# MEMORANDUM

Agenda item # 3

Meeting Date 10-2-23

TO:	Mayor Samora
	Vice Mayor Rumrell
	Commissioner Morgan
	Commissioner George
	Commissioner Sweeny
FROM:	Max Royle, City Manager mt
DATE:	September 20, 2023
SUBJECT:	Replacement of Publix Supermarket in the Anastasia Shopping Plaza: Request to Approve Final Development Plan

Attached (pages 1-22) is information that the Comprehensive Planning and Zoning reviewed at its September 19, 2023, meeting concerning the request from Regency Centers for final development plan approval. Page 23 (attached) is a memo from Ms. Jennifer Thompson, City <u>Planner</u>, in which she states <u>that the Board by a unanimous vote at that meeting recommended</u> you approve the final development plan for the new Publix.

There is also additional information. It consists of site plans and drawings and is too large to fit in your agenda books. It will be provided separately. Should you have questions about the site plans, please call Ms. Thompson, the City Planner at (904) 471- 8758.

Your review of the proposed final development plan for the new Publix will be the fourth time the plan has been presented for public review and discussion. The other three times were:

- June 20<sup>th</sup>, when the Planning Board held a concept review hearing on the project.
- September 11<sup>th</sup>, when Regency Centers held an information hearing for the public at city hall.
- September 19<sup>th</sup>, when the Planning Board held a hearing and recommended that you approve the final development plan.

At the above meetings, some residents had concerns about the proposed replacement, but none were hot-button or negative issues. Some of the concerns were drainage from the shopping center to the north into Hammock Dunes Park, having a sound wall to buffer the noise from delivery trucks being unloaded, improving the west entrance into the parking lot and keeping the Publix pharmacy open, either on site or elsewhere in the City.

# MEMORANDUM

#### ACTION REQUESTED

It is that you hold the public hearing and then decide whether to approve the final development plan to replace the current Publix supermarket with a new facility.



**To:** Comprehensive Planning and Zoning Board

From: Jennifer Thompson, Planner

**CC:** Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner **Date:** 09/12/2023

Re: Major Development Application File #2023-01

Major Development file #2023-01 is an application to replace the existing Publix grocery store located at 1033 A1A S. in the Anastasia Plaza owned by Regency Centers. The existing Publix will be demolished and replaced with a new 54,964 square foot building. Additionally, the parking lot will be improved in phases to keep businesses in the plaza operational during the rebuild process.

At the June 20, 2023, Planning and Zoning meeting, the board reviewed the Concept Review for the Publix rebuild and Anastasia Plaza remodel. During this meeting, the Planning and Zoning Board granted variances for this project which are attached.

St. Johns County Fire Department and St. Johns County Utilities have included comments regarding this project, and the applicants are aware of the requirements set forth by these agencies.

Sincerely,

Jennifer Thompson, CFM

Planner Planning and Zoning Division



To: Planning & Zoning Division
From: Brian Law, Director of Building & Zoning
Date: 09/12/2023
Re: 1033 A1A Beach Blvd. Final Development Order

The 2020 Florida Building Code has no objection to the requested remodel/rebuild of the Publix located in the Regency Plaza at 1033 A1A Beach Blvd. The Building Division will review the completed architectural and engineered plans upon submittal for a building permit.

Brian W. Law

Brian W. Law, CBO, CFM, MCP Director of Building & Zoning



# City of St. Augustine Beach

#### MEMORANDUM

TO: Bonnie Miller, Senior Planner
FROM: Jason D. Sparks, P.E., Engineering Director
DATE: August 31, 2023
SUBJECT: Major Development Review for Publix Rebuild and Anastasia Plaza

Engineering reviewed the proposed grading and storm drainage and stormwater pollution prevention plan and offers the following:

- This is an existing privately owned and maintained drainage system permitted through the St. Johns River Water Management District (SJRWMD).
- Provide the approved SJRWMD permit modification and associated documentation reflecting proposed improvements.
- Indicate the pond outfall location on the plans.
- Upon completion, provide drainage system inspection results and construction certification of completion signed and sealed by a licensed professional engineer registered in the State of Florida.
- Ensure all roof drains, downspouts, associated piping and appurtenances conform with the latest edition of the Florida Plumbing Code.
- No objection to modifying, upgrading and rehabilitating the existing stormwater drainage system as per the SJRWMD permitted documents.

From:	Dawn Lyons					
To:	Jennifer Thompson					
Subject:	Publix Reno -DRC					
Date:	Monday, August 28, 2023 1:58:37 PM					
Attachments:	image001.png					
	image002.png					
	image003.png					
	image004.png					
	image005.png					
	image006.png					
	image007.png					

**CAUTION:** This message originated from outside of your organization. Clicking on any link or opening any attachment may be harmful to your computer or the City. If you do not recognize the sender or expect the email, please verify the email address and any attachments before opening. If you have any questions or concerns about the content, please contact IT staff at IT@cityofsab.org.

Good afternoon,

Below are the rejected Fire comments. Please resubmit to Fire in person with 2 copies of the below comments, answered, signed and dated by the person that completes them along with 2 copies of any plan sheets that will need to be slip sheeted into the set we have here.

St. Johns County Fire Rescue Department Fire Marshal Office Plans Review Comment Sheet

Project Name Publix Project Address 1033 A1A Beach Blvd. Contractors Name Contractors Phone Number Sprinkler Contractor Underground Fire Alarm Contractor FHID 13440

Plans Reviewed under Florida Uniform Fire Safety Standards or Florida Fire Prevention Code 7th edition.

To help speed the review process you may include a written comment response summary to clarify or illustrate where corrections were made on plans. Please remember to use the Florida Fire Prevention Code 7th Ed for all code reference in a response to comments. The fire plans examiner does not use or have a copy of the Florida Building Code.

Plans for the demolition of an existing Publix and some of the neighboring retail space, to re-build a slightly larger Publix. The existing store is 48,555sf with 55,663sf or retail. The proposed store is 54,964sf with 48,761 of retail.

1. Identify on the plans that the building will be provided with fire sprinklers.

2. How will egress be maintained for the existing occupancies while the concrete in front of the existing retail building is removed and replaced?

3. Please pass on to the design professional of the building an evaluation for a radio enhancement system is required for new buildings over 12,000 square feet and/or underground areas. NFPA 1:11.10 and NFPA 1225 (2022 ED.)

4. On utility plan, clearly label where public utility stops and beginning of point of service (POS) for private fire main in accordance with FS 633.102(24). (This is where main serves fire protection exclusively.)

5. On utility plan, place note: FDC shall be 5" Storz connection with 30 degree downward deflection.

6. Place this statement prominently on all utility pages:

This civil utility plan is provided for DRC (civil) review only. Approval of these plans do not include approval for private underground water main, hydrants, and fire sprinkler mains. Civil drawings illustrate layout only and do NOT show full compliance with the respective Fire Codes. For Fire Marshal underground permit, detailed shop drawings must be prepared and submitted by the installing underground fire contractor I, II or V showing complete compliance with, but not limited to, NFPA 24, (Standard for Installation of Private Fire Service Mains and their Appurtenances.)

Kindest regards,



#### Dawn Lyons

Administrative Assistant/Fire Permit Specialist Fire Rescue/Fire Prevention St. Johns County Board of County Commissioners 4040 Lewis Speedway, St. Augustine FL 32084 904-209-1712 | www.sicfl.us From: Chad J. Smith <<u>cjsmith@sjcfl.us</u>>
Sent: Monday, September 11, 2023 3:30 PM
To: Melissa Caraway <<u>mcaraway@sjcfl.us</u>>
Subject: RE: City of St. Aug Beach Publix plans

#### Missy,

Below are the comments for the St Augustine Beach Publix:

- 1. Provide existing square footage that will be demolished.
- 2. Provide arch/plumbing plans of new building.
- 3. Clarify ownership of new 1 & 1/2" water meter. This plaza is master metered so the new meter could be a privately owned meter to deduct usage from master meter. SJCU does not allow publicly owned meters on private water mains.
- 4. Provide grease trap spec sheets for review by SJCU Pre-treatment Dept.

Thank you,



Chad J Smith Utility Review Specialist Utilities Development Group St. Johns County Board of County Commissioners 1205 SR 16, St. Augustine FL 32084 904-209-2632 | www.sjcfl.us



Florida has a very broad public records law. Most written communications to or from the St. Johns County Board of County Commissioners and employees regarding public business are public records available to the public and media through a request. Your e-mail communications may be subject to public disclosure. This communication may contain privileged and confidential information intended only for the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution or duplication of this communication is strictly prohibited. If you are not the intended recipient, please notify the sender by reply email and destroy all copies of the original message.

-ia3(61));;;	<b>BEFORE THE COMPREHENSIVE PLANNING AND ZONING BOARD OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA</b> In RE:	Public Records of St. Johns County, FL Clerk number: 2023050382 BK: 5783 PG: 661 6/28/2023 2:45 PM Recording \$18,50	sa Leo Si Si Si Si Tu
а.	APPLICATION OF PATRICK MCKINLEY, AGENT FOR REGENCY CENTERS AND MCW-RC-FL- ANASTASIA LLC, FOR A LAND USE VARIANCE PERTAINING TO RECONFIGURATION OF THE EXISTING ANASTASIA PLAZA SHOPPING CENTER PARKING LOT IN A COMMERCIAL		
	LAND USE DISTRICT AT 1033 A1A BEACH BOULE ST. AUGUSTINE BEACH, FLORIDA, 32080	VARD,	

#### **ORDER APPROVING VARIANCE FILE NO. VAR 2023-10**

This CAUSE came on for public hearing before the Comprehensive Planning and Zoning Board of the City of St. Augustine Beach, Florida, on Tuesday, June 20, 2023, upon Application (File No. VAR 2023-10) by Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant, for a land use variance for existing non-conforming uses for minimum parking space size of 9-feet-by-20 feet, per Section 6.03.05.B of the City of St. Augustine Beach Land Development Regulations, to 9.5-feet-by-18; reduction of the northern landscape buffer, per Section 6.06.04 of the City of St. Augustine Beach Land Development Regulations, to five (5) feet to accommodate the proposed new truck dock; and to lower the existing non-conforming impervious surface ratio (ISR) coverage but still exceed the maximum 70% ISR coverage allowed in a commercial land use district, per Section 6.01.02 of the City of St. Augustine Beach Land Development Regulations, for proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, Parcel Identification Number 174200-0020, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080. The Planning and Zoning Board having reviewed the Application, received public comments, and upon motion duly made, seconded and passed, the variance was approved based upon the following findings and subject to the following conditions:

1. The required considerations for the granting of a variance as detailed in the Application and discussed at the hearing are incorporated herein as findings of fact, as a result of the finding that the hardship granted is due to the acquisition of the property preceding the adoption of the regulations from which the variance is sought, which shall act in favor of the granting of the variance per Section 10.02.03.B.4 of the City of St. Augustine Beach Land Development Regulations.

- 2. A land use variance shall be granted for the allowances as stated above for the proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot on the property described above in a commercial land-use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, subject to the condition that a barrier fence be installed along the northern buffer area of the Anastasia Plaza property adjacent to Hammock Dunes Park.
- 3. A violation of the conditions listed above shall void the variance approval granted herein.

Any appeal of this decision may be made by filing an application for appeal to the St. Augustine Beach City Commission within thirty (30) days of the date of this Order.

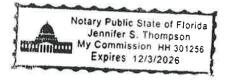
DONE AND ORDERED this 28 day of \_\_\_\_\_, 2023, at St. Augustine Beach, St. Johns County, Florida.

COMPREHENSIVE PLANNING AND ZONING BOARD OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA

Bv: Kevin Kincaid, Chairperson

#### STATE OF FLORIDA COUNTY OF ST. JOHNS

The foregoing instrument was acknowled	dged before me by means of $\Box$	physical presence or
<b>[</b> ] online notarization, this 28 by (print name of person signing above)_	_day of June	, 2023,
by (print name of person signing above)_	Kevin Kincaid	,
who is personally known to me	[Y] or has produced the	following type of
identification		



gnature of Notary Public e of Florida

# **BEFORE THE CITY COMMISSION OF ST. AUGUSTINE BEACH, FLORIDA**

In RE:

APPLICATION OF PATRICK MCKINLEY, AGENT FOR REGENCY CENTERS AND MCW-RC-FL-ANASTASIA LLC, FOR REBUILD OF THE PUBLIX GROCERY STORE, 1033 A1A BEACH BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA, 32080, AND RECONFIGURATION OF THE ANASTASIA PLAZA SHOPPING CENTER PARKING LOT, 1001 A1A BEACH BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA, 32080

#### FINAL DEVELOPMENT FILE NO. FD 2023-01

- /

This CAUSE, pertaining to 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Parcel Identification Number 174200-0020, PERTAINING TO PARCEL A, ALL THAT PORTION OF THE NORTH ONE-HALF AND THE SOUTH ONE-HALF OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, WHICH LIES BETWEEN COUNTY ROAD A1A BEACH BOULEVARD AND STATE ROAD A1A SOUTH, AND PARCEL B, THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, PARCEL IDENTIFICATION NUMBER 174200-0020, AS RECORDED IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, came before the City of St. Augustine Beach Comprehensive Planning and Zoning Board on the 19th day of September, 2023, and before the St. Augustine Beach City Commission on the 2<sup>nd</sup> day of October, 2023, upon Application of Patrick McKinley, Agent for Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, Applicants, for review and final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, for the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, for the demolition of the existing 48,555-squarefoot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing nonconforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations. The Comprehensive Planning and Zoning Board and the City Commission, having reviewed and considered the Application, the report of the Building and Zoning Department, the testimony, statements, and evidence presented before the Comprehensive Planning and Zoning Board and the City Commission by the Applicants and the Applicants' Authorized Agent and other persons speaking at the public hearings, including public comments, and the City Commission finding it has jurisdiction over this proceeding and that the required notices have been provided and were afforded to all parties, upon motion duly made, seconded and passed, the Application was approved and determined as follows:

#### FINDINGS OF FACT

The Comprehensive Planning and Zoning Board and City Commission find that the Application for Final Development File No. FD 2023-01 for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, conforms to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan, and, except as may be required to be cured herein, with all applicable City of St. Augustine Beach Land Development Regulations.

The application and accompanying documents submitted for Final Development File No. FD 2023-01 demonstrate the proposed final development plans for major development at the above-referenced property do not degrade the prescribed Levels of Service for the City of St. Augustine Beach and/or any interlocal agreement with St. Johns County concerning services or capacities which affect consistency and concurrency determinations.

Subject to the conditions hereinafter set forth, it is determined that this Final Development Order File No. FD 2023-01, prepared for the Final Development Application File No. FD 2023-01, submitted by Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, as represented by its Authorized Agent Patrick McKinley, Regency Centers, Jacksonville, Florida, for final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, unless modified by a subsequent final development order, is approved for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, and shall not be effective except upon ratification of each and every one of the following conditions.

#### **ORDERED** as follows:

- 1. Nothing contained herein shall be deemed to waive the requirement that the proposed final development plans for major development on the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard comply with current State of Florida Building Codes and conform to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan and the City of St. Augustine Beach Land Development Regulations, with the exception of the variance approval granted per Land Use Variance File No. VAR 2023-10 for the subject property, and the provisions of all other applicable agencies.
- 2. Production of evidence satisfactory to the Building Official of receipt by the Applicant of permits deemed necessary allowing development in accordance with this Final Development Order and accompanying drawings, if required, from the Army Corps of Engineers, the Florida Department of Environmental Protection, St. Johns River Water Management District, St. Johns County Fires Services, and St. Johns County Utility Department, shall be issued and in effect prior to the issuance of any permits for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080.

- **3.** Essential services such as electricity, telephone, cable and other communication lines and street lighting must be in place prior to issuance of any Certificate of Occupancy for the subject property development Water and sewer connection fees shall be paid and in place prior to the issuance of any building permits. Screening of any utility apparatus placed above ground shall be required. Fire hydrants shall also be in place prior to issuance of any building permits.
- 4. Applicant/Owner shall undertake measures to protect trees and environmentally sensitive areas by providing protective barriers prior to and during all development activities immediately adjacent to the right-of-way and utility easements and the issuance of any infrastructure or utility permits. Clearing and/or tree removal permits will not be issued prior to acceptance of a completed application for a building permit for site work.
- 5. Applicant/Owner shall be responsible for all repairs of curbs and/or damage to City of St. Augustine Beach, St. Johns County, and Florida Department of Transportation roadways.
- 6. This Final Development Order shall be effective for a period of five (5) years from its effective date, at which time the applicant/owner shall have completed one hundred (100%) percent of all development construction on the site.
- 7. Successors and assigns of the Applicant/Owner shall be bound by the terms and conditions of this Final Development Order. However, persons acquiring property do so with notice that although under appropriate circumstances, owners of property have vested rights, changes in the City of St. Augustine Beach Land Development Regulations affecting use would not be acquired under the transfer of ownership.
- 8. Any appeal of this decision may be made by filing an application for appeal to the St. Johns County Circuit Court within thirty (30) days of the date of this Order.

DONE AND ORDERED this	day of	, 2023, at St. Augustine
Beach, St. Johns County, Florida.		

#### CITY COMMISSION OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA

Attest:\_\_\_

Max Royle, City Manager

By:\_\_\_\_\_

**Donald Samora, Mayor** 

THIS ORDER IS SUBJECT TO APPEAL PER THE PROVISIONS OF SECTION 12.06.04 OF THE CITY OF ST. AUGUSTINE BEACH LAND DEVELOPMENT REGULATIONS.

**Sec. 12.06.04.C.** "Appeals from the decision of the City Commission shall be appealed to the circuit court."

#### City of St. Augustine Beach Building and Zoning Department Major Development Application 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FLORIDA 32080 WWW.STAUGBCH.COM BLDG. & ZONING (904)471-8758 FAX (904) 471-4470

1. Legal description of the parcel for which major development is being sought:

	Lot(s) Block(s) Subdivision						
	Street Address 1033 A1A Beach Blvd, St. Augustine, FL 32080						
2.	Location (N, S, W, E): Side of (Street Name): A1A Beach Blvd						
3.	Is the property seaward of the Coastal Construction Control Line (CCCL)? Yes 🔞 (Circle one)						
4.	Real estate parcel identification number:1742000020						
5.	Name and address of owner(s) as shown in St. Johns County Public Records:						
	MCW-RC-FL-Anastasia, LLC						
	One Independent Dr, Suite 114, Jacksonville, FL 32202						
6.	Current land use classification: Commercial						
7.	. Section of land use code from which major development is being sought: <u>Land Development Regulations</u>						
	Sections 12.02.0512.02.15						
8.	Reasons for which major development is being sought: <u>Replacing the existing grocery store with a newer and</u> better building to serve the community, improved parking and look of the shopping center.						
9.	Architect's name and address: Fisher Architects 2315 Belleair Rd. Clearwater, FI 33764						
10.	Contractor's name and address:TBD						

City of St. Augustine Beach Major Development Application 07-22

11. Please check if the following information required for submittal of the application has been included:

(X) Survey including legal description of parcel submitted for major development

(X) Copy of warranty deed

() Owner Authorization Form (if applicable)

(X) List of names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

(X) First-class postage-stamped legal-size envelopes with names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

(X) Survey to include all existing structures and fences

() Other documents or relevant information to be considered

( $\chi$ ) Fourteen (14) copies of the completed application including supplemental documentation and/or relevant information

In filing this application for major development, the undersigned acknowledges it becomes part of the official record of the Comprehensive Planning and Zoning Board and/or City Commission and does hereby certify that all information contained is true and accurate, to the best of his/her knowledge.

