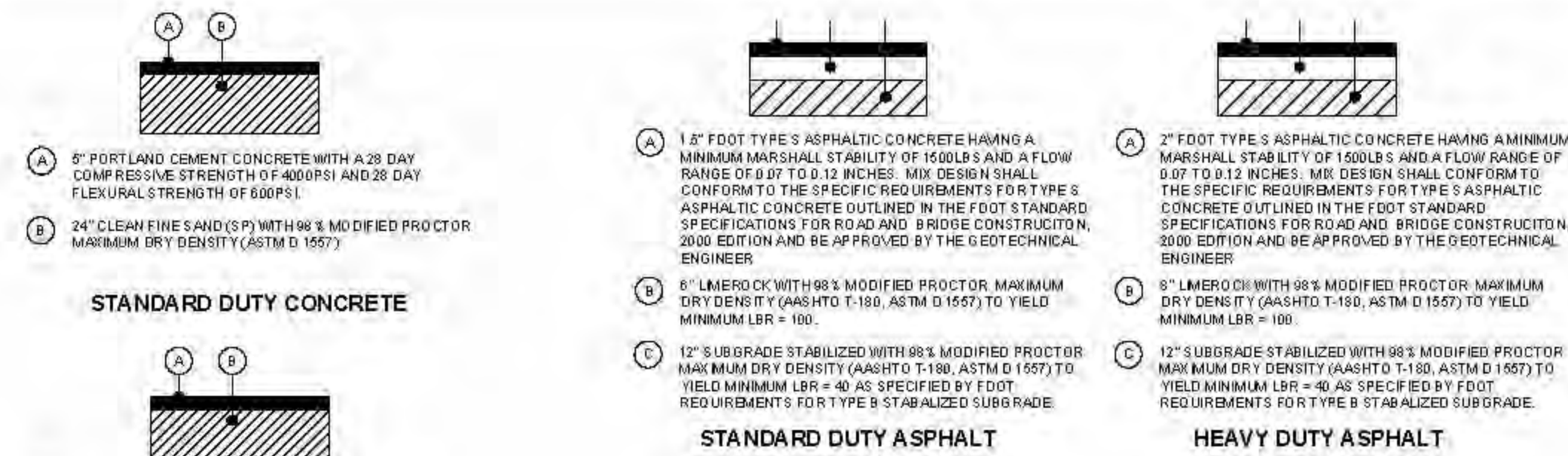
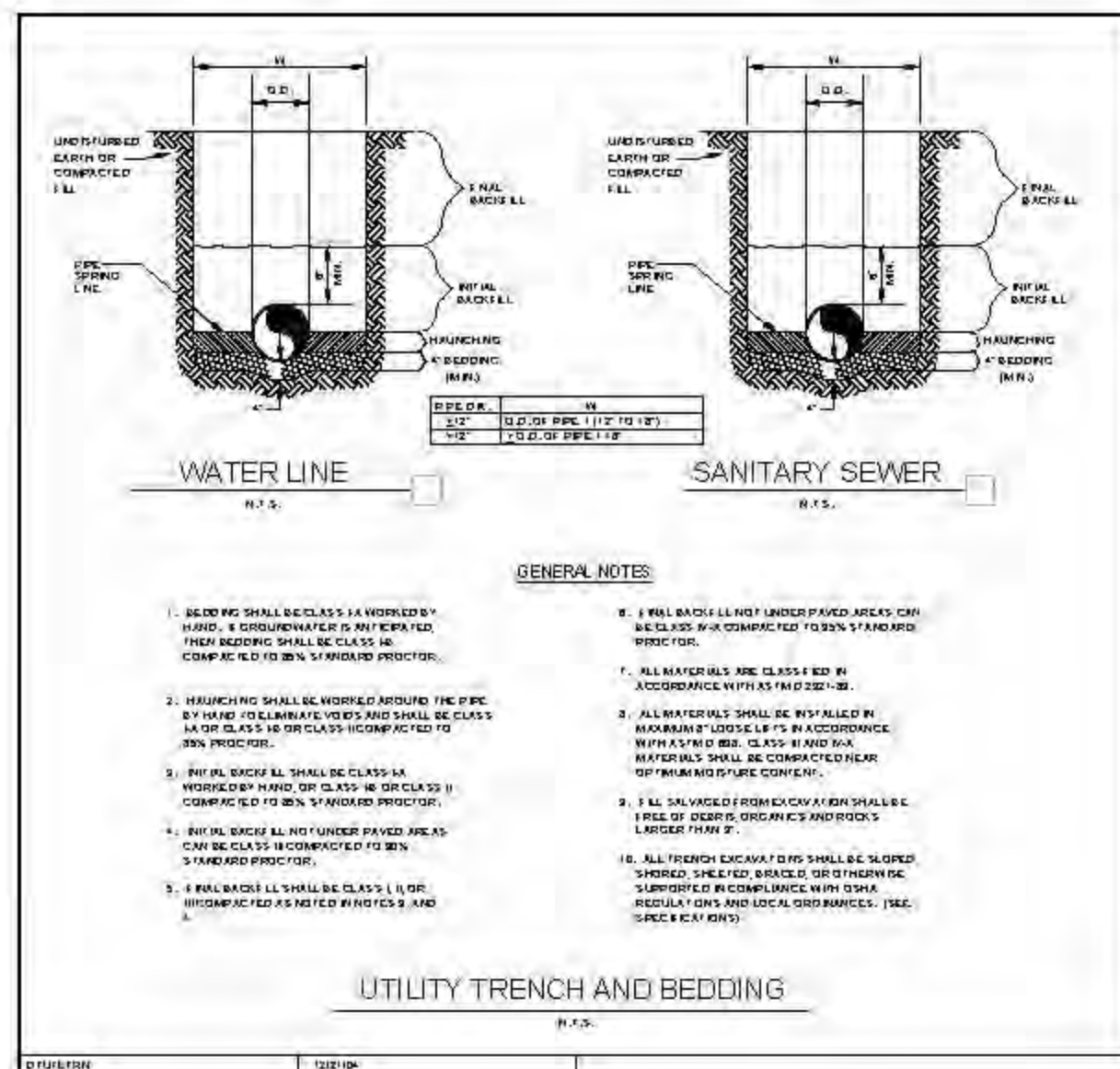
CONSTRUCTION DETAILS SHEET

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
C2.1



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Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7443
Architect No. AA26000526
Landscape No. LC000298

PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 54068
W. OLSZEWSKI

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Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23
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CONSTRUCTION DETAILS SHEET

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CITY OF ST. AUGUSTINE BEACH, FLORIDA

This sheet not valid for construction without complete set of plans.

Sheet No.
C2.2

YPR123CIVILDWG_Current_Plan_SetR9123-SJCU CONST DETAILS.dwg, 8/20/2023 9:58:37 AM, Schneider, David, _cph-, Standard.stb

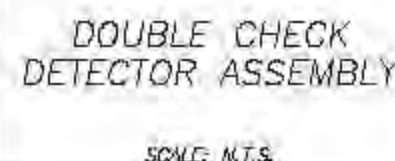
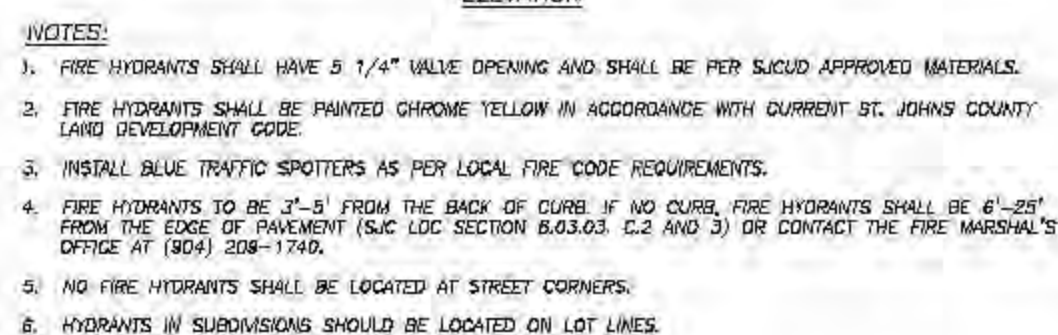
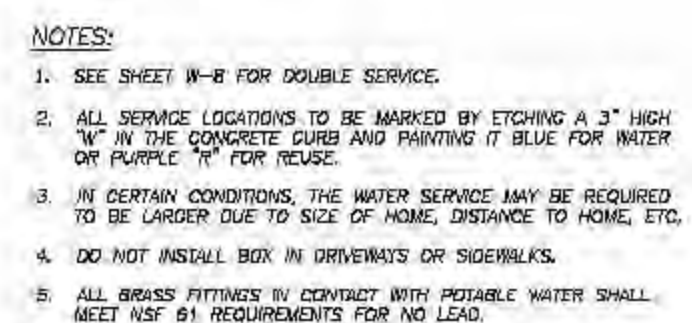