The application must be signed by either the owner or the owner's authorized agent. If an authorized agent's signature is used, a notarized written authorization approving such representation must accompany the application.

Patrick McKinley	
Print name (owner or his/ her agent)	Print name (applicant or his/her agent)
Signature /dafe	Signature /date
One Independent Dr, Suite 114, Jacksonville, FL 32202	
Owner/agent address	Applicant/agent address
904-598-7000	
Phone number	Phone number

\*\*All agents must have notarized written authorization from the property owner(s)\*\*
\*\* Please note that if you are a resident within a development or subdivision that has covenants and restrictions, be aware that approval of this application by the Comprehensive Planning and Zoning Board and/or City Commission does not constitute approval for variation from the covenants and restrictions.\*\*

Major Development File #:

Applicant's name: MCW-RC-FL-Anastasia, LLC

Applicant's address: One Independent Dr, Suite 114, Jacksonville, FL 32202

Applicant's phone number and email address: 904-598-7000 patrickmckinley@regencycenters.com

For major development at: 1033 A1A Beach Blvd, St. Augustine, FL 32080

#### Fee Schedule for Major Development Application

Major Development Application Fee:

Legal Notice Sign:

Review of Preliminary Plat:

Final Plat Approval:

\$350.00 if under 2 acres/\$500.00 if 2 acres or more

\$10.00

\$150.00 plus \$2.00 per lot with a \$400.00 minimum

\$5.00 per lot plus the cost of conformity with Chapter 177 F.S. by a professional surveyor and mapper either employed by or under contract to the City of St. Augustine Beach. The estimated cost shall be deposited with the City at the time of application and any costs in excess of the estimated amounts shall be paid by the applicant prior to execution of the plat by the City.

Amount Paid 5

Date

Received by Invoice #

Check # or type of credit or debit card payment /// S City of St. Augustine Beach Major Development Application 07-22

#### Instructions for Applying for Major Development

- 1) Per Section 12.02.06, all major developments, per the criteria in Section 12.02.05 of the City's Land Development Regulations (LDRs), must be submitted to concept review. The applicant/developer shall file a completed application and a concept plan as a prerequisite to obtaining major development approval.
- 2) All major development shall be reviewed by the Comprehensive Planning and Zoning Board for recommendation of approval or denial to the City Commission, based on determination of whether the plan satisfies the requirements of the City's LDRs, with the final hearing and final determination of approval or denial to be made by the City Commission.
- 3) The major development application shall be placed on the agenda of the next meeting of the Comprehensive Planning and Zoning Board that allows the giving of required notice. Notification of all property owners within a radius of 300 feet of the property for which major development is being sought shall be mailed by the Building and Zoning Department. The St. Johns County Real Estate/Survey Department (telephone number 904-209-0804) will provide applicants with a list of the names and addresses of the property owners within 300 feet of the property for which major development is requested. This list of names and addresses of all property owners within 300 feet is to include the applicant's name and address. Along with the list of all property owners within 300 feet, the applicant shall submit stamped, addressed legal-size (4-inch-by-9½-inch) envelopes with the major development application. (Note: Do not fill in a return address on the stamped envelopes. The Building and Zoning Department will stamp its address on the envelopes as the return address and mail the legal notices to all property owners). Signatures and approvals of property owners within 300 feet are not necessary.
- 4) After review and recommendation to the City Commission of approval or denial by the Comprehensive Planning and Zoning Board, the major development applications shall be placed on the agenda of the next meeting of the City Commission, with the final hearing and final determination of approval or denial to be made by the City Commission.

#### Required Information for Major Development Application

Per Section 12.02.07.D of the City's LDRs, final development plans for major development shall include the information required in a preliminary (concept) plan plus the following additional or more detailed information:

#### 1) Existing conditions.

- a. A map of vegetative cover including the location and identity by common name of all protected trees, including existing protected trees within areas of proposed improvements.
- b. A topographic map of the site clearly showing the location, identification, and elevation of benchmarks, including at least one (1) benchmark for each major water control structure.
- c. A detailed overall project area map showing existing hydrography and runoff patterns, and the size, location, topography, and land use of any off-site areas that drain onto, through or from the project area.

City of St. Augustine Beach Major Development Application 07-22

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- d. Existing surface water bodies, wetlands, streams and canals within the proposed development site, including seasonal high water-table elevations and attendant drainage areas for each.
- e. The location of any underground or overhead utilities, culverts and drains on the property and within one-hundred (100) feet of the proposed development boundary.
- f. Location, names and widths of existing and proposed streets, highways, easements, building lines, alleys, parks, and other public spaces and similar facts regarding adjacent property.
- g. The one-hundred (100) year flood elevation, minimum required floor elevation and boundaries of the one-hundred (100) year floodplain for all parts of the proposed development.
- h. Drainage basin or watershed boundaries identifying locations of the routes of off-site waters onto, through or around the project.

#### 2) Proposed development activities and design.

#### a. Generally.

- 1. Area and percentage of total site to be covered by an impervious surface.
- 2. Grading plans specifically including perimeter grading.
- 3. Construction phase lines.
- b. Buildings and other structures.
  - 1. Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.
  - 2. Front, rear and side architectural elevations of all buildings.
  - 3. Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.
  - 4. Minimum floor elevations of buildings within any one-hundred (100) year floodplain.
  - 5. The location, dimensions, type, composition, and intended use of all other structures.
- c. Potable water and wastewater systems.
  - 1. Proposed location and sizing of potable water and wastewater facilities to serve the proposed development, including required improvements or extensions of existing off-site facilities.
  - 2. The boundaries of proposed utility easements.
  - 3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.
  - 4. Exact locations of on-site and nearby existing and proposed fire hydrants.
- d. Streets, parking and loading.
  - 1. The layout of all streets and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.
  - 2. A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street
  - 3. The location of all exterior lighting.
  - 4. The location and specifications of any proposed garbage dumpsters.
  - 5. Cross sections and specifications of all proposed pavement.
  - 6. Typical and special roadway and drainage sections and summary of quantities.

City of St. Augustine Beach Major Development Application 07-22

- e. Tree removal and protection.
  - 1. All protected trees to be removed and a statement of why they are to be removed.
  - 2. Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.
  - 3. A statement of the measures to be taken to protect the trees to be retained.
  - 4. A statement of tree relocations and replacements proposed.

#### f. Landscaping.

- 1. Location and dimensions of proposed buffer zones and landscaped areas.
- 2. Description of plant materials existing and to be planted in buffer zones and landscaped areas.
- g. Stormwater management.
  - 1. An erosion and sedimentation control plan that describes the type and location of control measures, the stage of development at which they will be put into place or used, and maintenance provisions.
  - 2. A description of the proposed stormwater management system, including:
    - (a) Channel, direction, flow rate, and volume of stormwater that will be conveyed from the site, with a comparison to natural or existing conditions.
    - (b) Detention and retention areas, including plans for the discharge of contained waters, maintenance plans, and predictions of surface water quality changes
    - (c) Areas of the site to be used or reserved for percolation including an assessment of the impact on groundwater quality.
    - (d) Location of all water bodies to be included in the surface water management system (natural and artificial) with details of hydrography, side slopes, depths, and water-surface elevations or hydrographs.
    - (e) Linkages with existing or planned stormwater management systems.
    - (f) On and off-site rights-of-way and easements for the system including locations and a statement of the nature and of the reservation of all areas to be reserved as part of the stormwater management system.
    - (g) The entity or agency responsible for the operation and maintenance of the stormwater management system.
  - 3. The location of off-site water resource facilities such as works, surface water management systems, wells, or well fields, that will be incorporated into or used by the proposed project, showing the names and address of the owner of the facilities.
  - 4. Runoff calculations shall be in accord with the stormwater management manual.
- h. Environmentally sensitive lands.
  - 1. The exact sites and specifications for all proposed drainage, filling, grading, dredging, and vegetation removal activities including estimated quantities of excavations or fill materials computed from cross sections, proposed within a protected environmentally sensitive zone.
  - 2. Detailed statement of other materials showing the following:
    - (a) The percentage of the land surface of the site that is covered with natural vegetation and the percentage of natural vegetation that will be removed by development.
    - (b) The distances between development activities and the boundaries of the protected environmentally sensitive zones.
- 3. The manner in which habitats of endangered and threatened species are protected.

City of St. Augustine Beach Major Development Application 07-22

- i. Signs.
  - Two (2) blueprints or ink drawings of the plans and specifications of regulated signs, and method of their construction and attachment to the building or ground, except those plans for standard signs that have been placed on file with the building official by a licensed sign contractor for standard signs. The plans shall show all pertinent structural details, wind pressure requirements, and display materials in accordance with the requirements of this Code and the building and electrical codes adopted by St. Augustine Beach. The plans shall clearly illustrate the type of sign or sign structure as defined in this Code; the design of the sign, including dimensions, colors and materials; the aggregate sign area; the dollar value of the sign; maximum and minimum heights of the sign; and sources of illumination.
  - 2. For regulated ground signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
    - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas and other existing ground signs on the parcel.
    - (b) All regulated trees that will be damaged or removed for the construction and display of the sign.
    - (c) The speed limit on adjacent streets.
  - 3. For regulated building signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
    - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas, buildings and structures on the parcel.
    - (b) The number, size, type, and location of all existing signs on the same parcel, except a single business unit in a multiple occupancy complex shall not be required to delineate the signs of other business units.
    - (c) A building elevation or other documentation indicating the building dimensions.
- j. Subdivision.

Proposed number, minimum area and location of lots, if development involves a subdivision of land.

- k. Land use and dedications.
  - 1. Location of all land to be dedicated or reserved for all public and private uses including rights-ofway, easements, special reservations, and the like.
  - 2. Amount of area devoted to all existing and proposed land uses, including school, open space, churches, residential and commercial, as well as the location thereof.
  - 3. The total number and type of residential units categorized according to number of bedrooms. The total number of residential units per acre (gross density) shall be given.
- I. Wellfield protection.

Location of onsite wells, and wells within one-thousand (1,000) feet of any property line, exceeding one-hundred-thousand (100,000) gallons per day.

m. Historic and archaeologic sites.

The manner in which historic and archaeologic sites on the site, or within on-thousand (1,0000 feet of any boundary of the site, will be protected.

Per Section 12.02.07.E of the City's Land Development Regulations, final development plans for subdivision of land shall comply with the requirements of this section. Per Section 12.02.07.F of the City's Land Development Regulations, final development plans for commercial structures requires the front, rear and side architectural elevations for commercial structures to demonstrate compliance with the following criteria:

- 1) The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
- The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure is in conformity with the standards of these Land Development Regulations and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved. Conditions may be applied when the proposed building of structure does not comply with the above criteria and shall be such as to bring the structure or project into conformity. If any application is disapproved, the Comprehensive Planning and Zoning Board shall detail in its findings the criterion or criteria that are not met. The actions taken by the Board shall be reduced to writing, signed by the chairman and a copy thereof made available to the applicant upon request.
- 4) The proposed structure or project is in harmony with the proposed developments in the general area, with the Comprehensive Plan for the City and with the criteria set forth in any supplemental criteria and procedural rules of the Comprehensive Planning and Zoning Board, as the same may be from time to time amended and revised. Any decision of the Board must comply with such supplemental criteria and rules of the Board may be amended from time to time by ordinance regularly adopted upon action initiated by the City Commission.
- 5) The proposed landscape and irrigation design shall promote water conservation. Water requirements may be reduced by providing for:
  - a. Preservation and reestablishment of native plant communities.

0. 31

- b. The use of drought-tolerant, site specific, and shade producing plants.
- c. Design and maintenance of irrigation systems which eliminate waste of water due to over application or loss from damage.
- 6) Renovations to the exterior of a commercial structure shall comply with the criteria and supplemental criteria for Community Appearance Standards; provided, however, than an application for final development approval for a renovation of an existing structure shall only require such information as may reasonably be required by the Building Department or the Comprehensive Planning and Zoning Board to demonstrate compliance with the criteria and supplemental criteria for Community Appearance Standards and shall not be required to provide information as to areas not proposed for renovation except as provide for an understanding of the proposed changes or alterations to the structure.
- 7) Definitions. As used in this section 12.02.07.F and as used in the Supplemental Criteria for Community Appearance Standards, the following terms and phrases shall have the meanings indicated:

*Commercial structure* shall mean a structure located within a commercially zoned area regardless of its actual size.

City of St. Augustine Beach Major Development Application 07-22

*Renovation* shall mean a change or alteration to a material element of a structure that changes or alters (a) a major structural or architectural feature of a building including changes to roof lines, porches, location or size of windows or doors; or (b) the exterior of a building requiring the submittal of plans signed and signed by a registered architect or engineer.

Per Section 12.02.08 of the City's Land Development Regulations, a master plan for the entire development site must be approved for a major development that is to be developed in phases. The master plan shall be submitted simultaneously with an application for review of the final development plan for the first phase of the development and must be approved as a condition of approval of the final plan for the first phase. A final development plan must be approved for each phase of the development under the procedures for development review prescribed above.

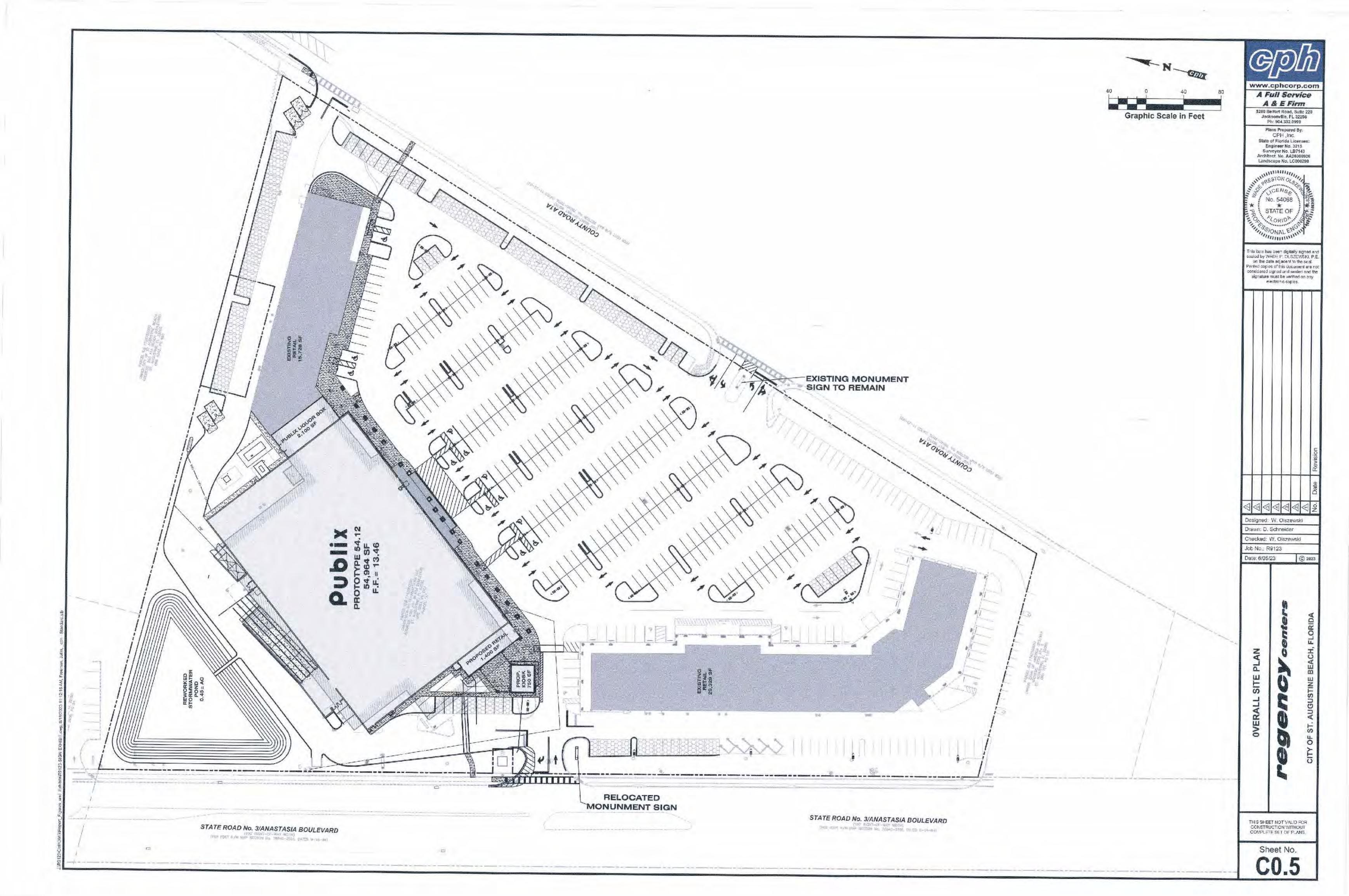
Per Section 12.02.09 of the City's Land Development Regulations, a master plan is required for a major development which is to be developed in phases. A master plan shall provide the following information for the entire development as specified in this section. Review of final development plans for major developments shall comply with Section 12.02.10.

Per Section 12.02.10.B, *Amendment to final development plans*, "If a major development has received a final development order or other approval, the amendment, modification or extension of such a final development order or approval shall only be by the same process as the order or approval was originally obtained (except that the concept review process does not have to be repeated) and the review fee shall also be the same. For Planned Unit Developments, strikethrough and underlined sections of the proposed changes shall be submitted. Expired final development orders are not eligible for renewal."

Per Section 12.02.13, each administrative hearing shall conform to the following procedures, as supplemented by law, rule or decision.

- A. *Burden and nature of proof.* The applicant for any development permit must prove that the proposal satisfies the applicable requirements and standards of this Code.
- B. Order of proceedings.
  - 1. The Comprehensive Planning and Zoning Board and City Commission shall:
    - a. Determine whether it has jurisdiction over this matter.
    - b. Determine whether any member must abstain or is disqualified. Abstaining from voting or disqualification because of conflict of interest must be declared in accordance with Part III of
    - c. Chapter 112, Florida Statutes.

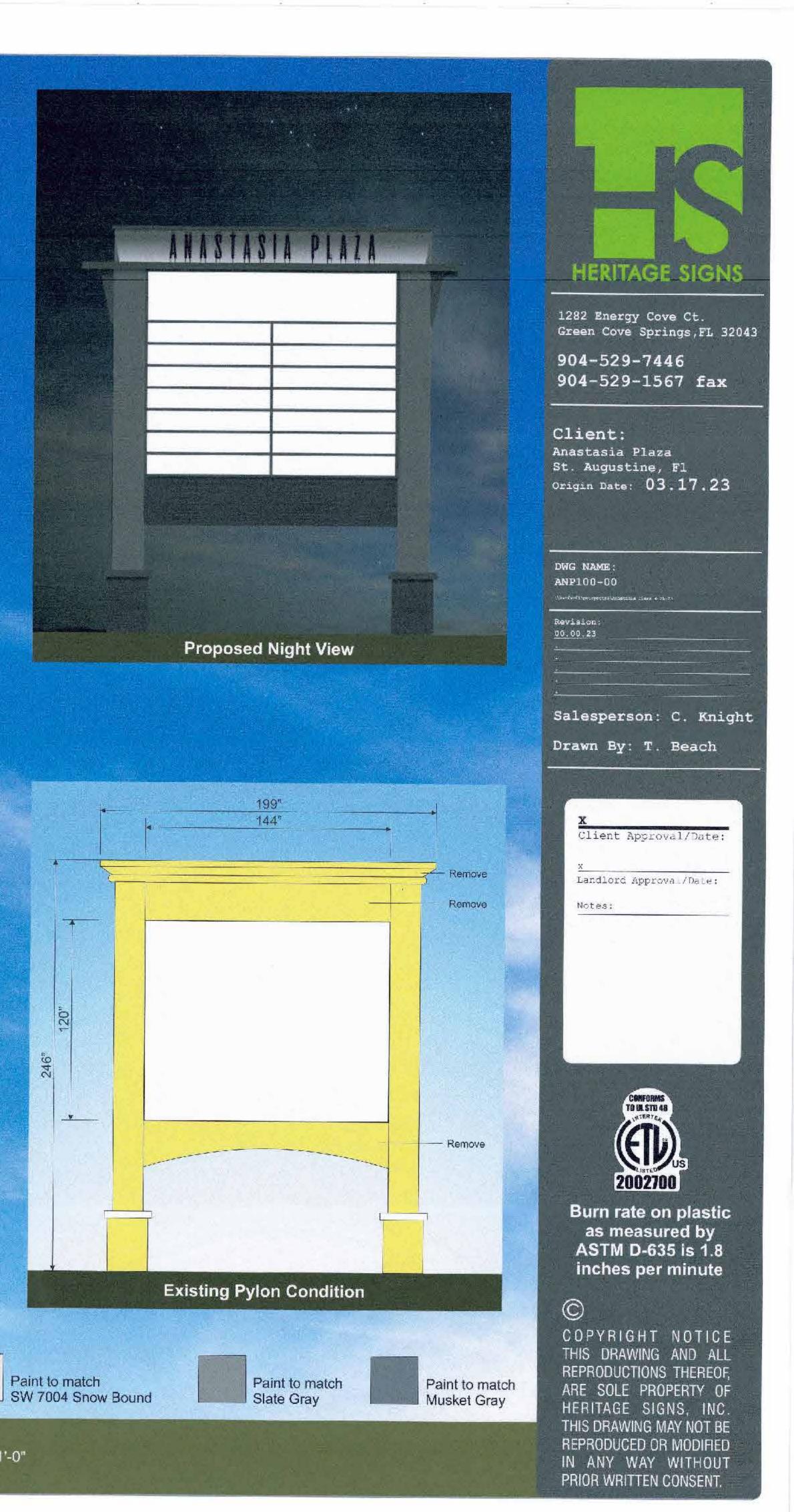
Where proposed minor or major development includes the subdivision of land, platting shall conform to the requirements of Section 12.02.14 of the City's LDRs. Final approval of the development plan by the Comprehensive Planning and Zoning Board shall be made contingent upon approval by the St. Augustine Beach Commission of a plat conforming to the development plan.



Refurbish existing D/F internally illuminated pylon sign. Existing pylon to new fabricated aluminum elements added to top portion of sign. New 1" thick routed acrylic letters pin mounted off horizontal embellishment. External upwards illumination by white L.E.D.s. Existing tenant cabinet to receive new L.E.D. illumination. Bottom portion of cabinet to receive new fabricated aluminum "slat" elements. Pole covers to be repainted.

ANASTASIA PLAZA







sign with .063" aluminum skin over 2" x 2" aluminum tube frame. 1" thick routed acrylic letters pin mounted off horizontal embellishment. Sign to have 8' x 8' D/F illuminated tenant cabinet with 1 1/2" T-bar dividers. mounted off horizontal embellishment. External upwards illumination by white L.E.D.s. Sign to have automotive grade painted

Paint to match Musket Gray



1282 Energy Cove Ct. Green Cove Springs, FL 32043 904-529-7446 904-529-1567 fax

Client: Anastasia Plaza St. Augustine, Fl Origin Date: 03.17.23

DWG NAME : ANP100-00

Revision: 00.00.23

Salesperson: C. Knight Drawn By: T. Beach

Client Approval/Dale:

Landlerd Approval/Date: Notes:



Burn rate on plastic as measured by ASTM D-635 is 1.8 inches per minute

# $\odot$

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PUBLIX FRONT ELEVATION

ENI 

KIOSK FRONT ELEVATION



KIOSK RIGHT ELEVATION

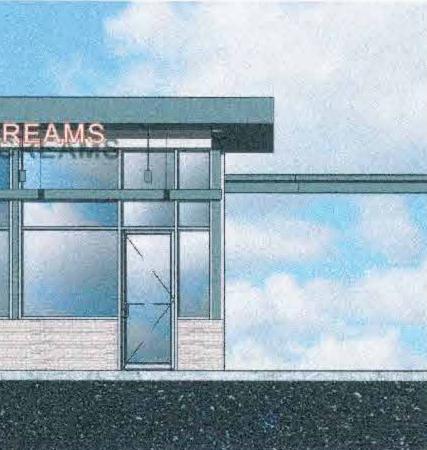


ANASTASIA PLAZA PUBLIX DESIGN DEVELOPMENT

# SIGNAGE REQUIREMENTS

PROVIDED: PUBLIX: 187.05 BOXED SF

Frontage	Number	Maximum Square Footage
0—49 feet	3	100
50—100 feet	4	150
Over 100 feet	5	200





KIOSK REAR ELEVATION



# KIOSK LEFT ELEVATION

PAINT SW 9553 ALLEGORY

METAL PAC CLAD SLATE GRAY

METAL PAC CLAD MUSKET GRAY



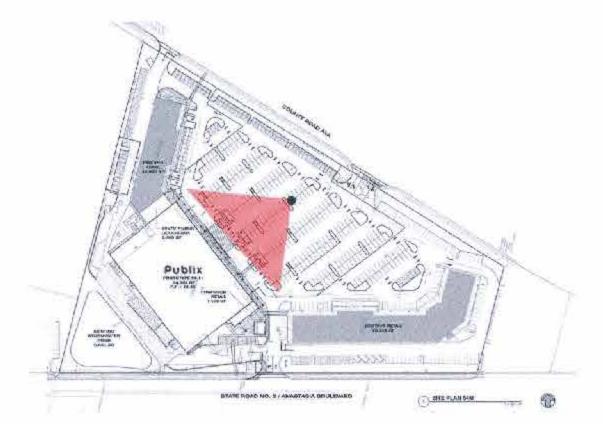
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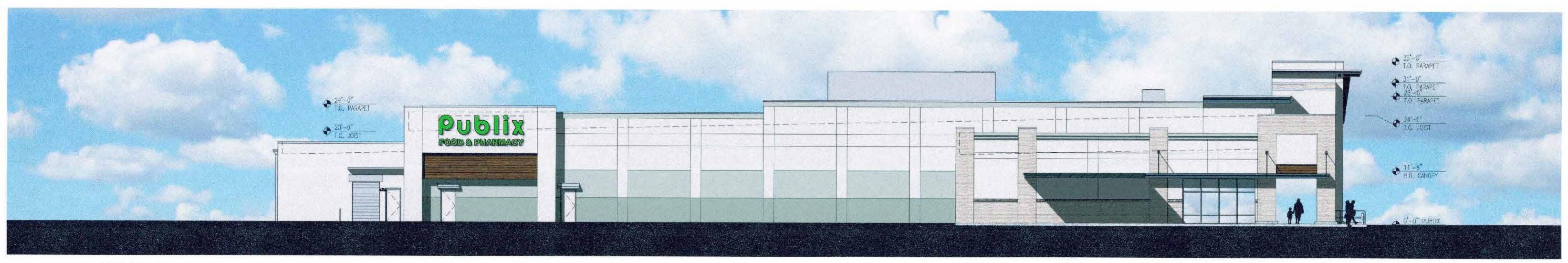
# ST. AUGUSTINE, FL

WOOD KNOTWOOD CHESTNUT

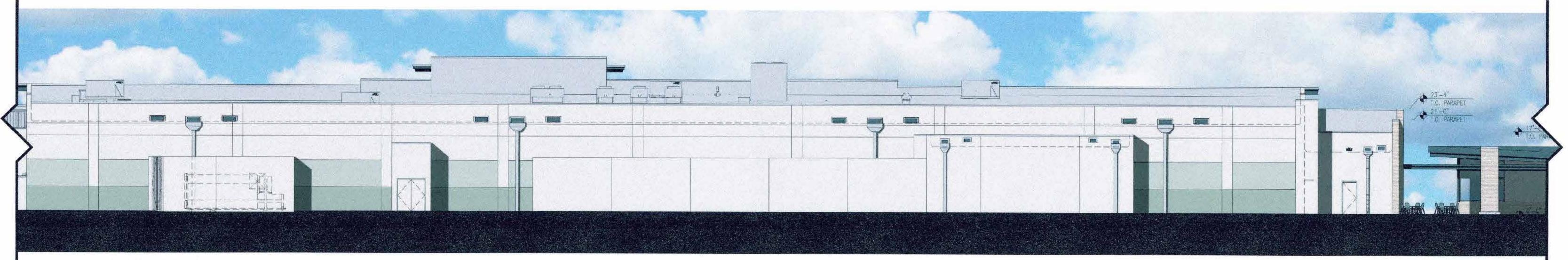




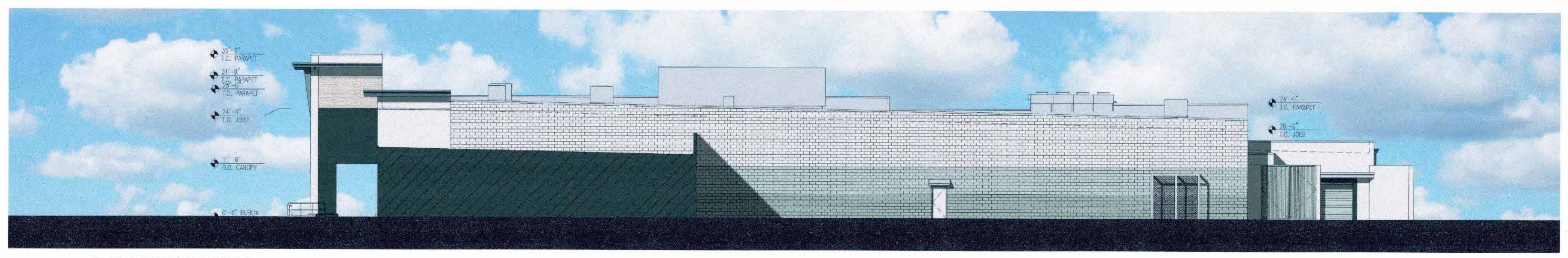
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PUBLIX LEFT ELEVATION



PUBLIX REAR ELEVATION



# PUBLIX RIGHT ELEVATION

PAINT PAINT PAINT SW 9548 SW 7004 SW 9553 SWEATER ALLEGORY SNOW WEATHER BOUND ANASTASIA PLAZA PUBLIX

DESIGN DEVELOPMENT

METAL PAC CLAD SLATE GRAY

METAL PAC CLAD MUSKET GRAY



BRICK GLEN GARY CHARLES -TON



ST. AUGUSTINE, FL

WOOD KNOTWOOD CHESTNUT



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AA26001738

# ABBREVIATION/ SIGN LEGEND

A/C.	- AIR CONDITIONER
APPROX	- APPROXIMATE
ASPH	- ASPHALT
AVG BFP	- AVERAGE - BACK FLOW PREVENTER
BLK	-BLOCK
BLDG	-BUILDING
BOC	-BACK OF CURB
BOW C&G	-BACK OF WALL -CURB & GUTTER
CE	-CONSTRUCTION ENTRANCE
CAL	- CENTERLINE
	- CORRUGATED METAL PIPE
CO	-CLEAN OUT -CONCRETE
DEPT	-DEPARTMENT
DS	-DOWN SPOUT
ELEC EM	-ELECTRIC -ELECTRICAL METER
ELEV	-ELEVATION
EOP	-EDGE OF PAVEMENT
FDC	-FIRE DEPARTMENT CONNECTION
FDOT	-FLORIDA DEPARTMENT OF TRANSPORTATION -FINISH FLOOR
FG	-FINISH GRADE
FH	-FIRE HYDRANT
FM	-FORCE MAIN
FOC FP&L	-FACE OF CURB -FLORIDA POWER AND LIGHT
GOVT	-GOVERNMENT
HB	- HOSE BIB
HC	- ADA ACCESSIBLE
HDPE	- HIGH DENSITY POLYETHYLENE PIPE
INV IRR	-INVERT -IRRIGATION
ME	-MATCH EXISTING ELEVATION
MES	-MITERED END SECTION
MH	-MANHOLE
PVC PVMT	- POLYMNYL CHLORIDE PIPE - PAVEMENT
R	-RADIUS
RCP	-REINFORCED CONCRETE PIPE
REV	-REMSION
RAV SF	- RIGHT-OF-WAY - SQUARE FEET
SAV	- SIDEWALK
TOB	- TOP OF BANK
TOE	- TOE OF SLOPE
TVV TYP	-TOP OF WALL -TYPICAL
UNK	-UNKNOWN
UTL	- UNDERGROUND TELEPHONE LINES
W/	-WITH
WV	-WATER VALVE
(B) <del>-o-</del>	BUS STOP (R7-7)
(DNE) - U	DO NOT ENTER (R5-1)
(FL)	NO PARKING - FIRE LANE (R7-94)
(HC)	HANDICAP (FTP 20-06 & FTP 22-06) KEEP RIGHT (R4-7A)
(KL)	KEEP LEFT (R4-8A)
(LT0)	LEFT TURN ONLY (R3-5L)
(ME)	MEDIAN (R4-7) (R4-8)
(ND) -0-	NODUMPING
(NL) -0-	NO LEFT TURN (R3-2)
(NLI)	NO LITTERING
(NOR)	NO RIGHT TURN (R34)
(NOT) -0- (NP) -0-	NO TRUCKS (R5-2A) NO PARKING (R7-1)
(110) -0-	ONE WAY (R6-1L) (R6-1R)
(PE)	PEDESTRIAN CROSSING (W11-2)
(RTO)	RIGHT TURN ONLY (R3-5R)
(R1) <u>8</u>	ROWNUMBER
(SL) -0-	SPEED LIMIT (R2-X)
(ST) -0-	STOP (R1-1)
(TZ)	TOW AWAY ZONE (R7-201)
	TRUCK ENTRANCE
(00L) - a-	WEIGHT LIMIT (R12-5) WRONG WAY (R5-1A)
(1) -0-	YIELD (R1-2)
(DT) -0-	RESERVED DRIVE-THRU PARKING

# CONSULTANTS

### OWNER

MCW-RC-FL-ANASTASIA, LLC ONE INDEPENDENT DR, SUITE 114 JACKSONVILLE, FL 32202

### ENGINEER

CPH, INC. 5200 BELFORT ROAD, SUITE 220 JACKSONVILLE, FLORIDA 32256 ATTN.: WADE P. OLSZEWSKI, P.E. (904) 332-0999

#### SURVEYOR

CPH, INC 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN.: JEFF PATERSON, PSM (407) 322-6841

# ARCHITECT

CPH, INC 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN.: GALEN PUGH, RLA (407) 322-6841