PLATE:
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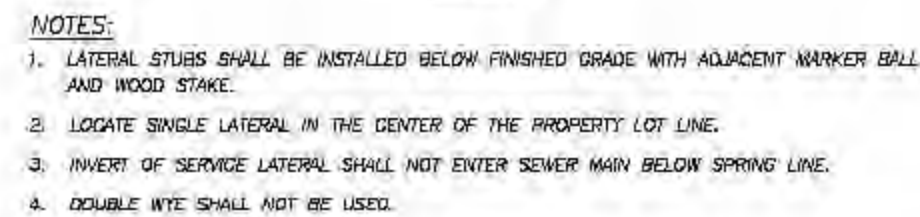



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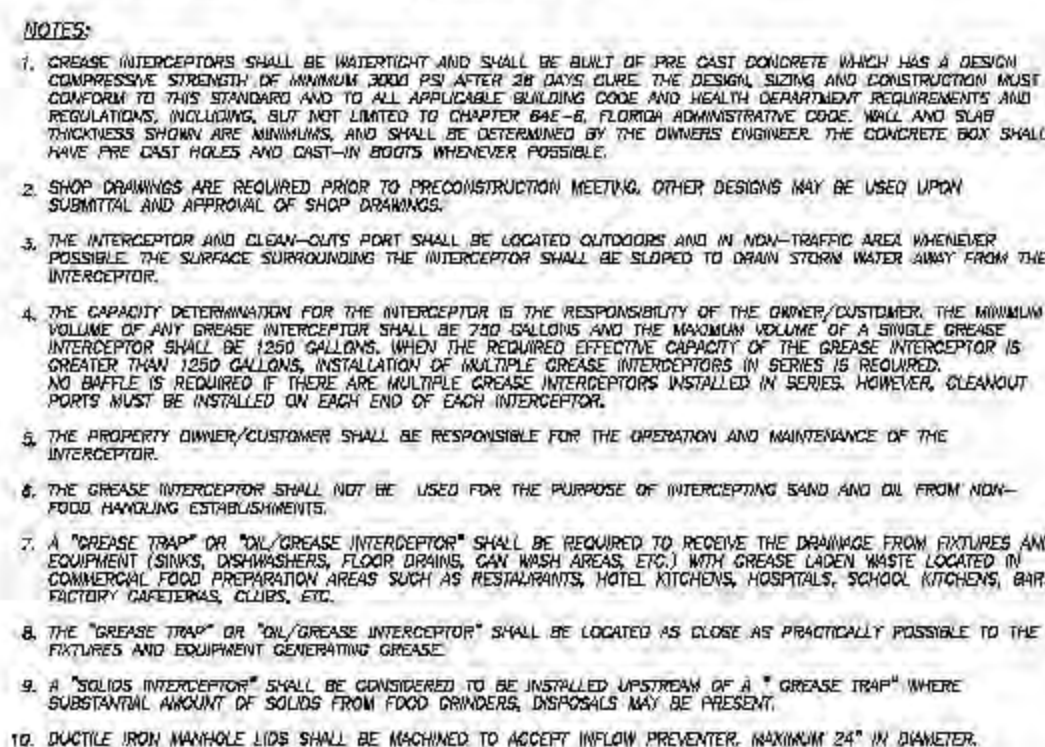



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PLAY	
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 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1205 SPANWY ROAD 18
ST AUGUSTINE, FLORIDA 32084
Phone (904) 308-8700 • Fax: (904) 308-8562



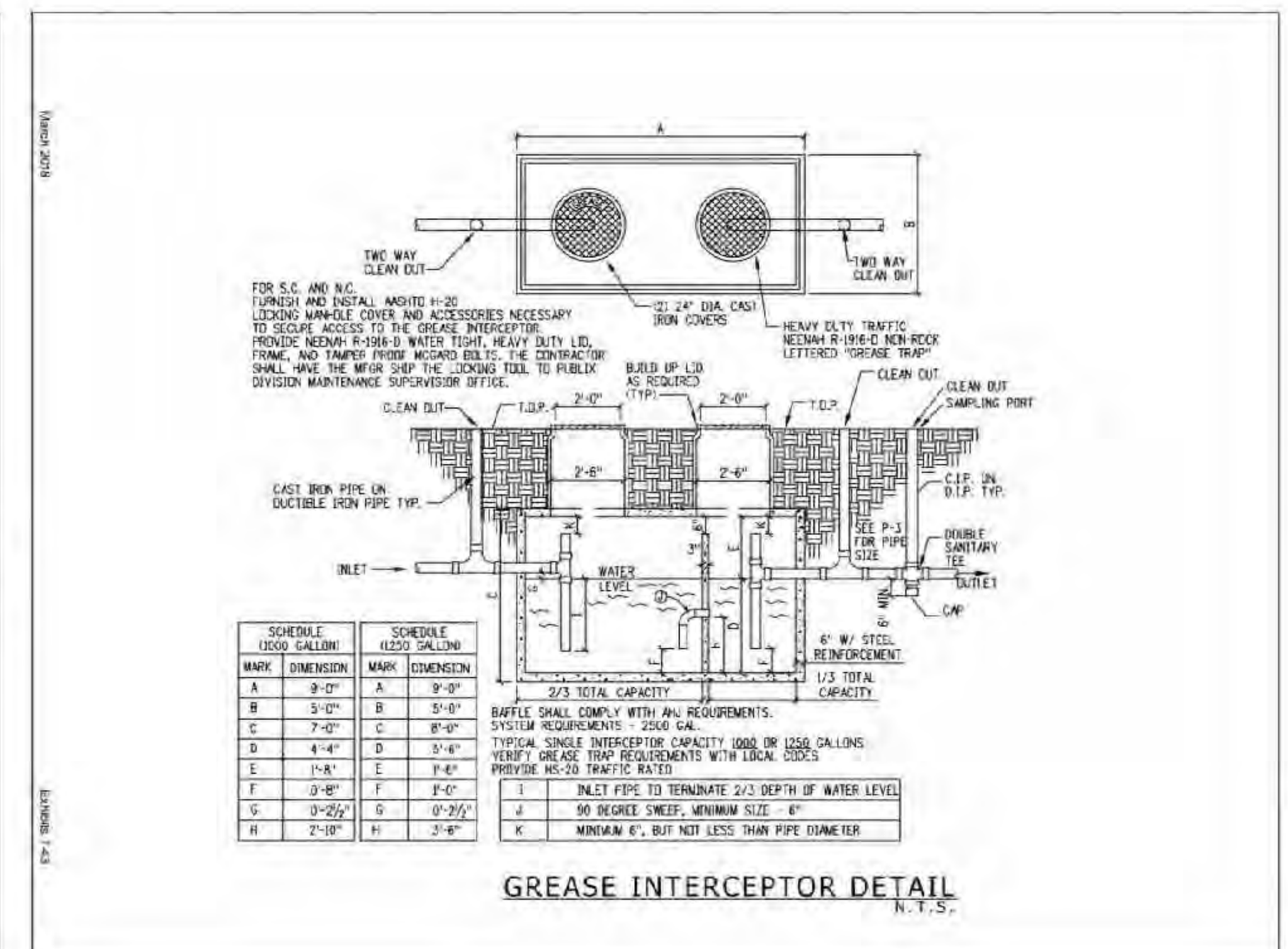
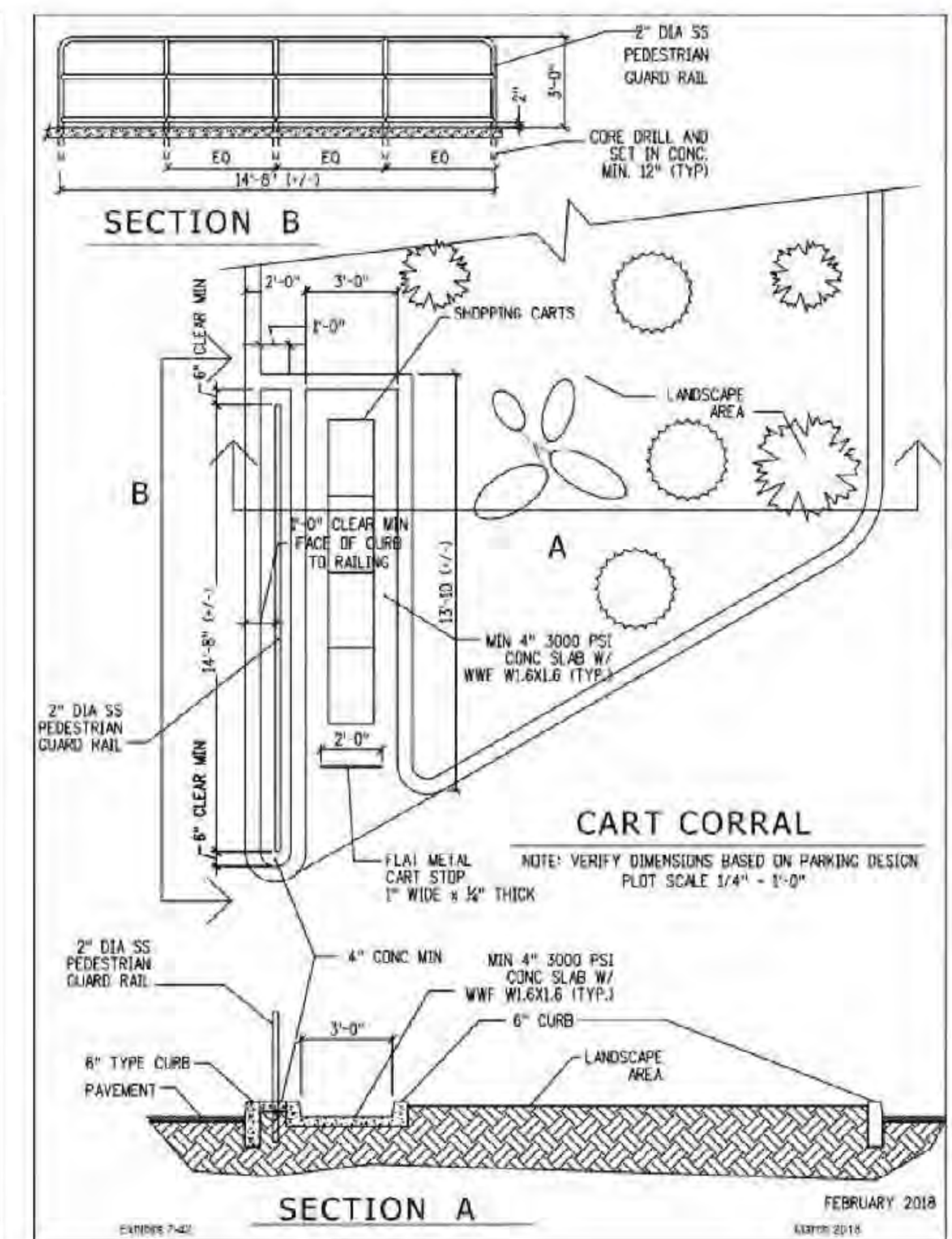
 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1205 STATE ROAD 16
ST. AUGUSTINE, FLORIDA 32084
Phone (904) 208-5700 • Fax: (904) 208-2852

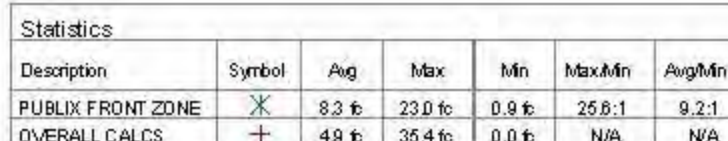
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 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1200 STATE ROAD 16
ST AUGUSTINE, FLORIDA 32084
Phone (904) 206-2700 • Fax: (904) 206-2825

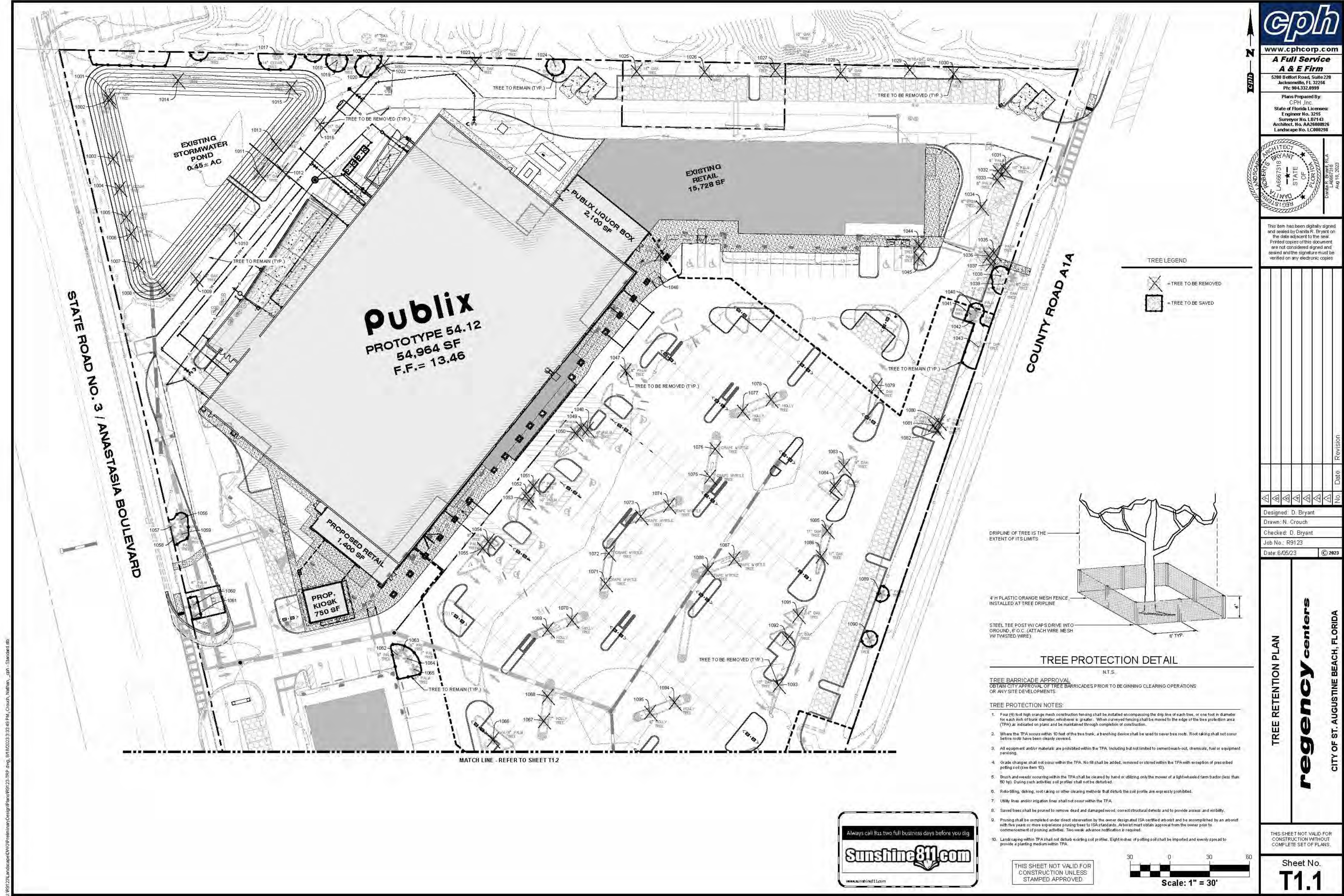
 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1200 STATE ROAD 16
ST AUGUSTINE, FLORIDA 32084
Phone (904) 206-2700 • Fax: (904) 206-2825

OIL/GREASE-SAND/OIL
INTERCEPTOR
SIZING TABLE





Schedule										
Symbol	Label	Image	Qty	Area/Volume	Coding	Description	Number Lamps	Lamp Output	Watt Efficacy	Notes
	S1		1	Linear Lighting	4750K LED100 90-20 80°CRI 100 40°C	4750K Area Fixture Type 2 Fluorescent Package 3000K CCT Type90 Distribution	1	2000	1	100.00
	S2		22	Linear Lighting	4750K LED100 90-20 80°CRI 100 40°C	4750K Area Fixture Type 2 Fluorescent Package 3000K CCT Type90 Distribution	1	2000	1	97.00
	S4		1	Linear Lighting	4750K LED100 90-20 80°CRI 100 40°C	4750K Area Fixture Type 2 Fluorescent Package 3000K CCT Type90 Distribution	1	2000	1	100.00
	FL		4	Linear Lighting	4750K LED100 90-20 100 80°CRI 100 40°C	4750 Area Fixture Type 2 Fluorescent Package 3000K CCT Type 90 LED Distribution	1	2000W	1	100.00 W
	W		22	Linear Lighting	4750K LED100 90-20 80°CRI 100 40°C	4750K Area Fixture Type 2 Fluorescent Package 3000K CCT Type 90 LED Distribution	1	2000	1	100.00W