# PF

# ELECTRIC

FLORIDA POWE 303 HASTINGS ST AUGUSTINE ATTN.: MICHAE (904) 824-7658

## WATER

ST. JOHNS COU 1205 STATE RC ST. AUGUSTINE ATTN.: TERI SH (904) 209-2652

# SEWER

ST. JOHNS COU 1205 STATE RO ST. AUGUSTINE ATTN.: TERI SH (904) 209-2652

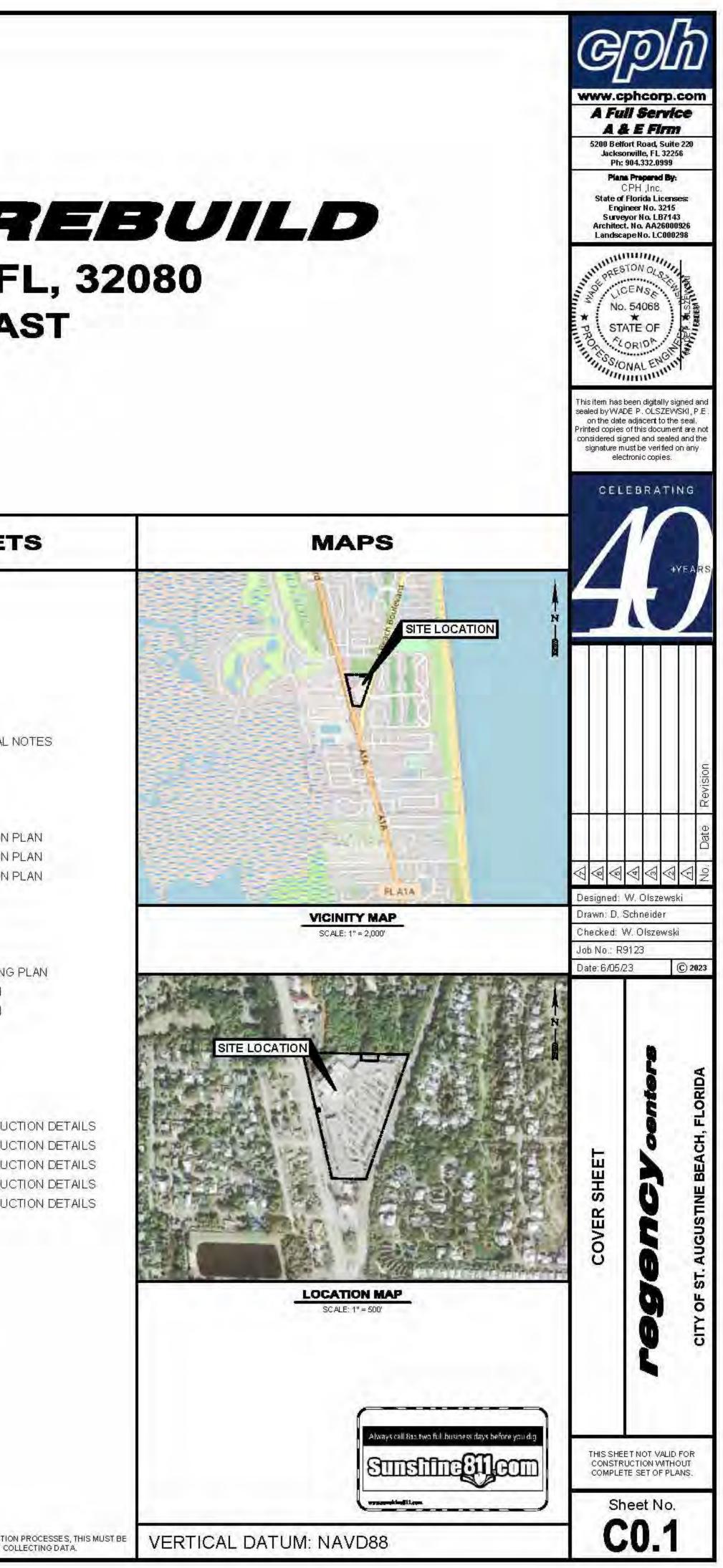
# GAS

FLORIDA PUBLI P.O. BOX 418 FERNANDINA B (904) 261-3663

# CONSTRUCTION PLANS FOR ANASTASIA PLAZA PUBLIX REBUILD 1033 A1A BEACH BLVD ST. AUGUSTINE BEACH FL, 32080 SECTION 22 - TOWNSHIP 3 NORTH - RANGE 28 EAST

PARCEL ID: 181416 1110

UTILITY	APPROVAL AGENCIES		INDEX OF SHEET
VER AND LIGHT SROAD JE, FL 32084 JEL SPRUIELL 3 DUNTY UTILITY DEPARTMENT OAD 16 VE, FL 32084 HOEMAKER, P.E. 2 UUNTY UTILITY DEPARTMENT OAD 16 VE, FL 32084 HOEMAKER, P.E. 2 LIC UTILITIES BEACH, FLORIDA 32035	<section-header><section-header><section-header><section-header><section-header><section-header></section-header></section-header></section-header></section-header></section-header></section-header>		COVER SHEET TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY GENERAL NOTES GENERAL NOTES ST. JOHNS COUNTY UTILITIES GENERAL N OVERALL SITE PLAN PHASING PLANS DEMOLITION PLAN DEMOLITION PLAN DEMOLITION PLAN STORMWATER POLLUTION PREVENTION P STORMWATER POLLUTION PREVENTION P ST DIMENSION PLAN COMPOSITE UTILITY PLAN COMPOSITE UTILITY PLAN CONSTRUCTION DETAIL SHEET CONSTRUCTION DETAIL SHEET ST. JOHNS COUNTY UTILITIES CONSTRUC ST. JOHNS COUNTY UTILITIES CONSTRUC DUBLIX DETAILS LIGHTING PLAN TREE RETENTION PLAN LANDSCAPE PL
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<ul> <li>CHAIN LINK FENCE</li> <li>CONCRETE MONUMENT</li> <li>CORRUGATED METAL PIPE</li> <li>CLEANOUT</li> <li>CONCRETE</li> <li>CORNER</li> <li>CORRUGATED PLASTIC PIPE</li> <li>COUNTY UTILITY EASEMENT</li> <li>CROSSWALK SIGNAL</li> <li>DELTA</li> <li>DESCRIPTION</li> <li>DEED BOOK</li> <li>DIAMETER AT BREAST HEIGHT IN INCHES</li> <li>DRAINAGE EASEMENT</li> <li>DEPARTMENT</li> <li>DUCTILE IRON PIPE</li> <li>DRIVE</li> </ul>	PI PIV PK POB POC POL PP PRM PSM PTC PVMT R30E RAD		DINT OF INTERSECTION DST INDICATOR VALVE ARKER KAYLON DINT OF BEGINNING OINT OF COMMENCEMENT OINT OF COMMENCEMENT OWER POLE OWER POLE OWER POLE OWER POLE OWER POLE OWER POLE OWER POLE OWER POLE OWER OF REVERSE CURVATURE ERMANENT REFERENCE MONUMENT ROFESSIONAL SURVEYOR & MAPPER OWN OF TANGENCY OLYVINYL CHLORIDE PIPE AVEMENT ANGE 30 EAST ADIUS ADIAL		<ul> <li>BURIED FIBER OPTICS</li> <li>BURIED GAS</li> <li>BURIED RECLAIMED WATER LINE</li> <li>BURIED SANITARY LINES</li> <li>BURIED SANITARY SEWER FORCE MAIN LINI</li> <li>BURIED TRAFFIC CONTROL</li> <li>BURIED TELEPHONE LINE</li> <li>BURIED WATER LINES</li> <li>CENTER LINE R/W</li> <li>CHAIN LINK FENCE</li> <li>EASEMENT LINES (EXISTING)</li> </ul>
<ul> <li>DRAINAGE AND UTILITY EASEMENT</li> <li>ENGINEERING PLAN</li> <li>ELECTRIC JUNCTION BOX</li> <li>UNDERGROUND ELECTRICAL LINES</li> <li>ELECTRIC</li> <li>ELEVATION</li> <li>ELLIPTICAL</li> <li>END OF INFORMATION</li> <li>EDGE OF PAVEMENT</li> <li>FIELD BOOK</li> <li>FLORIDA DEPARTMENT OF TRANSPORTATION</li> <li>FINISH FLOOR</li> <li>FLAT GRATE INLET</li> <li>FIBERGLASS LIGHT POLE</li> <li>FIRE HYDRANT</li> <li>FORCE MAIN</li> </ul>	RCP REC RP R/W RLS RP RWL REP RWL SEC 10 SMH (SP) SQ FT ST		EINFORCED CONCRETE PIPE ECOVERED EVISION ADIUS POINT IGHT-OF-WAY EGISTERED LAND SURVEYOR ADIUS POINT INDERGROUND RECLAIM WATER LINE ECLAIMED WATER METER PECIAL EASEMENT ECTION 10 ANITARY SEWER MANHOLE TATE PLANE QUARE QUARE QUARE FEET TREET	EQW	<ul> <li>EASEMENT LINES (PROPOSED)</li> <li>EDGE OF WATER LINES</li> <li>EXISTING DRAINAGE PIPES</li> <li>EXISTING DRAINAGE PIPES (OUTFALL NOT</li> <li>FIRE WATER MAIN LINES</li> <li>HOT WATER SUPPLY LINES</li> <li>IRRIGATION LINES</li> <li>OVERHEAD TRAFFIC LINES</li> <li>OVERHEAD UTILITY LINES</li> <li>RAILROAD TRACKS</li> </ul>
<ul> <li>FDRCE MAIN</li> <li>FOUND</li> <li>FLORIDA POWER AND LIGHT</li> <li>FLORIDA STATUTES</li> <li>GRID (STATE PLANE)</li> <li>UNDERGROUND GAS LINES</li> <li>GOVERNMENT</li> <li>GROUND PENETRATING RADAR</li> <li>GREASE TRAP MANHOLE</li> <li>HIGH DENSITY POLYETHYLENE PIPE</li> <li>HOG WRE FENCE</li> <li>IDENTIFICATION</li> <li>IRRIGATION CONTROL VALVE</li> <li>INFORMATION</li> <li>INVERT</li> <li>IRON PIPE</li> </ul>	STMH S/W TB TBS TELE TL TOB TOE TR TRANS TSB TSSP TVL (TYP) UE	- ST TTOTTTTTTTUTU	TORM DRAINAGE MANHOLE IDEWALK ANGENT BEARING OWNSHIP & SOUTH ELEPHONE WERHEAD TRAFFIC SIGNAL LINES OP OF BANK DE OF SLOPE ELEPHONE RISER RANSFORMER RAFFIC SIGNAL BOX RAFFIC SIGNAL BOX RAFFIC SIGNAL BOX RAFFIC SIGNAL SUPPORT POLE INDERGROUND CABLE TV LINES YPICAL TILITY EASEMENT		<ul> <li>RIGHT-OF-WAY LINES</li> <li>SECTION LINES</li> <li>STONE WALL LINES</li> <li>TOP OF BANK LINES</li> <li>TOE OF SLOPE LINES</li> <li>TREE LINES</li> <li>TRAVERSE LINES</li> <li>UNKNOWN BURIED LINES</li> <li>VINYL FENCE</li> <li>WOOD FENCE</li> <li>WETLAND LINE</li> </ul>
- IRON PIPE & CAP - IRON ROD - IRON REBAR & CAP - IRRIGATION	UNK UTL W/ WL WLP	- U - U - V	NKNOWN NDERGROUND TELEPHONE LINES	0P	= WEILAND LINE = ORANGE PAINT LINE = GREEN PAINT LINE = RED PAINT LINE

# **BOUNDARY & TOPOGRAPHIC SURVEY** ALSO BEING AN

(ALTA/NSPS LAND TITLE SURVEY)

FOR

# **REGENCY CENTERS**

# 1001 A1A (BEACH BOULEVARD) LYING IN SECTION 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST CITY OF ST. AUGUSTINE BEACH

ST. JOHNS COUNTY, FLORIDA

Legal Description: (EXHIBIT "A" OF PROPERTY INFORMATION REPORT, AS PROVIDED BY THE CLIENT)

PARCEL A ALL THAT PORTION OF THE NORTH 1/2 AND THE SOUTH 1/2 OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2. SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, WHICH LIES BETWEEN COUNTY HIGHWAY A-1-A (ALSO KNOWN AS ALTERNATE A-1-A AND STATE HIGHWAY A-1-A BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS:

BEGIN AT THE INTERSECTION OF THE NORTHERLY LINE OF SAID SECTION 1D WITH THE EASTERLY RIGHT-OF-WAY LINE OF SAID STATE HIGHWAY A-1-A; THENCE SOUTH 13 DEGREES 06 MINUTES OD SECONDS EAST ALONG LAST SAID LINE, 939.96 FEET; THENCE SOUTH 88 DEGREES 56 MINUTES 58 SECONDS EAST, 247.84 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SAID COUNTY HIGHWAY A-1-A ALSO BEING A POINT ON A CURVE LEADING TO THE RIGHT, THENCE ALONG AND AROUND THE ARC OF SAID CURVE AND SAID RIGHT-OF-WAY LINE BEING CONCAVE EASTERLY AND HAVING A RADIUS OF 2404.8 FEET, AN ARC DISTANCE OF 48.31 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 18 DEGREES 11 MINUTES 5 SECONDS EAST, 48.31 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 18 DEGREES 51 MINUTES 20 SECONDS EAST CONTINUING ALONG SAID RIGHT-OF-WAY LINE, 907,99 FEET TO THE AFOREMENTIONED NORTHERLY LINE OF SAID SECTION 10; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, ALONG SAID LAST LINE, 220.83 FEET; THENCE SOUTH 01 DEGREES 06 MINUTES 30 SECONDS WEST, 49.75 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, 122.80 FEET; THENCE NORTH 01 DEGREES 06 MINUTES 30 SECONDS EAST, 49.75 FEET TO THE NORTHERLY LINE OF SAID SECTION 10; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, ALONG SAID LINE 425.88 FEET TO THE POINT OF BEGINNING. TOGETHER WITH

EASEMENT IN RECIPROCAL EASEMENT AGREEMENT, DATED NOVEMBER 5, 1993 AND RECORDED IN OFFICIAL RECORDS BOOK 1019, PAGE 2D49 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

LESS AND EXCEPT

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND LYING IN AND BEING PART OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10. TOWNSHIP & SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE NORTH BOUNDARY OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OFWAY LINE OF STATE HIGHWAY A-1-A AND/OR STATE ROAD 3; THENCE S 13'06' 00" E, BY AND ALONG SAID EASTERLY RIGHT-OF-WAY A DISTANCE OF 421.45 FEET FOE A POINT OF BEGINNING; THENCE CONTINUE S 13'06'00" E BY AND ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET; THENCE, N.76'54' 00" E, AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26.00 FEET; THENCE N 13'06'00" W AND PARALLEL WITH SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET, THENCE S 76'54'00" W AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26:00 FEET TO SAID EASTERLY RIGHT-OF-WAY AND THE POINT OF BEGINNING. PARCEL B

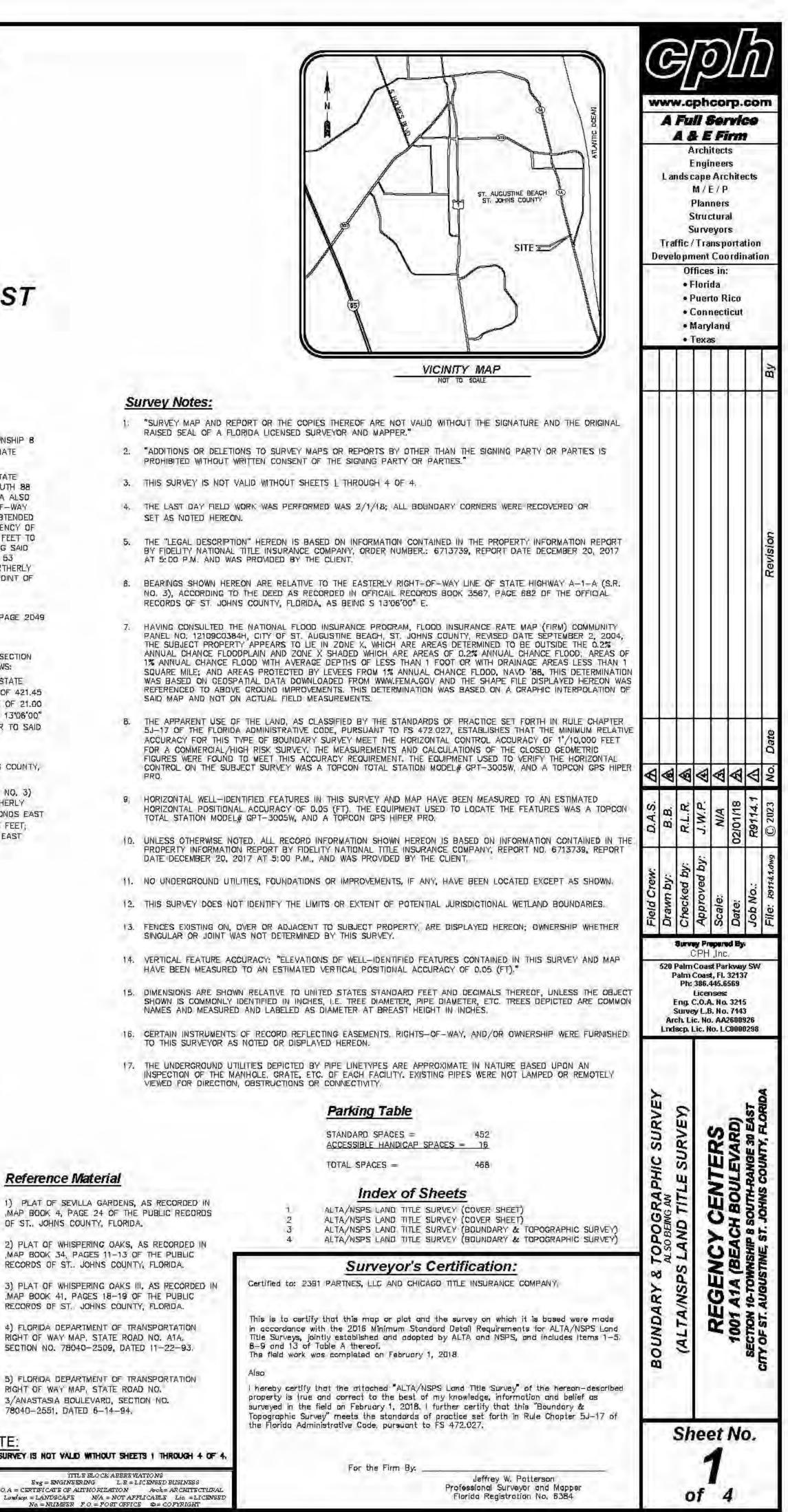
THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP & SOUTH, RANGE 3D EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD A-1-A (ALSO KNOWN AS STATE ROAD NO. 3) WITH THE NORTHERLY LINE OF SAID SECTION 10; THENCE SOUTH B8 DEGREES 53 MINUTES 30 SECONDS EAST ALONG SAID NORTHERLY LINE, 425.88 FEET TO A 1/2" REBAR AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88 DEGREES 53 MINUTES 30 SECONDS EAST ALONG SAID NORTHERLY LINE, 122,80 FEET TO A 1/2" REBAR: THENCE SOUTH OI DEGREE 06 MINUTES 30 SECONDS WEST 49.75 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST 122.80 FEET; THENCE NORTH 01 DEGREE 06 MINUTES 30 SECONDS EAST 49.75 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PART LYING IN ROAD RIGHT OF WAYS

Symbol Legend:

	NOT TO SCALE			
	ARV - AIR RELEASE VALVE	BO - LIGHT POLE (DUAL)		12.
	- BORING HOLE LOCATION	PP - LIGHT POLE (TRIPLE)		13.
	HH - BRICK PAVERS	- UGHT POLE (QUAD)		
	TV - CABLE TV RISER			14.
	A - CENTRAL ANGLE	WW - MONITOR WELLS		14
	CLEAN OUT	- NAIL & DISC (AS NOTED)		
	CONCRETE	2 - PARKING SPACES (2)		15.
	- CONCRETE LIGHT POLE	PBX - PULL BOX (AS NOTED)	Sign Legend:	
	-CONCRETE LIGHT POLE (DUAL)	A - REVISION NUMBER (3)	NOT TO SCALE	
	- CONCRETE LIGHT POLE (TRIPLE)		(R1) ROW NUMBER SIGN	16.
	- CONCRETE LIGHT POLE (QUAD)	- RECLAIMED WATER VALVE	(B) - BUS STOP SIGN	
	CONCRETE MITERED END SECTION	I - ROOF DRAIN	(DE) - DEAD END SIGN	17.
	CONCRETE PAVERS	S - SANITARY SEWER MANHOLE	(DNE) - DO NOT ENTER SIGN	R5-1)
	<ul> <li>CONCRETE RIP RAP</li> <li>CONCRETE UTILITY POLE</li> </ul>	SW - SANITARY SEWER VALVE	(HC) HANDICAP SIGN	
	TT - COUNTY ROAD SYMBOL	- SCHEDULE B ITEM NUMBER (8)	(HC) - DUAL HANDICAP SIGN	
	C CROSSWALK SIGNAL POLE	-	(INFO) INFORMATION SIGN	
	- DETECTABLE WARNING AREA	· - 4" × 4" CM LB #7143	(KR) - KEEP RIGHT SIGN	
	- DUAL SUPPORT SIGN	— 5/8" IR&C LB #7143	(LTO) - LEFT TURN ONLY	
CATES!	ELECTRICAL MANHOLE     O		(ME) - MEDIAN SIGN	and the second second second
CATED)	ELECTRIC METER	🚓 - SITE BENCH MARK	and an an an an an and a state of the second s	Reference Material
	E - ELECTRICAL JUNCTION BOX	D - STORM SEWER MANHOLE	And a second	R3-21 1) PLAT OF SEVILLA GARDENS,
	E ELECTRIC QUILET	T - STRIPING (DIRECTIONAL)	(NL) NO LEFT TURN SIGN (	MAP BOOK 4, PAGE 24 OF THE
		- TELEPHONE CABLE RISER	(NLI) NO LITTERING SIGN	OF ST., JOHNS COUNTY, FLORIDA.
	E - FIBER OPTIC MARKER	(1) - TELEPHONE MANHOLE	(NO) NO OUTLET SIGN	2) PLAT OF WHISPERING OAKS, A
	- FLOOD LIGHT	TELEPHONE JUNCTION BOX — TEST HOLE	(FL) NO PARKING FIRE LAN	MAP BOOK 34, PAGES 11-13 OF
	- FOUND CONCRETE MONUMENT (AS NOTE	Tass.	(NOR) - NO RIGHT TURN SIGN	
	FOUND IRON PIPE (AS NOTED)	- TRAFFIC SIGNAL SUPPORT POLE	(NTT) - NO THRU TRAFFIC SIG	N 3) PLAT OF WHISPERING OAKS III.
	Q - FOUND IRON REBAR (AS NOTED)	0 - UNKNOWN MANHOLE	(NOT) - NO TRUCKS (R5-2)	MAP BOOK 41, PAGES 18-19 OF
		M - UNKNOWN UTILITY MARKER	(NP) - NO PARKING SIGN	RECORDS OF ST. JOHNS COUNTY
	FOUND/SET NAIL (AS NOTED) Set a constraint of the set of	- UNKNOWN RISER	(1W) - ONE WAY SIGN (R6-2	
	G - GARGAGE CAN	WINK - UNKNOWN VALVE	(PE) PEDESTRIAN CROSSING	SIGN RIGHT OF WAY MAP, STATE ROAD SECTION NO. 78040-2509, DATED
	🖄 – GAS VALVE	- VENT (AS NOTED)	(RTO) - RIGHT TURN ONLY	seguer net read since
	- GOPHER TORTOISE HOLE	- WATER METER	(SL) - SPEED LIMIT SIGN	5) FLORIDA DEPARTMENT OF TRA
	- GRATE INLET	WS - WATER SERVICE	(ST) - STOP SIGN (R1-1)	RIGHT OF WAY MAP, STATE ROAD
	CRAVEL/DIRT	WATER SPIGOT	(SS) - STREET SIGN	3/ANASTASIA BOULEVARD, SECTIO
	G - GREASE TRAP MANHOLE	WS - WATER SPRINKLER	(TZ) TOW AWAY ZONE SIGN	78040-2551. DATED 6-14-94.
	E - GROUND LIGHT	🕅 – WATER VALVE	(TE) - TRUCK ENTRANCE SIC	
	E - GUY ANCHOR	₩ – WELL A – WETLAND FLAG	(U) UNKNOWN SIGN	NOTE:
	5 - HANDICAP PARKING SPACE	20° - WOOD LITILITY POLE	(WL) - WEIGHT LIMIT SIGN	THIS SURVEY IS NOT VALID WITHOUT SHEET
	- INTERSTATE SYMBOL	10 - WATER LINE MARKER	(WW) - WRONG WAY SIGN	ITTLE ELOCK ABERS VIA
	- IRRIGATION CONTROL VALVE	- WRE HEIGHTS (SEE CHART)	(Y) YIELD SIGN	$\mathbf{Fxg} = \mathbf{ENGINFERDNG}$ $L.B = LIC$ C.O.A = CERTIFICATE OF ALITHORIZATION
	1 - LIGHT POLE	And the second sec	1.X. Linco, Minut	Londson = LANDSCAFS N/A = NOT AFFL



### FIDELITY NATIONAL TITLE INSURANCE COMPANY PROPERTY INFORMATION REPORT ORDER NO. 6713739 REPORT DATE DECEMBER 20. 2017 AT 5:00 P.M.

LIMITED WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 675. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	36 NOTICE ( NATURE)
PARTNERSHIP AFFIDAMT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 678. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	
3. CERTIFICATE OF MERGER RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 881. (NOT A SURVEY MATTER)	(38) NOTICE
4. TRUSTEE'S AFFIDAMT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 684. (DOCUMENTATION MISSING) (NO DETERMINATION)	NATURE)
(5) MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 1869, PAGE 1000. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	39 CLAIM OI PLOTTAB
LLC AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1899. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NO PLOTTABLE)	DT 40 NOTICE ( NATURE)
MORTGAGE AND SECURITY AGREEMENT DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPAN AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1704, SECURING THE ORIGINAL PRINCIPAL AMOUNT OF	
\$4,480,000.00. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	42 NOTICE (
ASSIGNMENT OF LEASES AND RENTS DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPAN AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1741. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATUR (NOT PLOTTABLE)	IY, ANDTICE
(B) UCC-1 FINANCING STATEMENT LISTING MCW-RC FL-ANASTASIA, LLC, AS DEBTOR AND DES MOINES	44. NOTICE
COMMERCIAL MORTGAGE PORTFOLIO, LLC, AS SECURED PARTY AND RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1753. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	45. NOTICE (
SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	(46) NOTICE ( NATURE)
AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 1968, PAGE 1687. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	47 NOTICE ( NATURE)
ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORD IN OFFICIAL RECORDS BOOK 2001, PAGE 1591. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	DED (48) CLAIM OI PLOTTAB
ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORD IN OFFICIAL RECORDS BOOK 2111, PAGE 476. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	DED 49. NOTICE (
CORRECTED ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 481. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	50. PLAINTIF SURVEY
D NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2013, PAGE 746. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	5 NOTICE ( NATURE)
RE-RECORDED ASSIGNMENT OF LEASES AND RENT RECORDED IN OFFICIAL RECORDS BOOK 2014, PAGE 1410. (AFFECTS SUBJECT     PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	D NOTICE ( NATURE)
CORRECTED AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 467. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	53. SATISFA
	54. UCC-3 I
NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2112, PAGE 759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	S NOTICE ( NATURE)
UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 2175, PAGE 1179. (AFFECTS SUBJECT PARCE (BLANKET IN NATURE) (NOT PLOTTABLE)	(NOT PL
NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2329, PAGE 1831. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	57 NOTICE ( NATURE)
21) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2459, PAGE 886. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	B GRANT C
NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2459, PAGE 887. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	(5) NOTICE ( NATURE)
3 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2495, PAGE 1418. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	60 SPECIAL NATURE)
ATURE) (NOT PLOTTABLE)	1
(25) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2584, PAGE 308. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	62, NOTICE
NATURE) (NOT FLOTTABLE)     NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2637, PAGE 443. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	63 NOTICE ( NATURE)
27 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2659. PAGE 1227. (AFFECTS SUBJECT PARCEL) (BLANKET IN	A NOTICE (
NATURE) (NOT PLOTTABLE)	65 NOTICE ( NATURE)
NATURE) (NOT PLOTTABLE)	60 NOTICE
29. ASSIGNMENT OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 2783, PAGE 1166. (NOT A SURVEY MATTER) 30. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2953, PAGE 1779. (NOT A SURVEY MATTER)	(67) NOTICE
3) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2973, PAGE 432. (AFFECTS SUBJECT PARCEL) (BLANKET IN	NATURE)
NATURE) (NOT PLOTTABLE)	68 NOTICE ( NATURE)
(32) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2976, PAGE 603. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)	( NOTICE ( NATURE)
<ul> <li>33. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 2983, PAGE 545. (NOT A SURVEY MATTER)</li> <li>NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3009, PAGE 4D. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)</li> </ul>	
LOG-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3042, PAGE 1293. (AFFECTS SUBJECT PARCE (BLANKET IN NATURE) (NOT PLOTTABLE)	EL) (1) NOTICE ( NATURE)

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) (NOT PLOTTABLE) OF NON-EXCLUSIVE UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 3439, PAGE 1004. (AFFECTS SUBJECT (BLANKET IN NATURE) (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3519, PAGE 147. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3563, PAGE 682. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3590, PAGE 1734. (NOT A SURVEY MATTER) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3641, PAGE 163B. (NOT A SURVEY MATTER) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3676, PAGE 216. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3681, PAGE 1111. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3694, PAGE 1526, (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3716, PAGE 764. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3775, PAGE 678. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3876, PAGE 286. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3876, PAGE 287. (AFFECTS SUBJECT PARCEL) (BLANKET IN ) (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3879, PAGE 692. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4142, PAGE 452. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3369, PAGE 1481. (AFFECTS SUBJECT PARCEL) (BLANKET IN

LOTTABLE)

(NOT PLOTTABLE) OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3345, PAGE 67. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3340, PAGE 10B3. (AFFECTS SUBJECT PARCEL) (BLANKET IN

FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3328, PAGE 107, (NOT A SURVEY MATTER)

ACTION OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 3328, PAGE 103. (NOT A SURVEY MATTER)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3322, PAGE 728. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3318, PAGE 1158. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

MATTER)

FFS NOTICE OF VOLUNTARY DISMISSAL WITH PREJUDICE RECORDED IN OFFICIAL RECORDS BOOK 3333, PAGE 233. (NOT A

OF LIS PENDENS RECORDED IN OFFICIAL RECORDS BOOK 3305, PAGE 296. (NOT A SURVEY MATTER)

OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3277, PAGE 731. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT BLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3260, PAGE 554. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3245, PAGE 1956. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3243, PAGE 1004. (NOT A SURVEY MATTER)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3238, PAGE 1627. (NOT A SURVEY MATTER)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3231, PAGE 1973. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

(NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3223, PAGE 1386. (AFFECTS SUBJECT PARCEL) (BLANKET IN

AND SATISFACTION OF RECORDED CLAIM OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3222, PAGE 340. (AFFECTS PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

(NOT PLOTTABLE)

BLE) OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3221, PAGE 1904. (AFFECTS SUBJECT PARCEL) (BLANKET IN

F LIEN RECORDED IN OFFICIAL RECORDS BOOK 3195, PAGE 1580. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3141, PAGE 1260. (AFFECTS SUBJECT PARCEL) (BLANKET IN (NOT PLOTTABLE)

(NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3D62, PAGE 1234. (AFFECTS SUBJECT PARCEL) (BLANKET IN

(NOT PLOTTABLE)

OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3051, PAGE 1816. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

3 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4157, PAGE 479. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

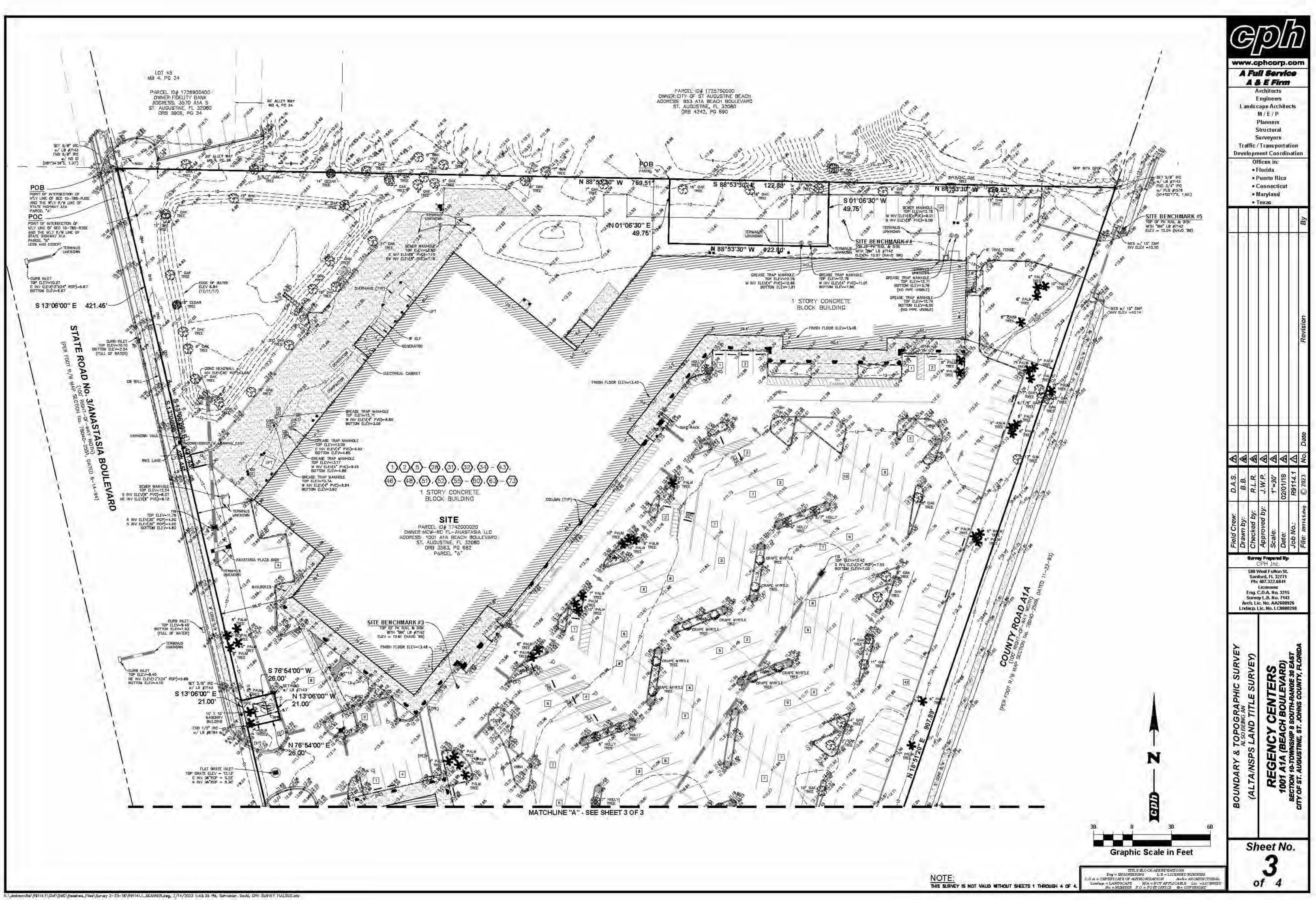
2 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4151, PAGE 684. (AFFECTS SUBJECT PARCEL) (BLANKET IN

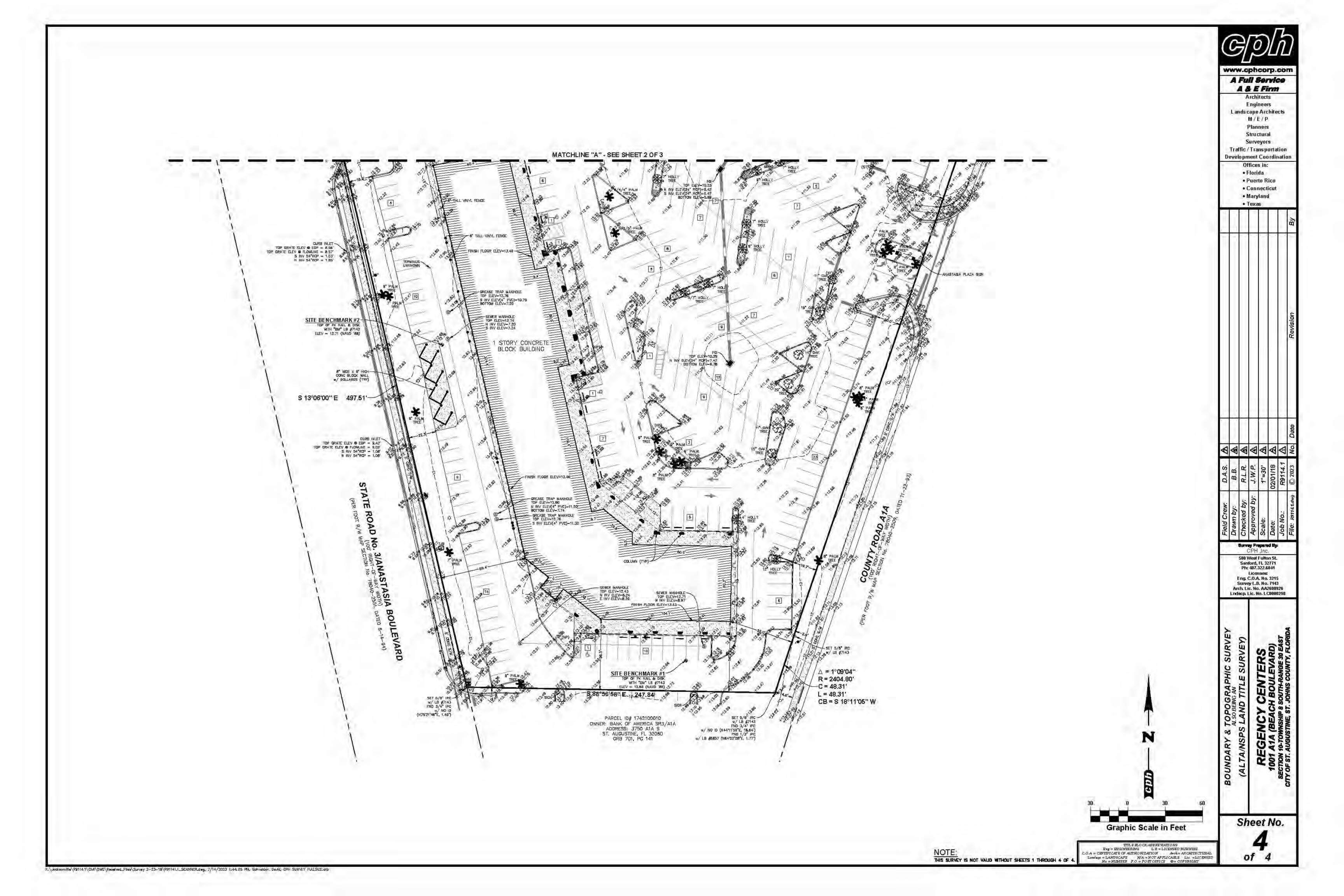
74. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 4232, PAGE 1732. (NOT A SURVEY MATTER)

75. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 4407. PAGE 390, (NOT A SURVEY MATTER)

NOTE:

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IKET IN	Ŵ	Color www.cphcorp.com A Full Service A & E Firm Architects Engineers Lands cape Architects M / E / P Planners Structural						
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	D.A.S.	B.B.	R.L.R.	J.W.P.	NIA	02/01/18	R9114.1	© 2023
	Field Crew:	Drawn by:	Checked by:	Approved by:	Scale:	Date:	Job No.:	File: R9114.1.dwg
		Survey Prepared By CPH ,Inc. 520 Palm Coast Parkway SW Palm Coast, Fl. 32137 Ph: 386.445.6569 Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndsep. Lic. No. LC0000298						
	ROLINDARY &		(ALTA/NSPS		REGEI	1001 A1A (	V 10	CITY OF ST. AUGUS
NOTE: THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4. ITTLE BLOCK APPREVIATIONS EXE = ENGINEERING L.B = LIC ENSED BUSINESS		Sheet No. 2 of 4						





### GENERAL PROVISIONS

- THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCYPERMITS
- CONTRACTOR, AS PART OF THE BASE BID, SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA WITHIN THE 30 DAYS OF PROJECT AWARD. CONTRACTOR SHALL REVIEW THE PLANS AND SHALL NOTE ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY
- CONTRACTORS, AS PART OF THE BASE BID, SHALL PROMDE ALL COORDINATION WITH UTILITY PROVIDERS TO PROVIDE FOR THE MATERIALS AND WORK NEEDED TO PROVIDE SERVICES TO THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR ALL DEMOLITION OF ABOVE GROUND AND UNDERGROUND IMPROVEMENTS IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS NOTED ON THE PLANS. UNLESS APPROVED IN WRITING FROM THE OWNER, ALL MATERIALS SHALL BE REMOVED FROM THE SITE AS PART OF THE BASE BID.
- ALL DETAILS AND REFERENCES TO FDOT REFER TO THE LATEST EDITION OF THE FDOT STANDARD PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE4NS/ CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- CONTRACTOR AND HIS SURVEYOR SHALL NOTE THE PROJECT BENCHMARK INFORMATION PROVIDED IN THE PLANS AND VERIFY PRIOR TO CONSTRUCTION. ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY
- WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING, INSPECTING, MAINT AINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES. FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLY WITH THE NPDE'S GENERAL PERMIT, THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY
- BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. CPH, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
- THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS AND LOGO OF THE PROFESSIONAL, CPH, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS
- 2. THE CONTRACTOR SHALL SUBMITIONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR THEIR RECORDS. THE ENGINEER WILL NOT PROVIDE FOR APPROVAL OF SHOP DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL MATERIALS FOR ACCURACY PRIOR TO ORDERING THE MATERIALS. ANY DISCREPANCIES IDENTIFIED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- 3. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY
- 14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS: BIDETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAVING QUALITY CONTROL TESTING INCLUDING DESIGN MIX REVIEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING,
- 5. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BOD Y HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
- ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
- TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER, ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
- THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY ONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
- 19. ALL DISTRUBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODDED
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT BE LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING, CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE. CRITERIA FOR OSHA
- 21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSH A EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- 22. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.
- UTILITY GENERAL NOTES
- THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
- THE LOCATION, MATERIAL TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY, ANY UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION
- A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SUNSHINE STATE ONE CALL CENTER BY DIALING "811" AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR FIELD LOCATION. NOTE THAT NOT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHOULD CONTACT ALL NON-PARTICIPATING UTILITIES SEPARATELY FOR FIELD LOCATION OF THEIR FACILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION.
- THE UTILITY PROVIDERS NOTED ON THE COVER SHEET HAVE PREVIOUSLY INDICATED THAT THEY MAY HAVE FACILITIES IN THE MCINITY OF THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER.
- TYPICAL DETAILS AND PROPOSED CONSTRUCTION AS SHOWN ILLUSTRATE THE ENGINEER/S INTENT AND ARE NOT PRESENTED. AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY ALTER THE PROPOSED CONSTRUCTION TO SUIT FIELD CONDITIONS, PROVIDED IT COMPLIES WITH THE PROJECT SPECIFICATIONS AND APPROVAL IS RECEIVED FROM THE ENGINEER. WHERE SUCH PROPOSED REVISIONS DEVIATE FROM THE FDEP CONSTRUCTION PERMIT, THEN SUCH REMISIONS WILL ALSO REQUIRE APPROVAL FROM FDEP.
- FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL TYPE, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC. TO BE CROSSED OR CONNECTED TO, IF THE CONTRACTOR DEEMS NECESSARY (A) A CHANGE IN ALIGNMENT OR DEPTH, OR THE NEED FOR ADDITIONAL FITTINGS, BENDS, OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWING, OR (B) A NEED FOR RELOCATION OF EXISTING UTILITIES, THEN DETAILS OF SUCH DEP ARTURES, RELOCATIONS, OR ADDITIONAL FITTINGS, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND THE REASONS THEREFORE, SHALL BE SUBMITTED WITH SHOP DRAWINGS. APPROVED DEPARTURES FOR THE CONTRACTOR'S CONVENIENCE SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- 10. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER, METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LE AKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRE-TESTING PRIOR TO NOTIFICATION.

### AS-BUILT DRAWING REQUIREMENTS

- AS-BUILT DRAMINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDALICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY, THE CONTRACTOR SHALL BE RESPONSIBLE TO (DENTIFY ALL AS BUILT SURVEY REQUIREMENTS BY THE GOVERNING AGENCIES PRIOR TO START OF CONSTRUCTION TO ENSURE THAT AS-BUILT INFORMATION IS PROVIDED FOR. ALL RECORD DRAMINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACAD FORMAT USING CONSTRUCTION PLAN SHEETS
- ROVIDED BY THE ENGINEER. AS-BUILT INFORMATION SHALL BE FIELD VERIFIED, MEASURED, ADDED TO THE ACAD FILES OF

# THE CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER, AND CERTIFIED, SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS.

- THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
- B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
- SKIMMERS
- E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
- F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
- G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
- H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET

- K. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS. L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION:
- M WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.
- N. ANY ADDITIONAL INFORMATION REQUIRED BY GOVERNING AGENCIES.
- PROVIDED AS-BUILT DRAWINGS PLUS ENGINEER ADDED INFORMATION.

### TRAFFIC CONTROL

- APPROVED M.O.T
- CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION.
- 3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.
- 4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING, MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.
- 5. WET UNSTABILIZED ARE AS AS NECESSARY TO CONTROL DUST.
- 6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
- 7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY
- 8. WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2-FT FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX. 102-600 AND 102-602,
- PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.

### SITE PREPARATION

- PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY. PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO WORK AREAS.
- 4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW TREES AND SHRUBS TO REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE. NEW ROADWAY CONSTRUCTION - TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN 15 FEET FROM THE BACK OF CURB, OR OUTSIDE THE LIMITS OF EXCAVATION OR FILL AREAS, WHICHEVER IS FURTHER. UTILITY PIPELINE CONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15 FOOT WIDE PATH, CENTERED ON THE PIPELINE.
- 5 TREES TO REMAIN IN THE CONSTRUCTION ARE A SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD
- AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED. IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES. REMOVE TREES OUTSIDE OF THESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRITING BY THE ENGINEER.
- CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENCROACH UPON OR OTHERWISE OBSTRUCT THE WORK
- 8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS. DO NOT DAMAGE EXISTING STRUCTURES, PIPES OR UTILITIES
- GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN 2"IN DIAMETER, AND MATTED ROOTS. REMOVE TO A DEPTH OF NOT LESS THAN 18" BELOW THE ORIGINAL SURFACE LEVEL OF THE GROUND. 10. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREP ARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFF SITE

#### DEWATERING

DISPOSAL AREAS

- DESIGN AND PROVIDE A DEWATERING SYSTEM USING ACCEPTED AND PROFESSIONAL METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE, PROVIDE A DEWATERING SYSTEM OF SUFFICIENT SIZE AND CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS, DOES NOT CAUSE INSTABILITY OR RAVELING OF EXCAVATION SLOPES, AND DOES NOT RESULT IN DAMAGE TO EXISTING STRUCTURES. WHERE NECESSARY TO THESE PURPOSES, LOWER WATER LE VEL IN ADVANCE OF EXCAVATION, UTILIZING WELLS, WELL POINTS, OR SIMILAR POSITIVE METHODS, MAINTAIN THE GROUNDWATER LEVEL TO A MINIMUM OF 2 FEET BELOW EXCAVATIONS. PROVIDE PIEZOMETERS IF DIRECTED BY THE ENGINEER TO DOCUMENT THE GROUNDWATER LEVEL IS BEING MAINTAINED.
- GROUNDWATER, OR ARTESIAN HEAD.
- DEWATERING DISCHARGE FROM THE SITE SHALL COMPLY WITH ALL NPDES GENERAL PERMIT REQUIREMENTS AND STATE WATER QUALITY STANDARDS. PROVIDE ALL TESTING AND PERMITTING REQUIRED AND COMPLY WITH ALL TREATMENT OR DISPOSAL METHODS REQUIRED TO MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- 4. OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN BOILS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES, SUMPS SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED, WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR AD JACENT STREAMS. DURING NORMAL PUMPING, AND UPON DEVELOPMENT OF WELL(S), LEVELS OF FINE SAND OR SILT IN THE DISCHARGE WATER SHALL NOT EXCEED 5 PPM.
- 5 IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING: 1) 5" PUMP VOLUTE: 2)100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING, AND; 3)1,000,000 GPD PUMP CAPACITY, THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE WATER MANAGEMENT DISTRICT
- 6 CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION. OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR

A HORIZONTALLOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED. TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.

#### C. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZON TAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASE MENTS, AND RIGHTS-OF-WAY

D STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND

#### P AVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.

ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET

4. IN CASES WHERE THE OWNER DETERMINES PARTIAL CLEARANCES FROM PERMITTING AGENCIES ARE BENEFICIAL TO THE OWNER FOR COMPLETED PORTIONS OF THE PROJECT, PROVIDE PRELIMINARY AS-BUILT DRAWINGS (ACAD FORMAT) TO THE ENGINEER FOR ITS USE IN PREPARING THE PARTIAL CLEARANCE APPLICATIONS FOR THE OWNER. 5. COMPLETE AS BUILT DRAMINGS THAT ARE FOUND TO BE SATISFACTORY AS A RESULT OF THE ENGINEER'S REVIEW MILL BE USED AS THE BASIS FOR THE FINAL PROJECT RECORD DRAWINGS PREPARED BY THE ENGINEER USING THE CONTRACTOR

#### 1 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAVEMENT MARKINGS, AND BARRICADES, AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN AND INSTALLED TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. IN GENERAL, ROADWAY AND DRIVEWAY LANE CLOSURES ARE PROHIBITED DURING CONSTRUCTION UNLESS SPECIFICALLY DETAILED ON THESE PLANS. IN THE EVENTIT IS DETERMINED THAT ROADWAY AND DRIVEWAY LANE CLOSURES WILL BE ALLOWED, THE CLOSURES SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 A.M. AND 4:00 P.M. UNLESS OTHERWISE AUTHORIZED IN THE

ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED PRIOR TO

9. TYPE FOR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY COMPLETED

#### UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT

WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED ARE AS IN SURROUNDING. PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRACOMPENSATION SHALL BE PROVIDED. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES,

BASELINES, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS RELATING TO INTERCONNECTION WITH EXISTING FEATURES. REPORT ANY INCONSISTENCIES IN THE PROPOSED GRADES, LINES AND LEVELS, DIMENSIONS AND LOCATIONS TO THE ENGINEER BEFORE COMMENCING WORK.

CONTROL, BY ACCEPTABLE MEANS, ALL WATER REGARDLESS OF SOURCE AND BE FULLY RESPONSIBLE FOR DISPOSAL OF THE WATER NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY SUPPLEMENTAL MEASURES TO CONTROL SEEPAGE,

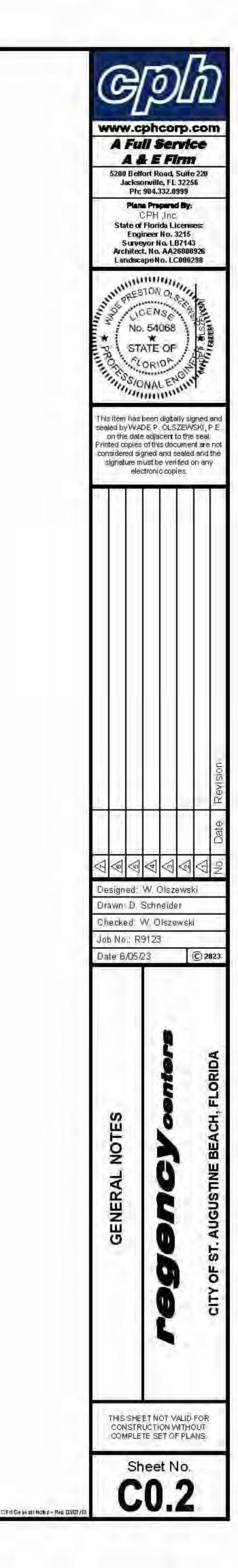
- ADJACENT FACILITIES FROM FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE
- WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEVVATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.
- GRADING
- SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
- 2. ALL PROPOSED ELEVATIONS ON THE PLANS WITHIN PAVED AREAS ARE SHOWN AT PAVEMENT, UNLESS OTHERWISE NOTED. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSSISLOPES. THE STANDARD CROWN MAY HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE
- SUPPLEMENT ARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS. 4. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED, TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED, FINISHED SURFACES SHALL BE REASONABLY SMOOTH. COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY BLADE-GRADER OPERATIONS
- NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES RE-ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER.

# EXCAVATION, TRENCHING, AND FILL

- THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSH A EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 553.60-553.64). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES, DIRECT SITE RUNOFF TO THE PONDS TO MINIMIZE RUNOFF TO OFFSITE AREAS.
- POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTED SIDE SLOPES ARE STEEPER THAN THE REQUIRED SIDE SLOPES, OR THE POND VOLUME IS NOT WITHIN THREE (3) PERCENT OF THE DESIGN VOLUME, THE CONTRACTOR SHALL BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER.
- FIELD DENSITY TESTING FREQUENCIES: AYONE TEST FOR EACH 10,000 SQUARE FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING, MINIMUM 2 TESTS EACH LAYER: B) ONE TEST FOR EACH 100 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES: CYONE TEST FOR EACH 300 LINEAL FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING IN THE PIPELINE TRENCH; D) ONE TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL, E) ONE TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, MINIMUM OF 2 TESTS.
- IT IS INTENDED THAT PREMOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED. WHEREVER POSSIBLE.
- A. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-24, A-2-6; ASTM D2487 CLASSIFICATION GW, GP, GM, SM, SW, SP: UNLESS OTHERWISE DIS APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE.
- B. UNACCEP TABLE MATERIALS: AASHTO M145 CLASSIFICATION A-2-5, A-2-7, A-4, A-5, A-6, A-7, A-8; ASTM D2487 CLASSIFICATION GC. SC, ML, MH, CL, CH, OL, OH, PT; UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS.
- SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS, EXCEPT AS AUTHORIZED BY THE ENGINEER. IN WHICH CASE ADEQUATE TEMP OR ARY PROVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDESTRIANS, AND VEHICLES. MINIMIZE INCONVENIENCE TO PUBLIC TRAVEL OR TO TENANTS OCCUPYING ADJOINING PROPERTY.
- FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO SUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE AD JACENT PAVEMENTS OR STRUCTURES, DAMAGE OR DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. VOIDS OUTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED
- 9. SHEETING, SHORING, AND BRACING USED FOR THE SUPPORT OF EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF FLORIDA.
- 10. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED. SLOPE SIDES OF TRENCHES IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE RECOMMENDATIONS CONTAINED WITHIN THE PROJECT GEOTECHNICAL REPORT
- 17. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERTIELEVATIONS, OVER EXCAVATE TRENCHES A MINIMUM OF 2 FEET WHERE EXCAVATIONS OCCUR WITHIN UNSUITABLE SOILS, AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS.
- TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE
- 13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUNDATIONS, OR SLABS, PLACE BACKFILL IN LAYERS OF 8 INCH LOOSE DEPTH. IN ALL OTHER ARE AS, PLACE FILL AND BACKFILL IN LAYERS OF 12 INCH LOOSE DEPTH
- 14. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T160); BACKFILL AND FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS = 98 PERCENT; BACKFILL AND FILL PLACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND UTILITY EASEMENTS = 95 PERCENT; BACKFILL AND FILL PLACED WITHIN POND AND ROAD EMBANKMENT = 95 PERCENT, BACKFILL AND FILL PLACED IN ALL OTHER AREAS = 90 PERCENT.

# RIPRAP

ALL RIPRAP CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTION 530 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.