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Jacksonville, FL 32256
Ph: 904.332.9999

Plans Prepared By:
C.P.H. Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298

This item has been digitally signed and sealed by D. Bryant on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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Designed: D. Bryant

Drawn: N. Crouch

Checked: D. Bryant

Job No.: R9123

Date: 6/05/23

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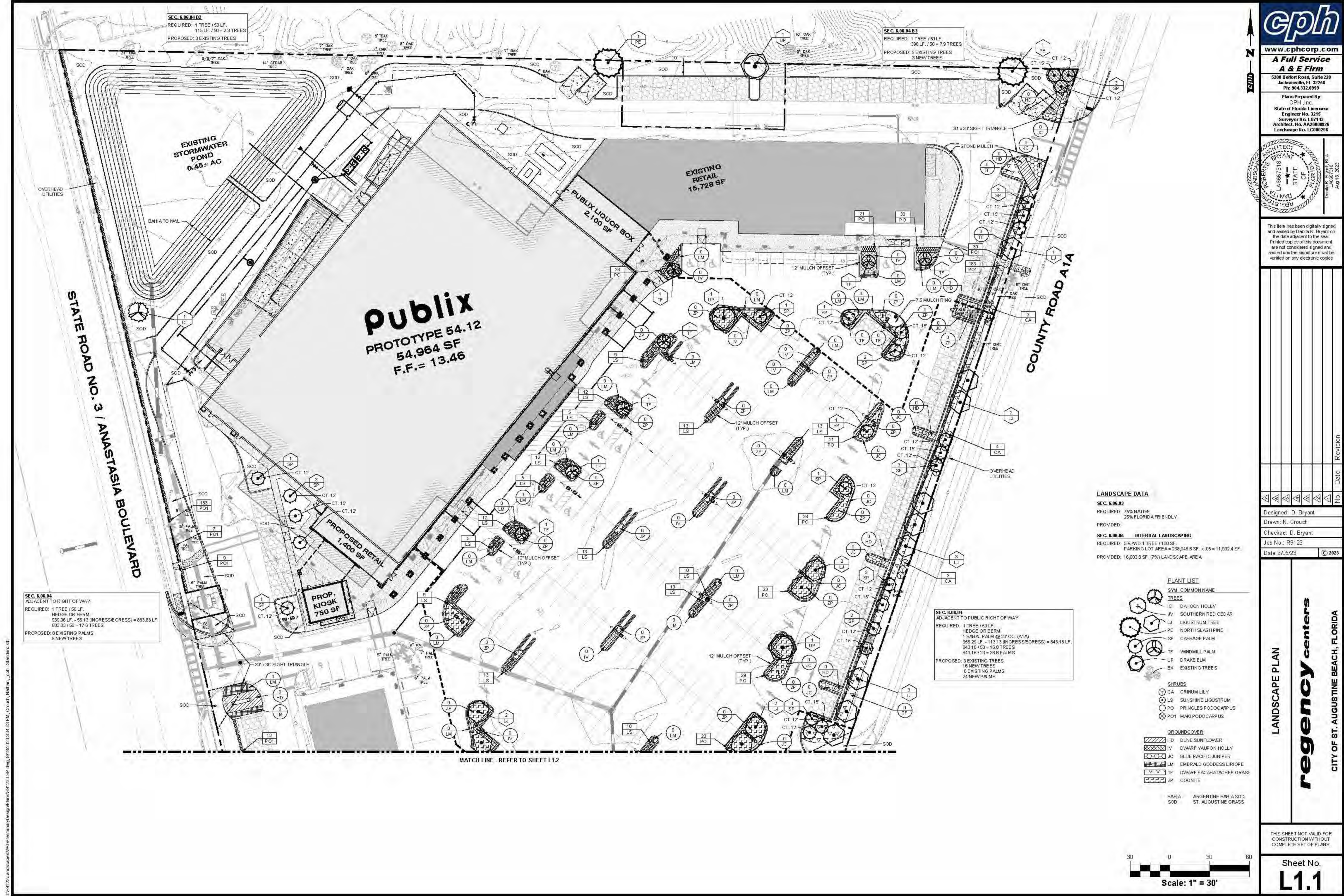
regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
T1.1

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SEC. 6.06.04 B2
REQUIRED: 1 TREE / 50 LF.
115 LF / 50 = 2.3 TREES
PROPOSED: 3 EXISTING TREES

SEC. 6.06.04 B3
REQUIRED: 1 TREE / 50 LF.
388 LF / 50 = 7.8 TREES
PROPOSED: 5 EXISTING TREES
3 NEW TREES

SEC. 6.06.04
ADJACENT TO RIGHT OF WAY
REQUIRED: 1 TREE / 50 LF.
HEDGE OR BERM
333.96 LF - 55.13 (INGRESS/EGRESS) = 883.83 LF.
883.83 / 50 = 17.7 TREES
PROPOSED: 8 EXISTING PALMS
9 NEW TREES

SEC. 6.06.04
ADJACENT TO PUBLIC RIGHT OF WAY
REQUIRED: 1 TREE / 50 LF.
HEDGE OR BERM
1 SABL PALM @ 23' OC. (A1A)
956.28 LF - 113.13 (INGRESS/EGRESS) = 843.16 LF.
843.16 / 50 = 16.9 TREES
843.16 / 23 = 36.6 PALMS
PROPOSED: 3 EXISTING TREES
16 NEW TREES
5 EXISTING PALMS
24 NEW PALMS

- LANDSCAPE DATA**
- SEC. 6.06.03
REQUIRED: 75% NATIVE
25% FLORIDA FRIENDLY
PROVIDED:
- SEC. 6.06.05 INTERNAL LANDSCAPING
REQUIRED: 5% AND 1 TREE / 100 SF.
PARKING LOT AREA = 238,048.8 SF. x .05 = 11,902.4 SF.
PROVIDED: 16,003.8 SF. (7%) LANDSCAPE AREA
- PLANT LIST**
- SYM. COMMON NAME
- TREES**
- IC DAHOON HOLLY
 - JV SOUTHERN RED CEDAR
 - LJ LIGUSTRUM TREE
 - PE NORTH SLASH PINE
 - SP CABBAGE PALM
 - TF WINDMILL PALM
 - UP DRAKE ELM
 - EX EXISTING TREES
- SHRUBS**
- CA CRINUM LILY
 - LS SUNSHINE LIGUSTRUM
 - PO PRINGLES PODOCARPUS
 - PO1 MAKI PODOCARPUS
- GROUND COVER**
- HD DUNE SUNFLOWER
 - IV DWARF YAU-PON HOLLY
 - JC BLUE PACIFIC JUNIPER
 - LM EMERALD GODDESS LIRIOPE
 - TF DWARF F. ACACIATACHEE GRASS
 - COONTIE
- BAHA ARGENTINE BAHIA SOD.
SOD ST. AUGUSTINE GRASS

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A Full Service A & E Firm

5200 Belfort Road, Suite 220
Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
CPH, Inc.

State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298

This item has been digitally signed and sealed by D. Bryant on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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Designed: D. Bryant
Drawn: N. Crouch
Checked: D. Bryant
Job No.: R9123
Date: 6/05/23 © 2023