_		
	ALL APP ARENT LEAKS DISCOVERED WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE LOCATED AND REPAIRED BY CONTRACTOR, REGARDLESS OF THE TOTAL LINE LEAKAGE RATE.	10. THE TOP ELEVATION OF MANHOLES CONSTRUCT MANHOLES CONSTRUCTED IN GRASSED AREAS S
35.	PRIOR TO DISINFECTION, CONDUCT FULL DIAMETER FLUSHING OF PIPELINE IN SECTIONS IN ORDER TO REMOVE ANY SOLIDS OR CONTAMINATED MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE.	<ol> <li>ALL MANHOLES AND CLEAN OUTS CONSTRUCTED AND COVERS.</li> </ol>
	OBTAIN A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND PER AWWA 0851.	12. MANHOLE COATINGS AND FINISHES SHALL BE:
	ALL TAPS REQUIRED FOR FLUSHING AND THE TEMPORARY OR PERMANENT RELEASE OF AIR AS NEEDED FOR FLUSHING SHALL BE PROVIDED BY THE CONTRACTOR	<ul> <li>A. SANITARY SEWER MANHOLE INTERIOR - BITUMING</li> <li>B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE</li> </ul>
38.	DISINFECT ALL POTABLE WATER LINES, FIRE LINES, VALVES, FITTINGS, HYDRANTS. THE WATER MAIN DISINFECTION AND BACTERIOLOGICAL SAMPLING AND METHODS OF DISINFECTION FOR ALL WATER CONTAINMENT DEVICES AND PIPING SYSTEMS SHALL CONFORM TO AWWA C651. THE DISCHARGE LOCATIONS FOR THE CHLORINATED WATER SHALL BE APPROVED BY THE	FIBERGLASS LINER. LINER THICKNESS TO BE IN A C. EXTERIOR - BITUMINOUS EPOXY COATING, MINIMI
39.	OWNER. NEUTRALIZE THE CHLORINE RESIDUAL BY MEANS OF A REDUCING AGENT IN ACCORDANCE WITH AWWA C651. ALL DISINFECTION WORK SHALL BE ACCEPTABLE TO THE STATE HEALTH AUTHORITY. IF ANY REQUIREMENTS OF THIS SECTION	STORM SEWER SYSTEMS
	ARE IN CONFLICT WITH REQUIREMENTS OF THE AUTHORITY FOR DISINFECTION, THOSE OF THE AUTHORITY SHALL GOVERN. ALL BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY A STATE CERTIFIED LABORATORY CONTRACTED BY THE CONTRACTOR, PROPER CHAIN OF CUSTOD Y PROCEDURES MUST BE FOLLOWED AND SAMPLES SHALL ONLY BE COLLECTED BY	<ol> <li>REINFORCED CONCRETE PIPE (RCP) JOINTS SHAI RUBBER GASKETS SHALL COMPLY WITH FDOT SP COVER OVER THE BELL OF THE PIPE WHERE APP</li> </ol>
-	CERTIFIED LABORATORY PERSONNEL. COPIES OF ALL TESTING RESULTS AND ALL RELATED CORRESPONDENCE FROM THE TESTING LAB SHALL BE SUBMITTED TO THE OWNER, UTILITY, AND ENGINEER.	<ol> <li>RCP PIPE SHALL NOT BE SHIPPED FROM MANUFA 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSEI</li> </ol>
1.	COMBUSTIBLE CONSTRUCTION CANNOT OCCUR UNTIL PROPER DOCUMENTATION HAS BEEN SUBMITTED TO THE LOCAL FIRE	COMPLETED. 3. UNDERDRAIN PIPE SHALL BE PERFORATED POLY
	MARSHAL, DOCUMENTATION SHALL SHOW THAT HYDRANTS HAVE BEEN INSTALLED, TESTED, AND ARE IN PROPER WORKING ORDER.	UNDERDRAIN SOCK SHALL BE TYPE D-31N ACCOR 4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTE
	INSTALL ALL FIRE LINE PIPING AT A MINIMUM 36 INCHES OF COVER. THE CONTRACTOR INSTALLING THE UNDERGROUND FIRE PROTECTION PIPING SHALL HOLD A CLASS I, II, OR LEVEL V	199, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORD OVERLAP
4.	CERTIFICATION AS ISSUED BY THE STATE OF FLORIDA, AS REQUIRED BY FS 633.021(5). ALL FIRE PROTECTION SPRINKLER SYSTEMS INSTALLED SHALL COMPLY WITH NFPA 13, AND SHALL BE MONITORED BY A	S INSTALL POLYETHYLENE PIPE IN ACCORDANCE W PREVENT DISPLACEMENT, MINIMUM COVER OVER PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREA
5.	COMPANY LISTED AS A CENTRAL STATION. HYDRANTS SHALL CONFORM TO AWWA C582 AND SHALL BE FURNISHED COMPLETE WITH WRENCH AND OTHER	MINIMUM COVER SHALL BE 36 INCHES OR ONE PI RIGID PAVEMENT, OR UNPAVED AREAS WHERE BU ASTM D2321: MINIMUM COVER SHALL BE 30 INCH
	APPURTENANCES, MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH AWWA C502 AND TESTS LISTED THEREIN WILL BE REQUIRED.	<ol> <li>INSTALL UNDERDRAINS IN ACCORDANCE WITH FD DRAWINGS.</li> </ol>
	ALL HYDRANTS SHALL BE OF BREAK ABLE TYPE, WITH THE BREAK ABLE SECTION LOCATED SLIGHTLY ABOVE THE FINISH GROUND LINE. HYDRANTS SHALL CONTAIN TWO-TWO AND A HALF INCH (2-1/2") HOSE CONNECTIONS AND ONE-FOUR AND A HALF INCH (4-1/2") STEAMER CONNECTIONS WITH NATIONAL STANDARD FIRE HOSE COUPLING SCREW THREADS, FIVE AND ONE	7. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL
	QUARTER INCH (5-1/4") VALVE OPENING, SIX INCH (6") DIAMETER MECHANICAL JOINT INLET, ONE AND ONE-HALF INCH (1-1/2") PENTAGON OPERATING NUT. THE HYDRANTS SHALL OPEN COUNTERCLOCKWISE.	SIGNS AND PAVEMENT MARKINGS 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE I
	ALL HYDRANTS SHALL BE PAINTED IN AN APPROVED MANNER WITH THE PRIMER PAINT BEING KOPPER'S "GLAMORTEX" NO. 622 RUST PRIMER AND THE FINISH PAINT SHALL BE TWO COATS OF ENAMEL OR SPECIAL COATING TO COLOR AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.	DEMCES" AND THE LATEST IMPLEMENTED EDITIO 2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLA
8.	BLUE PAVEMENT REFLECTORS (CAT EYES) SHALL BE PLACED IN THE CENTERLINE OF THE DRIVING LANE DIRECTLY IN FRONT OF ALL FIRE HYDRANTS. THERE SHALL BE NO TREES, SHRUBS, OR LANDSCAPING PLANTED AROUND THE FIRE HYDRANTS OR IN	PAVEMENT MARKERS ARE TO BE INSTALLED IN A 3. PARKING STALL PAVEMENT MARKINGS SHALL BE
9.	AREAS DESIGNATED AS FIRE LANES. NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDERGROUND DRAIN (WEEP HOLE) IS AT LEAST	SECTION 971, NON-REFLECTIVE WHITE TRAFFIC P 4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFA
	THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER MAIN, OR VACUUM TYPE SANITARY SEWER; SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY SANITARY SEWER AND WASTEWATER FORCE MAIN; AND TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS,	OF ALL FINISHED PANELS SHALL BE STENCILED W OF THE SHEETING IN THREE INCH LETTERS.
	DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.	<ol> <li>INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRE</li> <li>THE CONTRACTOR SHALL VERIFY THE REQUIRED</li> </ol>
19.	THE SEQUENCE OF TESTING AND DISINFECTION SHALL BE AS FOLLOWS: 1) CONDUCT FIRE FLOW, PRESSURE AND LEAKAGE TESTING; 2) PERFORM FLUSHING PER UTILITY REQUIREMENTS AND AWWA C651; 3) DISINFECT THE WATER MAIN, INCLUDING VALVES AND FITTINGS; AND 4) FLUSH AFTER DISINFECTION.	FABRICATION: 7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL:
11	THE CONTRACTOR SHALL PROVIDE A POST-CONSTRUCTION FIRE FLOW TEST WITNESSED AND APPROVED BY THE ENGINEER AND THE UTILITY, HYDRANTS SHALL DELIVER A MINIMUM OF 1250 GPM WITH A RESIDUAL PRESSURE OF 20 PSI.	8. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APP
	APPLY HYDROSTATIC TEST PRESSURE OF 200 PSI (FIRE MAINS) FOR 10 MINUTES AND FOR SUCH ADDITIONAL PERIOD NECESSARY FOR THE ENGINEER TO COMPLETE THE INSPECTION OF THE LINE UNDER TEST. DO NOT EXCEED PIPE	9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATI
9	MANUFACTURER'S SUGGESTED TIME DURATION AT THE TEST PRESSURE IF DEFECTS ARE NOTED, REPAIRS SHALL BE MADE. AND THE TEST REPEATED UNTIL ALL PARTS OF THE LINE WITHSTAND THE TEST PRESSURE.	1. STEEL CASING PIPE SHALL CONFORM TO ASTM A LINING OF PIPE SHALL BE A COAL TAR LINING COP
10.	APPLY LEAKAGE TEST PRESSURE OF 200 PSI (FIRE MAINS) MAINTAIN PRESSURE AT A MAXIMUM VARIATION OF 5% DURING THE ENTIRE LEAKAGE TEST. THE DURATION OF THE LEAKAGE TEST SHALL BE TWO HOURS MINIMUM, AND FOR SUCH ADDITIONAL TIME NECESSARY FOR THE ENGINEER TO COMPLETE INSPECTION OF THE SECTION OF LINE UNDER TEST. LEAKAGE MEASUREMENTS SHALL NOT BE STARTED UNTIL A CONSTANT TEST PRESSURE HAS BEEN ESTABLISHED. THE LINE LEAKAGE	COATS OF HEAVY DUTY COAL TAR BASE COATING WITH THE COATING MANUFACTURER'S RECOMME
10	SHALL BE MEASURED BY MEANS OF A WATER METER INSTALLED ON THE SUPPLY SIDE OF THE PRESSURE PUMP.	<ol> <li>EACH SPACER SHALL BE 12 INCHES WIDE AND MA GAUGE STEEL WITH FUSION BONDED PVC COATI/ SHALL BE T-304 STAINLESS STEEL EACH SPACEF</li> </ol>
	NON-POTABLE PIPING IN CONFLICT WITH POTABLE WATER LINES. TE STED SECTIONS OF BURIED PIPING WITH SLIP-TYPE OR MECHANICAL JOINTS WILL NOT BE ACCEPTED IF IT HAS A LEAKAGE	MOLECULAR WEIGHT POLYMER PLASTIC. THE RU ADEQUATE HEIGHT TO POSITION THE CARRIER PI INCHES
	RATE IN EXCESS OF THAT RATE DETERMINED BY THE FORMULA L = SDP/148000 WHERE L = MAXIMUM PERMISSIBLE LEAKAGE RATE, IN GALLONS PER HOUR, THROUGHOUT THE ENTIRE LENGTH OF LINE BEING TESTED; S = LENGTH OF LINE TESTED (IN FEET) D = NOMINAL INTERNAL DIAMETER (IN INCHES) OF THE PIPE; AND P = THE SQUARE ROOT OF THE ACTUAL PRESSURE IN	3 ADD ON SECTIONS OF CASING PIPE SHALL BE FUI TOTAL PIPE-STRENGTH JOINTS. ALL WELDING OF
	PSIG ON ALL JOINTS IN THE TESTED PORTION OF THE LINE. THIS ACTUAL PRESSURE SHALL BE DETERMINED BY FINDING THE DIFFERENCE BETWEEN THE AVERAGE ELEVATION OF ALL TESTED PIPE JOINTS AND THE ELEVATION OF THE PRESSURE GAUGE AND ADDING THE DIFFERENCE IN ELEVATION HEAD TO THE AUTHORIZED TEST PRESSURE.	WELDING SHALL BE PERFORMED IN ACCORDANCE 4. CASING PIPE WALL MINIMUM WALL THICKNESS SH
16.	DISINFECT ALL POTABLE WATER LINES, FIRE LINES, VALVES, FITTINGS, HYDRANTS.	AND 48" = 0.500". AT RAILROAD CROSSINGS, CASI 20" = 0.281", 24" = 0.312", 30" = 0.406", 36" = 0.469". MINIMUM CASING PIPE DIAMETER SHALL BE BASE
17	ALL DISINFECTION WORK SHALL BE ACCEPTABLE TO THE STATE HEALTH AUTHORITY. IF ANY REQUIREMENTS OF THIS SECTION ARE IN CONFLICT WITH REQUIREMENTS OF THE AUTHORITY FOR DISINFECTION, THOSE OF THE AUTHORITY SHALL GOVERN. THE WATER MAIN DISINFECTION AND BACTERIOLOGICAL SAMPLING AND METHODS OF DISINFECTION FOR ALL WATER	WHERE CARRIER IS 6", THEN MINIMUM CASING IS 10", THEN MINIMUM CASING IS 24"; WHERE CARRIE MINIMUM CASING IS 36".
	CONTAINMENT DEVICES AND PIPING SYSTEMS SHALL CONFORM TO AVW/A C651	5. BORED INSTALLATIONS SHALL HAVE A HOLE DIAN COATING) BY MORE THAN ONE INCH. WHERE UNS
-	VING, SIDEWALKS, AND CURBING	BE CONDUCTED IN SUCH MANNER AS NOT TO BE LARGE A BORED HOLE RESULTS, OR IT IS NECESS TAKEN BY THE CONTRACTOR, SUBJECT TO APPRI
	MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAYING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.	BEING CROSSED.
	ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.	PRECEDING LENGTH, DEVELOPING WATERTIGHT PIPE, MASONRY PLUGS SHALL BE INSTALLED AT E PLUG.
	SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROMDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.	7 UNLESS OTHERWISE SHOWN ON THE PLANS, INST
2	CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS, ALL CURBS SHALL HAVE SAW OUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER, CONSTRUCTION OF	(8) CARRIER PIPES INSIDE OF STEEL CASING PIPE SH STEEL CASING PIPE SHALL BE RESTRAINED.
	CURBS SHALL BE IN CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.	<ol> <li>SPACERS ALONG DUCTILE IRON CARRIER PIPE SH SUBSEQUENT SPACER PLACEMENT AT INTERVAL</li> </ol>
1.1	FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAMING PER 24-FT WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF	10. SPACERS ALONG PVC CARRIER PIPE SHALL BE PL IS COMPLETE, THE SPACER SHALL BE IN CONTAC RESTRAINT ASSEMBLY, SUBSEQUENT SPACER PL
	ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY).	FEET. 11. THE USE OF WOOD SKIDS IN LIEU OF SPACERS IS
PR	ECAST STRUCTURES AND APPURTENANCES	12. THE CARRIER MAY BE PUSHED OR PULLED (DEPE INTO THE CASING AS PIPE LENGTHS ARE ASSEME
1.	ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 21" IN DIAMETER OF LESS, INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED.	PREVENT ANY MOVEMENT AND TO ATTAIN THE SP PIPE INSTALLATION SHALL BE APPROVED BY THE
2.	BASES SHALL BE ONE PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INTEGRAL INVERTS WITH GASKETS TO MATCH THE PIPE. THE	
	CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STUBS WITH JOINTS TO MATCH THE PIPE.	
	RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER UNLESS OTHERWISE INDICATED AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES.	
	GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942-2, UNLESS OTHERWISE INDICATED.	
5.	UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24 INCH	
	DIAMETER OPENING, UNLESS OTHERWISE INDICATED. PROVIDE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE	
	PROVIDE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL PROVIDE A WATERTIGHT CONNECTION PER ASTM C923, WHERE CONNECTORS ARE USED, THE Y SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS PROHIBITED.	
2.1	FRAMES AND COVERS SHALL BE GREY IRON PER ASTM A48, CLASS 30B AND SHALL BE U.S. FOUNDRY TYPE 227AS, TRAFFIC BE ARING (AASHTO H-20 LOADING), UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BLISTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM", "SEWER", OR AS DE TAILED ON THE DRAWINGS.	
8.	PROVIDE INLETS, FRAMES, AND GRATES IN ACCORDIANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL.	
9.	ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYEBOLT TO THE TOP OF THE STRUCTURE.	

#### LES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF RASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).

S CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS

TERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.

RECEIVE FORCE MAIN DISCHARGE - INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, KNESS TO BE IN ACCORDANCE WITH THE DRAWINGS. COATING, MINIMUM DRY FILM THICKNESS = 16 MILS

RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND LYWITH FOOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE, INCLUDING PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.

D FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED AYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN

REORATED POLYMINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC YPE D-31N ACCORDANCE WITH SPECIFICATIONS SECTION 985.

PPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. STALL IN ACCORDANCE WITH FOOT STANDARD PLANS INDEX 430-001, PROVIDE MINIMUM 12"

ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO MUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE R UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES: ICHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER; B) PIPE UNDER FLEXIBLE PAVEMENT, AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 14 OR 1B AS DEFINED IN SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.

RDANCE WITH FOOT SPECIFICATION SECTION 440, INSTALL CLEANOUTS AS SHOWN ON THE

STING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

KINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL EMENTED EDITION OF FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS

LIBE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" × 4"). RAISED EINSTALLED IN ACCORDANCE WITH THESE PLANS AND FOOT STANDARD PLANS INDEX 706-001.

KINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATION WHITE TRAFFIC PAINT, TWO COATS.

HALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME CHLETTERS.

ARE NOT REQUIRED TO BE RETROREFLECTIVE.

FY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO

AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WIRING, ETC.

UIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION. RKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

FORM TO ASTM A139, GRADE "B" WITH MINIMUM YIELD STRENGTH OF 35,000 PSI. INTERIOR L TAR LINING CONFORMING TO AWWA C203, EXTERIOR COATING OF PIPE SHALL BE MULTIPLE AR BASE COATING BUILT UP TO 30 MILS TOTAL DRY THICKNESS AND APPLIED IN ACCORDANCE URER'S RECOMMENDATIONS

ES WIDE AND MANUFACTURED OF MINIMUM 14 GAUGE TYPE 304 STAINLESS STEEL OR 14 NDED PVC COATING, SPACERS SHALL BE LINED WITH A 90 MIL PVC LINER. ALL NUTS AND BOLTS EL. EACH SPACER SHALL HAVE A MINIMUM OF 4 RUNNER SUPPORTS MANUFACTURED OF A HIGH PLASTIC. THE RUNNER SUPPORTS SHALL BE T304 STAINLESS STEEL, MINIMUM 10 GAUGE, OF THE CARRIER PIPE IN THE CENTER OF CASING WITH A MINIMUM TOP CLEARANCE OF 0.5

IPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH. DEVELOPING WATER-TIGHT ALL WELDING OF STEEL PIPE SHALL BE DONE BY COMPETENT, EXPERIENCED WELDERS. D IN ACCORDIANCE WITH AWWA C206.