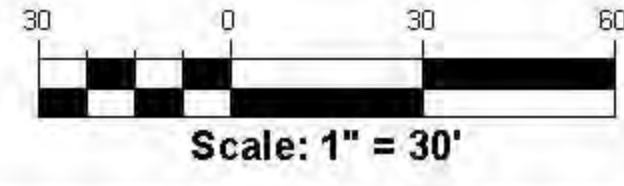
LANDSCAPE PLAN

regency centers

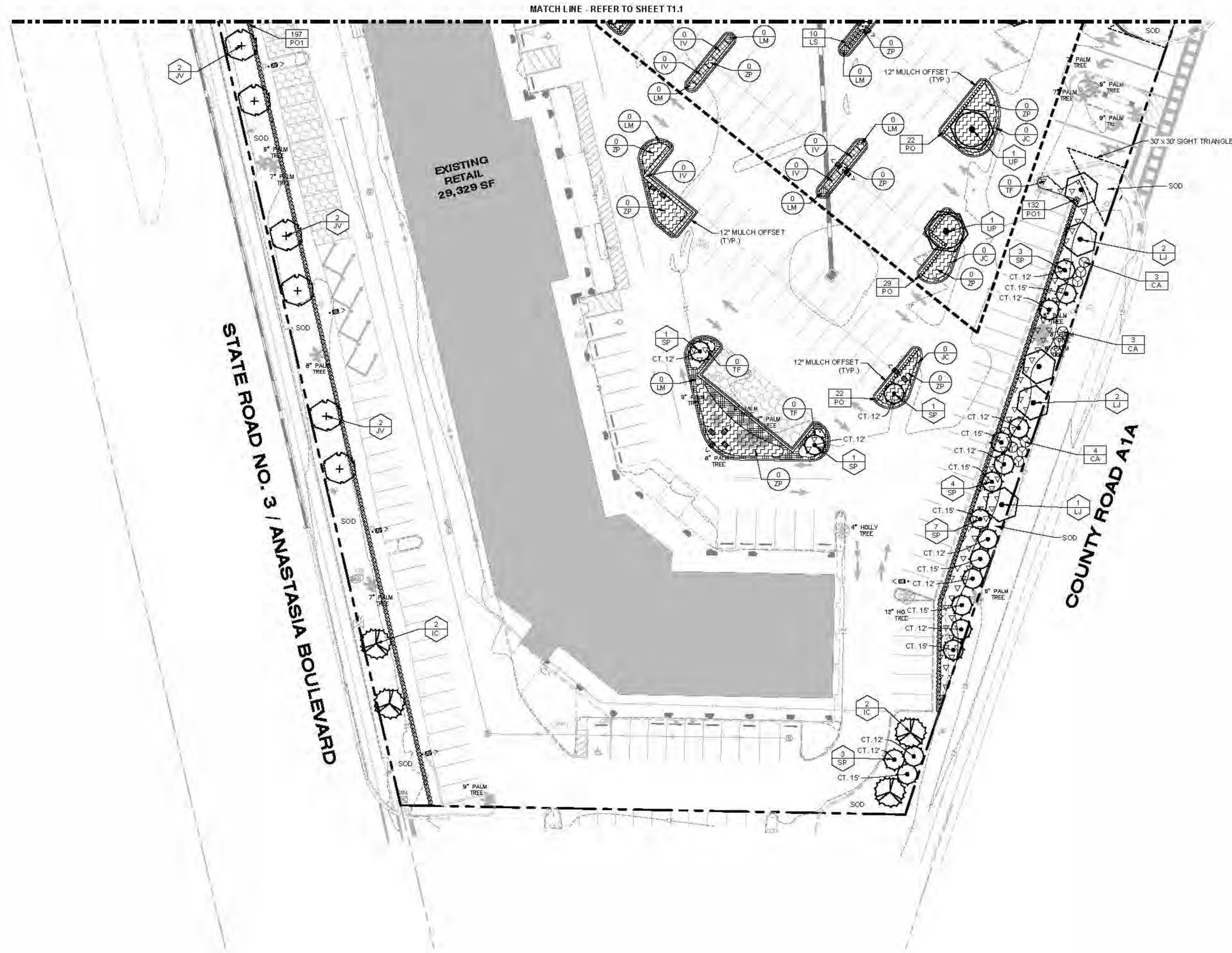
CITY OF ST. AUGUSTINE BEACH, FLORIDA

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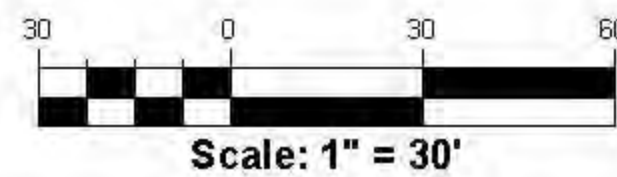
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PLANT LIST	
SYM.	COMMON NAME
TREES	
IC	DAHOON HOLLY
JV	SOUTHERN RED CEDAR
LJ	LIGUSTRUM TREE
PE	NORTH SLASH PINE
SP	CABBAGE PALM
TF	WINDMILL PALM
UP	DRAKE ELM
EX	EXISTING TREES
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GROUND COVER	
HD	DUNE SUNFLOWER
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TF	DWARF FACAHATACHEE GRASS
CO	COONTIE
BAHA	BAHIA
SOD	ARGENTINE BAHIA SOD.
	ST. AUGUSTINE GRASS



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Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298

ARCHITECT
DANIEL R. BRYANT
STATE OF
FLORIDA
REGISTERED
LANDSCAPE ARCHITECT
No. 146667318
Exp. 8/18/2023

This item has been digitally signed and sealed by Daniel R. Bryant on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

LANDSCAPE PLAN

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

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Sheet No.
L1.2

LANDSCAPE NOTES:

1. The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
2. The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor to verify the locations of utility lines within and adjacent to the work area. To protect all utility lines during the construction period, the contractor shall repair any and all damage to utilities, structures, site furnishings, etc., which occurs as a result of the construction. To field adjust the location of proposed trees and plants 10' from the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
4. The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation lines and plants.
5. Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or shrub locations to avoid any such obstructions.
6. Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
7. All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
8. All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, as mandated by the Florida Department of Agriculture and Consumer Services.
9. The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper. When the plant list description calls out DBH or caliper at DBH, it shall govern over the caliper definition in this note.
10. The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
11. Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
12. Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
13. TOPSOIL

Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, soda, drift clay, stones larger than 1/4 inch in diameter, clumps, roots, trash, toxic substances or any other material which may be harmful to plant growth or hinder planting operations. Topsoil shall contain a minimum of three percent organic material. 6" Top Soil shall be placed in all turf and landscape areas.

14. All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage/percolation is available.

15. The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered for plants to thrive as defined by Florida Grades and Standards for Nursery Stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.

16. It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper watering or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.

17. All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.

18. Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.

19. Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of muck soils. Muck grove sod will not be approved. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangles 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be placed adjacent to one another to avoid gaps and overlaps. Sod shall be staggered between the rows. Sod placed on slopes exceeding 3:1 shall be pinned with turf staples. Sod turf, shall have been moved a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative.

20. It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.

21. The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil will be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.

22. UNSUITABLE SUBSOILS

- Locations containing unsuitable subsoil shall be treated by one or more of the following:
- A. Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spades, digging, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat, moss, sand, or organic matter into the subsoil to obtain adequate drainage measures shall be considered as incidental, without additional cost to Owner.

- B. Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.

- C. Where unsuitability is deemed by Owner to be because natural subsoil falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.

- D. Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.

23. The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.

24. The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of bidding.

25. Mulch - All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved equal). Cypress mulch not permitted. A 5' diameter mulch ring is to be placed around trees located in sod areas or outside of planting beds.

26. Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die (such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required).

27. MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:

Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.

Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.

During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.

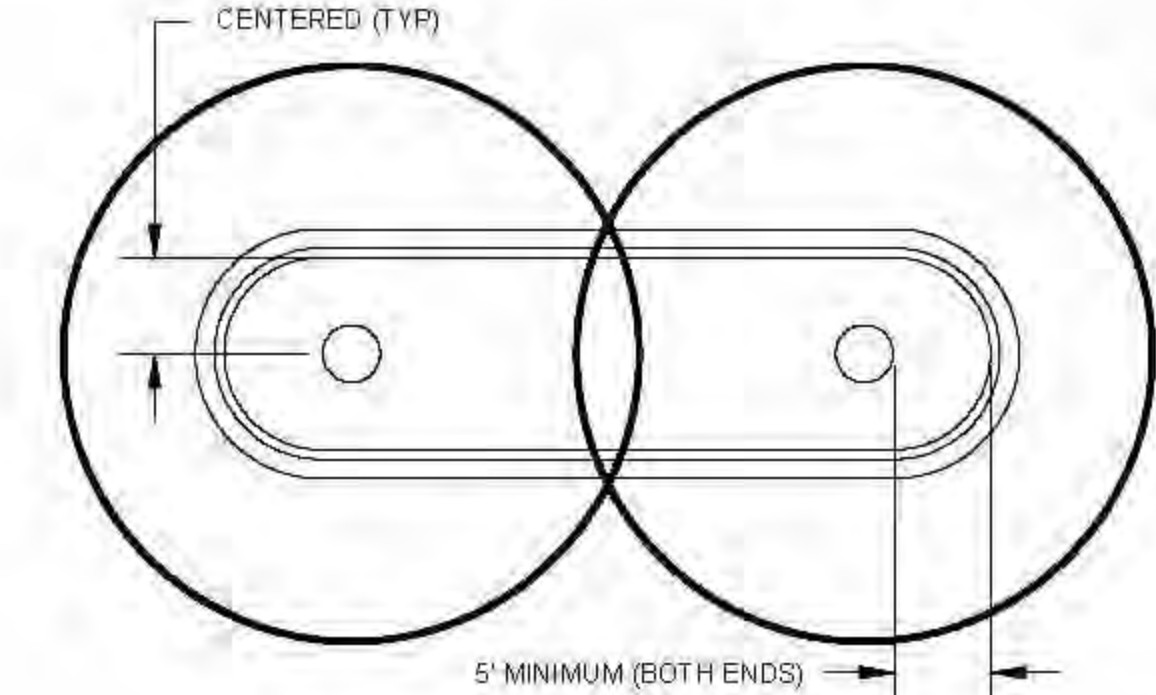
At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor stating the date when the Maintenance period ends.

GUARANTEE AND REPLACEMENT:

All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each species and kind of plant at the end of the guaranteed period.

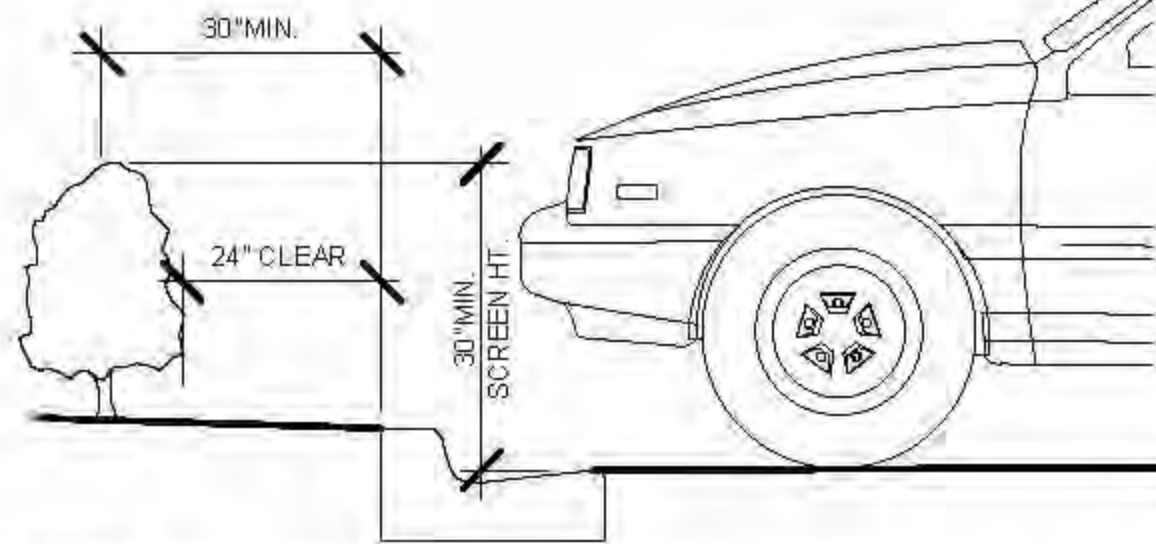
At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.

All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.



ALL TREES PLANTED IN LANDSCAPE ISLANDS OR ANY LANDSCAPED AREAS SHOULD BE A MINIMUM OF 5' OFF OF BACK OF CURB UNLESS ABSOLUTELY NECESSARY DUE TO UTILITY LINES/PIES LOCATION.

TYPICAL ISLAND PLANTING



NOTES:
INSTALL HEDGE ALONG PARKING BAYS A MINIMUM OF 30' BEHIND BACK OF CURB TO ALLOW FOR 24" VEHICULAR OVERHANG. AT TIME OF INSTALLATION, HEDGE SHALL SCREEN A MINIMUM OF 30' ABOVE FINISH GRADE OF PARKING STALLS.

TYPICAL SECTION - HEDGE INSTALLATION

N.T.S.

PLANT LIST					
SYM	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY.	NOTE
TREES					
IC	DAHOON HOLLY	ILEX CASSINE	3" CAL., 8' HT., 2' SPRD.	5	N, D, FF
IV	SOUTHERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CAL., 8' HT., 2' SPRD.	6	N, E, FF
LJ	LIGUSTRUM TREE	LIGUSTRUM JAPONICUM	TREE FORM 3" CAL., 7' HT.	20	E, FF
PE	NORTH SLASH PINE	PINUS ELLIOTTII	3" CAL., 8' HT., 2' SPRD.	2	N, E, FF
SP	CABBAGE PALM	SABAL PALMETTO	REFER TO PLAN FOR CT., REGEN HEADS, CLEAN STRAIGHT TRUNKS	47	N, E, FF
TF	WINDMILL PALM	TRACHYCARPUS FORTUNEI	18" OA. CLEAN STRAIGHT TRUNKS	7	E, FF
UP	DRAKE ELM	ULMUM PARVIFOLIA 'DRAKE'	3" CAL., 8' HT., 2' SPRD.	5	D, FF
EX	EXISTING TREES				
SHRUBS					
CA	CRINUM LILY	CRINUM AUGUSTUM	15 GAL., 4' HT., FULL, 5' O.C.	20	A, FF
LS	SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE	3 GAL., 8' HT., 6" SPRD., 24" O.C.	161	H, A
PO	PRINGLES PODOCARPUS	PODOCARPUS MACROPHYLLUS 'PRINGLES'	3 GAL., 12" HT., 8" SPRD., 15" O.C.	289	A, FF
PO1	MAKI PODOCARPUS	PODOCARPUS MACROPHYLLUS 'MAKI'	3 GAL., 24" HT., 9" SPRD., 24" O.C.	754	H, FF

BAHA: ARGENTINE BAHIA SOD
SOD: ST. AUGUSTINE GRASS
PASPALUM NOTATUM 'ARGENTINE'
STENOTAPHRUM SECUNDATUM
SOD SOD, CONTRACTOR TO VERIFY QTY.
SOD SOD, CONTRACTOR TO VERIFY QTY.

(A): ACCENT
(D): DECIDUOUS
(E): EVERGREEN
(FF): FLORIDA-FRIENDLY
(G): GROUND COVER
(H): HEDGE
(N): NATIVE

- NOTE:
1. PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.

2. IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.

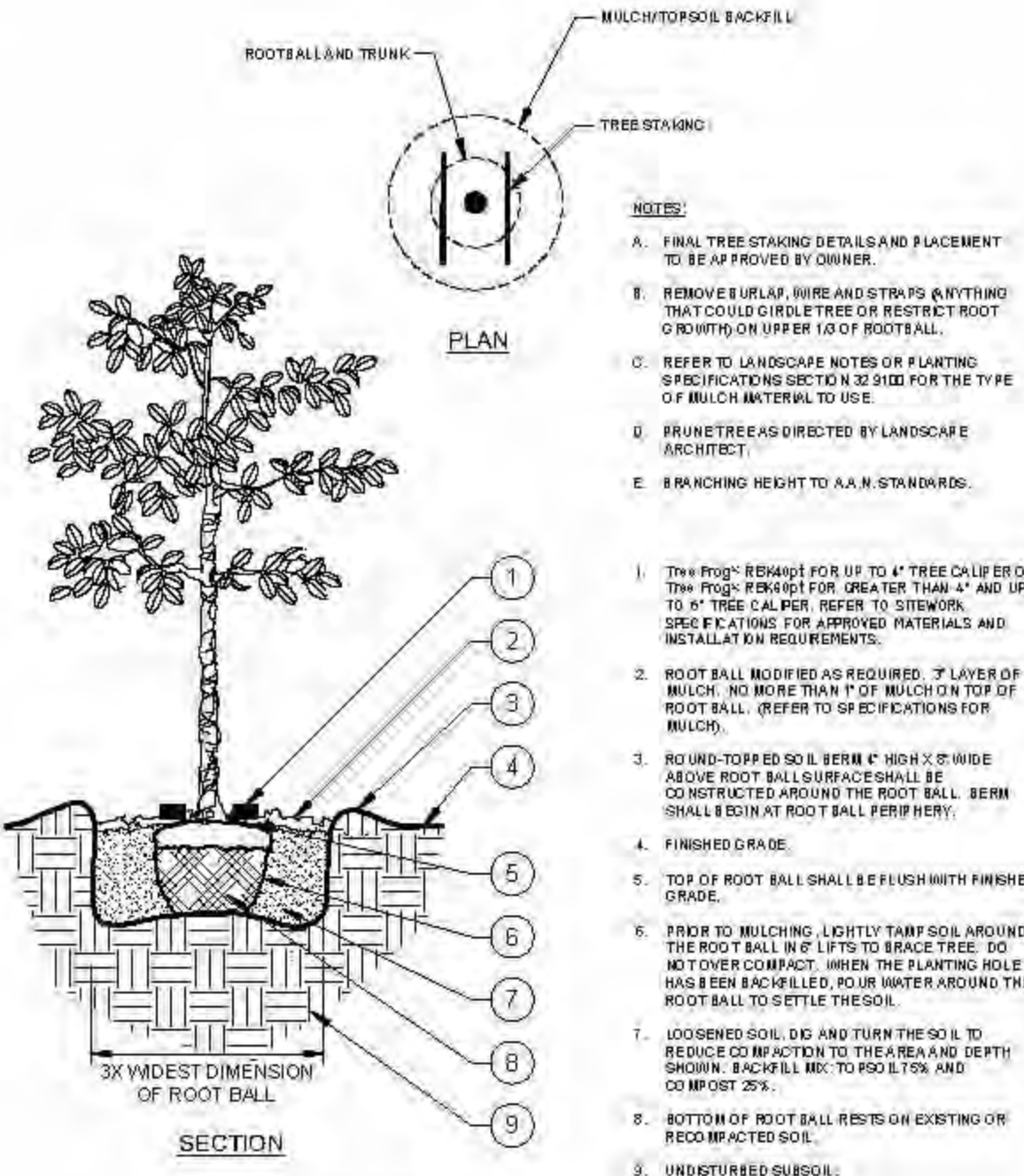
3. ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.

4. ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.

5. CONTRACTOR TO MODIFY EXISTING IRRIGATION SYSTEM TO ENSURE ADEQUATE IRRIGATION FOR ALL NEW PLANT MATERIAL.

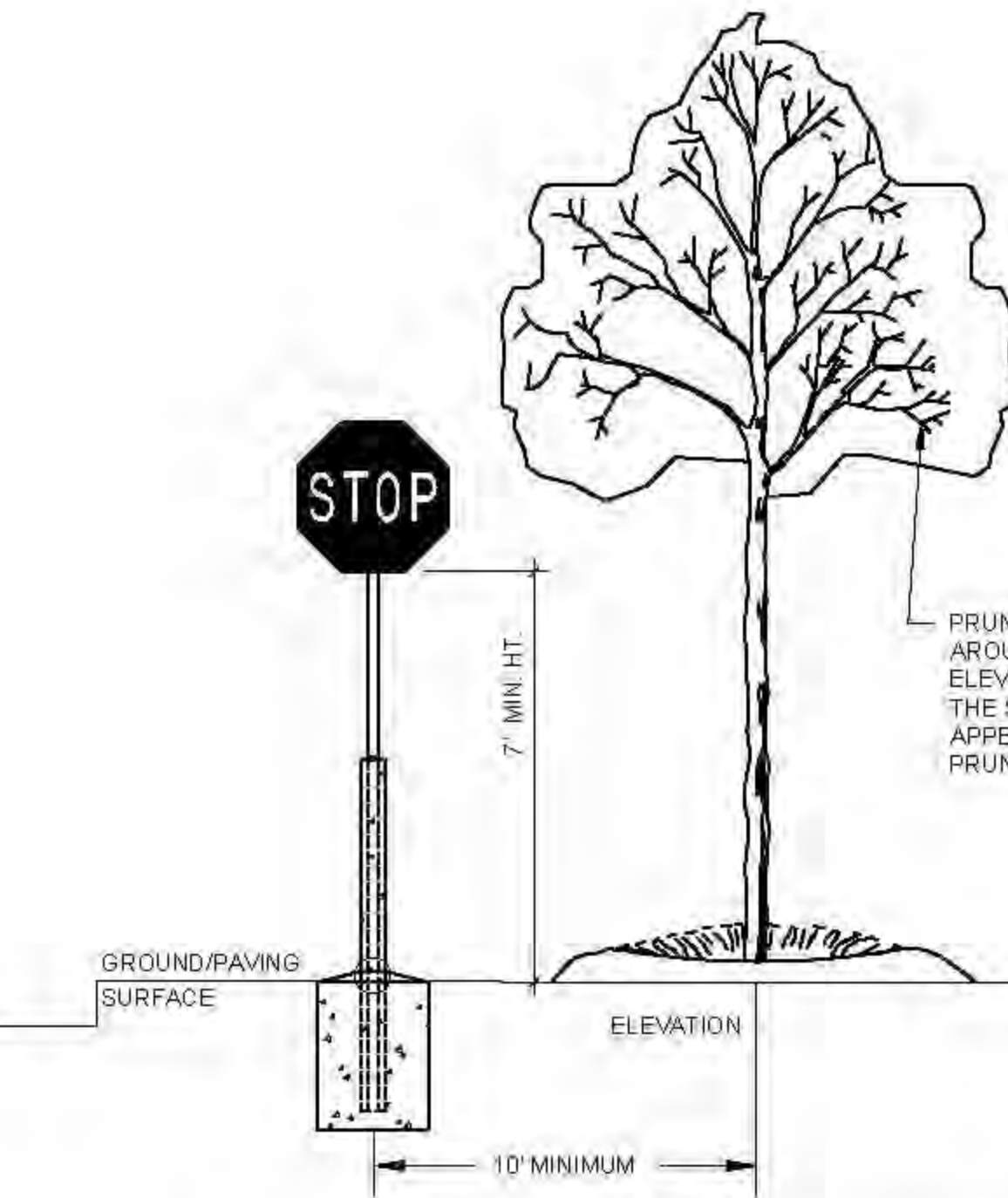
6. CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.

7. REMOVE COMPACTED MATERIAL FROM ALL PLANT BEDS.



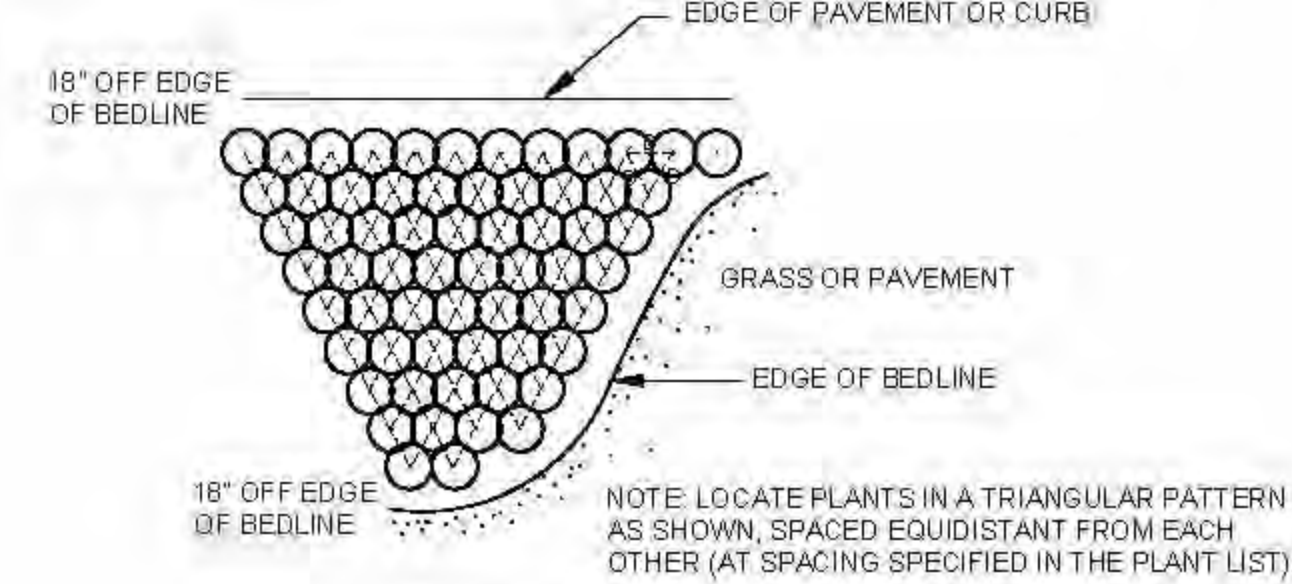
SMALL TREE PLANTING (14' OR LESS)

N.T.S.



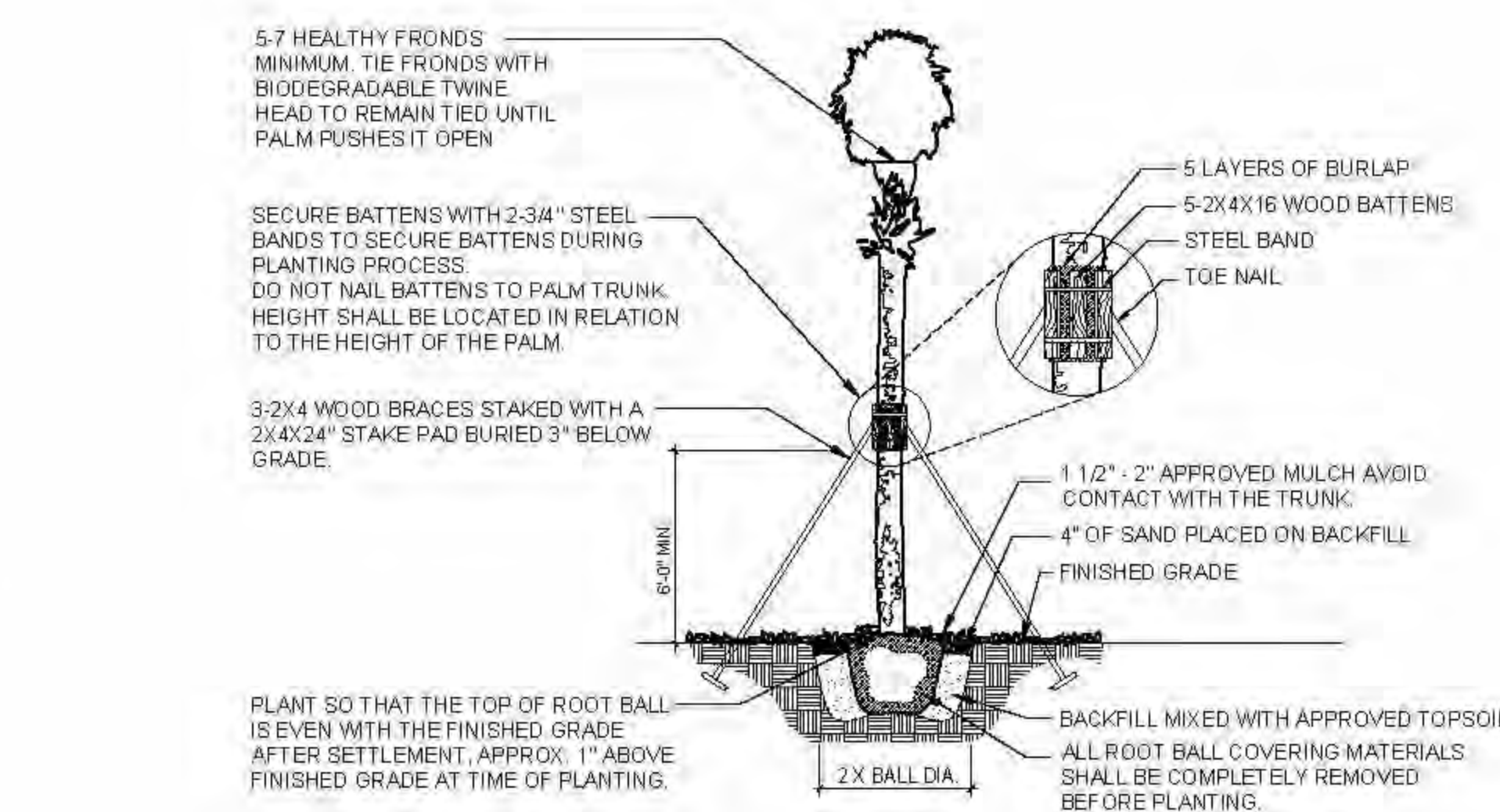
TREE PLANTING AT TYPICAL SIGN

N.T.S.



SHRUB/GROUND COVER SPACING PLAN

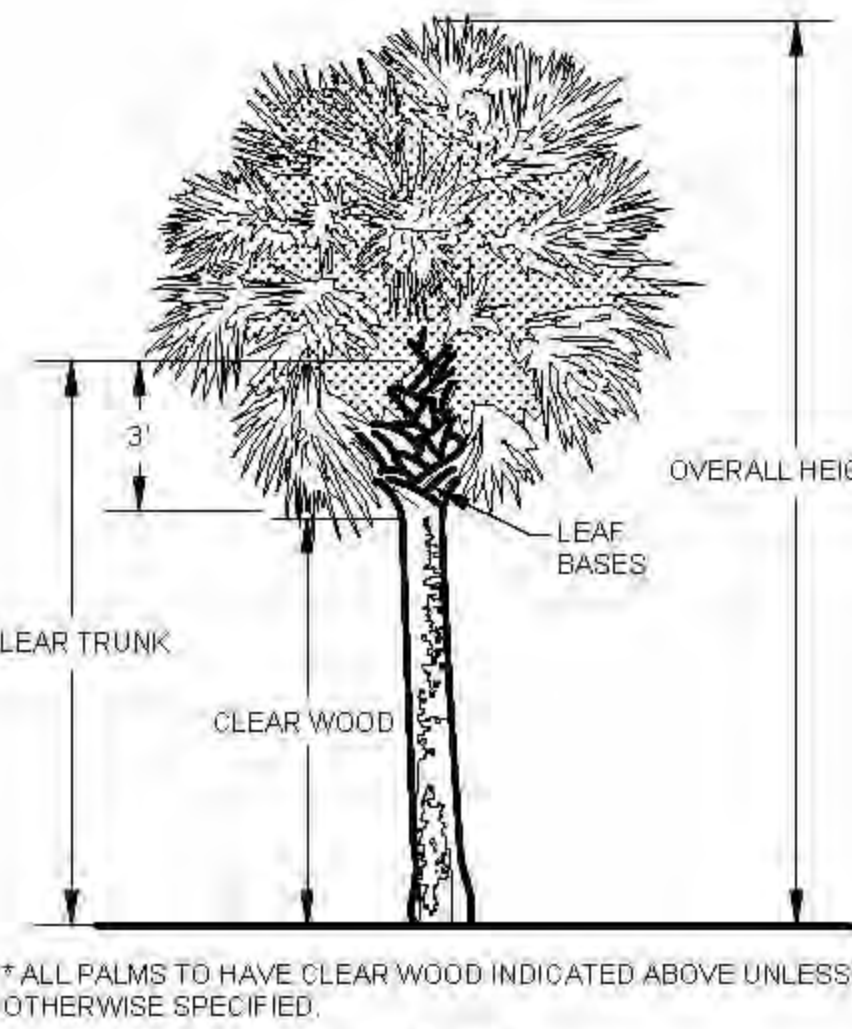
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PLANT SO THAT THE TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE AFTER SETTLEMENT, APPROX. 1" ABOVE FINISHED GRADE AT TIME OF PLANTING.

PALM STAKING DETAIL

N.T.S.



SABAL PALM (NO CROWN SHAFT)

PALM MATRIX B

DPI INSPECTION NOTES (REQUIRED)

D.P.I. PALM INSPECTION NOTE: ALL PALMS SHALL HAVE A VALID AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.

DPI INSPECTION NOTES (REQUIRED)

D.P.I. INSPECTION OF ALL PLANT MATERIAL: ALL TREES, SHRUBS AND SOD WILL HAVE A VALID AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.

PALM HEIGHT/TRUNK SPECIFICATIONS

OVERALL HEIGHT: HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOIL LINE TO THE NATURAL POSITION OF THE LAST FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT OR HEIGHT MEASUREMENTS SPECIFIED WILL BE CONSIDERED OVERALL HEIGHT.
CLEAR TRUNK (CT): A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL BE AT THE BASE OF THE PETIOLE OF THE THIRD OR FOURTH YOUNGEST BUT FULLY EXPANDED LEAF.

CLEAR WOOD (CW): A MEASUREMENT FROM THE SOIL LINE TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT. IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR WOOD.

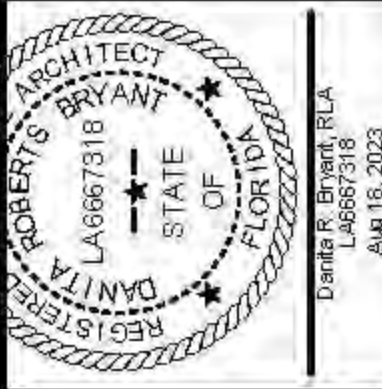
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Architect No. AA2600026
Landscape No. LC000298



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Designed: D. Bryant

Drawn: N. Crouch

Checked: D. Bryant

Job No.: R9123

Date: 6/05/23

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LANDSCAPE NOTES AND DETAILS
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CITY OF ST. AUGUSTINE BEACH, FLORIDA

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