LL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 24" = 0.250", 30" = 0.312", 36" = 0.375", 42" CROSSINGS, CASING PIPE WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 18" = 0.250"; 106", 36" = 0.469". UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS, THE R SHALL BE BASED ON THE SIZE OF THE CARRIER PIPE NOMINAL DIAMETER AS FOLLOWS: VIMUM CASING IS 18", WHERE CARRIER IS 8", THEN MINIMUM CASING IS 20"; WHERE CARRIER IS "; WHERE CARRIER IS 12" OR 16", THEN MINIMUM CASING IS 30"; WHERE CARRIER IS 20", THEN

AVE A HOLE DIAMETER WHICH SHALL NOT EXCEED THE O.D. OF THE CASING PIPE (INCLUDING INCH, WHERE UNSTABLE SOIL CONDITIONS ARE FOUND TO EXIST, BORING OPERATIONS SHALL AS NOT TO BE DETRIMENTAL TO THE FACILITY BEING CROSSED, IF EXCESSIVE VOIDS OR TOO , ORIT IS NECESSARY TO ABANDON A BORED HOLE , PROMPT REMEDIAL MEASURES SHALL BE UBJECT TO APPROVAL BY THE ENGINEER AND THE CONTROLLING AGENCY OF THE FACILITY

LL BE MAINTAINED. ADD ON SECTIONS OF CASING FIPE SHALL BE FULL RING WELDED TO THE NG WATERTIGHT TO TAL PIPE STRENGTH JOINTS. FOLLOWING PLACEMENT OF THE CARRIER E INSTALLED AT EACH OPEN END, WITH A WEEP HOLE INSTALLED NEAR THE BOTTOM OF THE

THE PLANS, INSTALL CASING AT MINIMUM OF 36-INCH COVER.

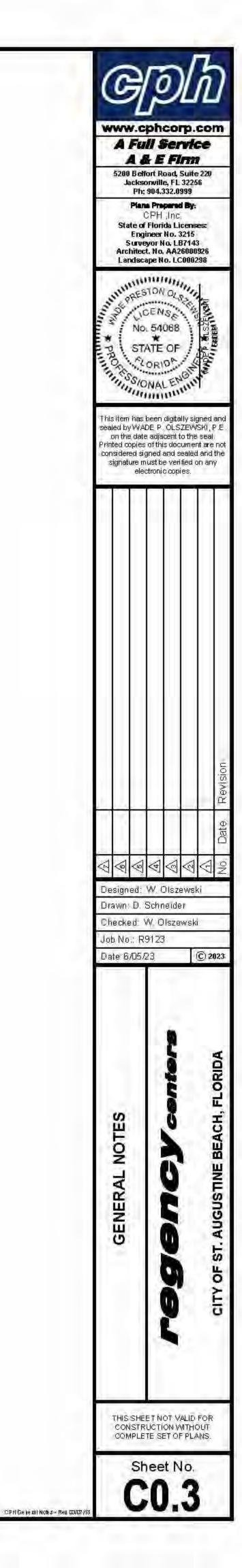
L CASING PIPE SHALL BE SUPPORTED BY CASING SPACERS. CARRIER PIPE JOINTS INSIDE OF ESTRAINED.

CARRIER PIPE SHALL BE PLACED NO MORE THAN 2 FEET FROM THE END OF THE CASING, WITH ENT AT INTERVALS OF NO MORE THAN 10 FEET.

PIPE SHALL BE PLACED NEAR THE SPIGOT END OF EACH SEGMENT OF PIPE, WHEN THE JOINT LLBE IN CONTACT WITH THE JOINT RESTRAINT ASSEMBLY SO THAT THE SPACER PUSHES THE QUENT SPACER PLACEMENT ALONG PVC PIPE SHALL BE AT INTERVALS OF NO MORE THAN 6.

U OF SPACERS IS NOT ALLOWED

OR PULLED (DEPENDING UP ON PIPING MATERIAL, JOINT TYPE AND METHOD OF PIPE SUPPORT) THS ARE ASSEMBLED. THE CARRIER SHALL BE ADEQUATELY BLOCKED ALL AROUND TO TO ATTAIN THE SPECIFIED GRADE FOR GRAVITY LINES. THE PROPOSED METHOD OF CARRIER PPROVED BY THE ENGINEER PRIOR TO STARTING THE CROSSING.



# GENERAL:

WHERE THESE NOTES CONFLICT WITH THE SPECIFICATIONS IN PART III OF THE MANUAL, PART III GOVERNS. 2. TWO (2) COPIES OF THE SHOP DRAWINGS FOR MATERIALS NOT IN THE APPROVED MATERIALS MANUAL (STAMPED APPROVED BY THE ENGINEER) SHALL BE SUBMITTED TO SJCUD FOR REVIEW PRIOR TO SCHEDULING THE MANDATORY PRE-CONSTRUCTION CONFERENCE, THE INITIAL SHOP DRAWING REVIEW BY SJCUD WILL BE COMPLETED WITHIN FIFTEEN (15) BUSINESS DAYS. SUBSEQUENT SHOP DRAWING REVIEWS WILL BE COMPLETED WITHIN TEN (10) BUSINESS DAYS, 3. A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH THE DEVELOPER, THE ENGINEER OF RECORD, THE UTILITY CONTRACTOR, AND THE SJCUD PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION CONFERENCE WITH SJCUD IS REQUIRED REGARDLESS OF OTHER AGENCIES REQUIREMENTS. ALL WATER, SEWER, AND/OR REUSE CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. A COPY OF THE CONTRACTOR'S GENERAL LICENSE AND/OR UNDERGROUND UTILITY LICENSE SHALL BE PROVIDED AT THE PRE-CONSTRUCTION CONFERENCE, 5. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION. 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AFFECTED UTILITY COMPANY, ENGINEER OF RECORD, COUNTY, AND SJCUD. THE WATER, SEWER, AND/OR REUSE SYSTEM SHALL BE CONSTRUCTED ACCORDANCE WITH THE SJCUD APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY DEVIATION FROM THE APPROVED CONSTRUCTION DRAWINGS OR SPECIFICATIONS, WITHOUT PRIOR AUTHORIZATION AND CONSENT FROM THE SJCUD, THE CONTRACTOR SHALL REMOVE THE DEVIATION AND RESTORE IT TO THE APPROVED CONSTRUCTION DRAWING CONFIGURATION AT NO EXPENSE TO THE SUCUD. ANY DEVIATIONS FROM THE APPROVED DOCUMENTS WILL DELAY THE COC SUBMITTAL PROCESS. . THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD AND SJCUD IMMEDIATELY. 10, EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED PER AVAILABLE MEANS WITHOUT EXCAVATION. 11. VERTICAL LOCATIONS OF ALL UTILITIES (EXCLUDING EXISTING STORM SEWERS) SHOWN ON PLAN AND PROFILE SHEETS HAVE BEEN REFERENCED TO A BENCH MARK SHOWN ON THE UTILITY PLANS. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION. 12. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SJCUD PRIOR TO CONTINUING CONSTRUCTION. 13. THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC DURING CONSTRUCTION, THE CONTRACTOR SHALL RESTORE/REPLACE, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY DAMAGE DONE BY CONSTRUCTION ACTIVITIES. 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS. ANY DAMAGE SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. 15. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION. 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM HIS OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. 17. UNSUITABLE MATERIALS UNDER WATER, SEWER, AND/OR REUSE MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY. BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE-FOOT (1) LIFTS. DENSITY TESTS SHALL BE TAKEN AFTER COMPACTION OF EVERY LIFT 18. THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD. AND THE PROPERTY OWNER 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANIES AND THE PERMITS OBTAINED FOR THE WORK 19. THE ENGINEER OF RECORD AND SJCUD SHALL BE GIVEN FIVE (5) BUSINESS DAYS NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEASURES RELATED TO THE PROJECT. 20. ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT ST. JOHNS COUNTY STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS. 21 ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE MANUAL OF WATER, WASTEWATER, AND REUSE DESIGN STANDARDS & SPECIFICATIONS, ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AND THE APPROVED SITE PLANS. 22. ALL UTILITY CROSSINGS SHALL COMPLY WITH FDEP REGULATIONS (CH. 62-555.314, FAG) 23. ANY LANDSCAPING TREES SHALL BE PLACED A MINIMUM OF 7.5 FEET AWAY FROM THE EDGE OF PIPELINE TO THE TREE CENTERLINE. 24. ALL ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA AND ST. JOHNS COUNTY UTILITIES STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED FOR NEW AND RELOCATED PIPES. THE BACKFILL MATERIAL SHALL

BE TAMPED IN LAYERS AROUND THE NEW AND RELOCATED PIPES AND TO A

SUFFICIENT HEIGHT ABOVE SUCH PIPE TO ADEQUATELY SUPPORT AND PROTECT

- 24. FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 16 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FDOT OR RAILROAD RIGHTS-OF-WAY. FOR MAINS 12 INCHES OR GREATER, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS WILL BE MADE FOR CONFLICTS.
- THE MANUFACTURER.
- 26. FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
- 27. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH SJCUD DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE LOCATE MARKERS.
- 28. CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
- 29. CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SJCUD PRIOR TO SCHEDULING THE FINAL INSPECTION.

# NOTICE OF PROCEDURE:

- CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
- 2. ALL CONNECTIONS TO THE WATER, SEWER, AND/OR REUSE SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE WITH THE SJCUD. A SJCUD INSPECTOR MUST BE PRESENT PRIOR TO THE CONNECTION BEING MADE OR TESTING.
- 3. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
- 4. THE PROPERTY OWNER SHALL PURCHASE THE WATER METER THROUGH THE SJCUD ON PROJECTS THAT REQUIRE A WATER METER LARGER THAN ONE (1) INCH. THE OWNER'S CONTRACTOR SHALL INSTALL ALL METERS THREE (3) INCHES AND LARGER.
- 5. WATER, SEWER, AND/OR REUSE UNIT CONNECTION FEES SHALL BE PAID IN FULL TIME OF BUILDING PERMIT APPLICATION.
- STANDARDS ARE MET.
- 7. ALL REQUIREMENTS BY THE SJCUD (I.E. FINAL INSPECTION, CORRECTION OF PUNCH LIST ITEMS, "AS BUILTS", FDEP CERTIFICATION OF COMPLETION, ETC) MUST BE SATISFIED PRIOR OF ISSUANCE OF CERTIFICATES OF OCCUPANCY.

# PRESSURE PIPE NOTES:

- 1. POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 4" THROUGH 12" DIAMETER SHALL BE DR18, C900 PVC, WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS, DR11 C906 HOPE OR DR18, C900 FUSIBLE PVC (FPVC), POTABLE AND RECLAIMED WATERMAINS 4" THROUGH 12" DIAMETER SHALL BE DIP CLASS 350 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- 2, POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 16" THROUGH 36" DIAMETER SHALL BE DR25, C905 PVC WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS OR DR11, C906 HDPE OR DR25, C905 FPVC. POTABLE AND RECLAIMED WATERMAINS 16" THROUGH 36" DIAMETER SHALL BE DIP CLASS 250 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- 3. POTABLE AND RECLAIMED WATERMAINS LARGER THAN 36" DIAMETER SHALL BE DIP CLASS 250.
- 4. HDD UP TO 36" DIAMETER AND LESS THAN 300 FEET SHALL BE DR11, C906 HDPE. HDD UP TO 24" DIAMETER AND LONGER THAN 300 FEET SHALL BE DR9, C906 HDPE.
- 5. 2" POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS SHALL BE DR9, HDPE (CTS). 5. PIPE SHALL BE APPROPRIATELY COLOR CODED: BLUE-POTABLE WATER, GREEN-SEWER.
- AND PURPLE-RECLAIMED WATER.

# POTABLE WATER SYSTEMS NOTES:

- 1. ALL CURB STOPS ARE TO BE BALL-TYPE WITH LOCKING CAPACITY 1" MINIMUM.
- 2. A FULL UNCUT LENGTH OF WATERMAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
- 3. WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE ST. JOHNS COUNTY HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED CONTAMINATION.
- 4. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE BY FDEP AND ACCEPTED FOR MAINTENANCE BY THE SJCUD.
- JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO FILL OR FLUSH WATERMAINS
- 6. ALL NEW AND RELOCATED WATERMAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND SJCUD STANDARDS.
- 7. ALL NEW AND RELOCATED WATERMAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

THE PIPE.

# ST. JOHNS COUNTY UTILITY DEPARTMENT (SJCUD) GENERAL NOTES

25. WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY

ALL COMMERCIAL BUILDING PERMITS AND METERS PROCESSED THROUGH SJCUD

5. ALL ON-SITE PRIVATE WATER, SEWER, AND/OR REUSE CONSTRUCTION BETWEEN THE METER AND BUILDING MAY BE INSPECTED BY THE SJCUD TO ENSURE

- 8. ALL NEW AND RELOCATED WATERMAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605, LATEST EDITION.
- 9, ALL NEW AND RELOCATED WATERMAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.340, F.A.C.
- 10. ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND SJCUD STANDARDS.
- 11. THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS BUILT DRAWINGS. THE SAMPLE POINT NUMBERING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY FORMS.

# WASTEWATER SYSTEM NOTES:

- 1. AN APPROVED INTERIOR LINER IS REQUIRED ON RECEIVING MANHOLES, PUMP STATION WETWELLS AND MANHOLES WITH THREE OR MORE INVERTS.
- 2. SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE,
- 3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJCUD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
- 4. THE CONTRACTOR SHALL CONTACT SJCUD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

# AS-BUILTS:

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
- 2. "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER.
- 3. A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2 SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
- 4. THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSING AND PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET. IN ADDITION, THE CENTERING OF UNCUT LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON THE DRAWINGS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.
- 5. AFTER SJCUD HAS APPROVED PRELIMINARY "AS BUILT". THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJOUD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

# STANDARD WATER/ SEWER/ RECLAIMED WATER SEPARATION STATEMENT:

THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC, BELOW THE CONTRACTOR SHALL NOTIFY SJCUD IN ANY INSTANCE WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE.

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATERMAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER: FIRE HYDRANT LEADS: AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER. 1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET. BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATERMAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATERMAIN IS LAID AT LEAST SIX. INCHES ABOVE THE TOP OF THE SEWER,

(D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE DUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN. OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS. THE PIPES SHALL BE ARRANGED SO THAT ALL WATERMAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.

(3.) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS. RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610. F.A.C.: AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(5) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;

2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE: OR

3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

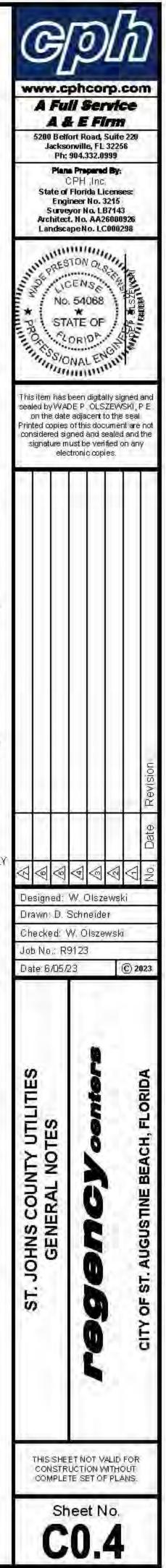
(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALL FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

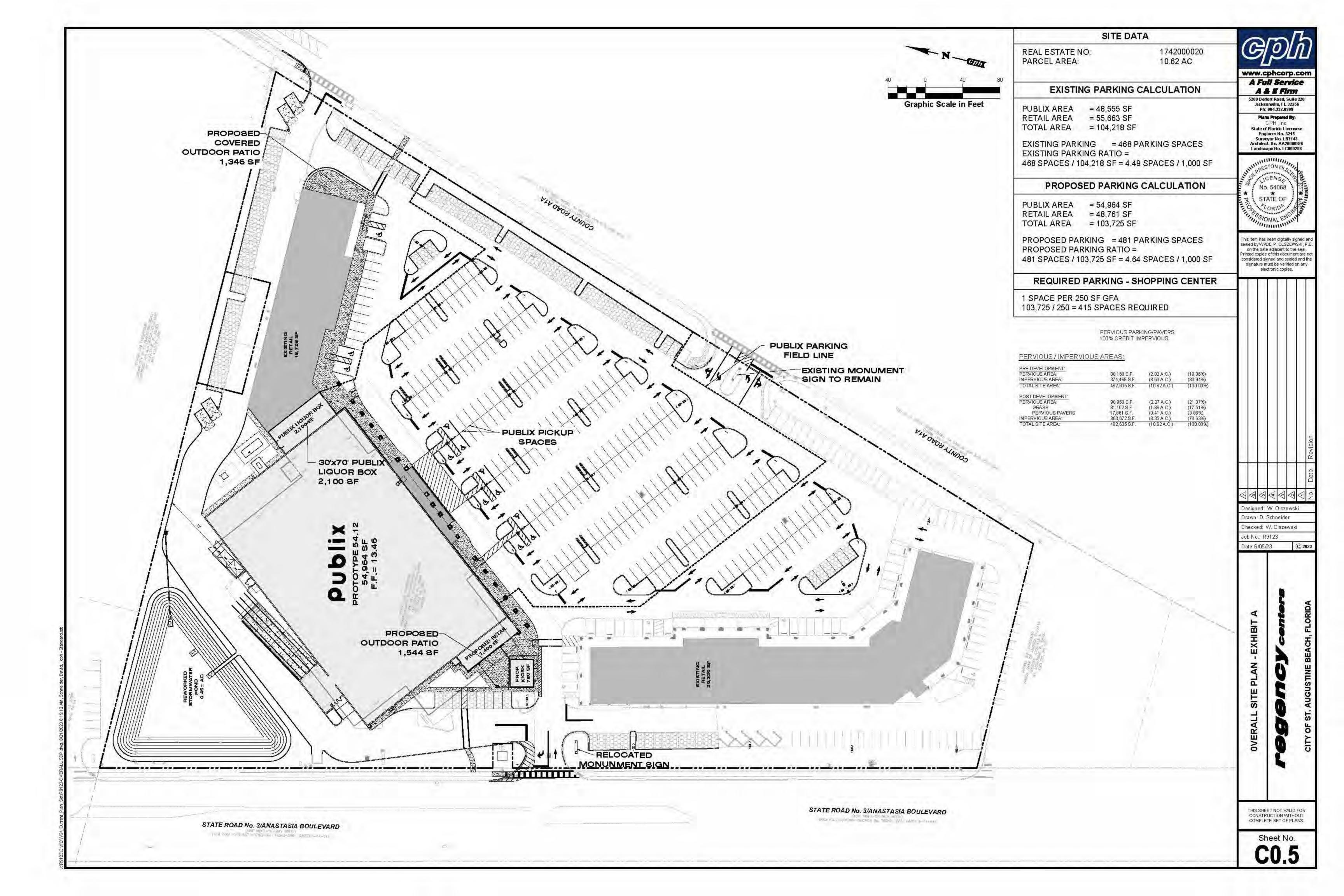
1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND

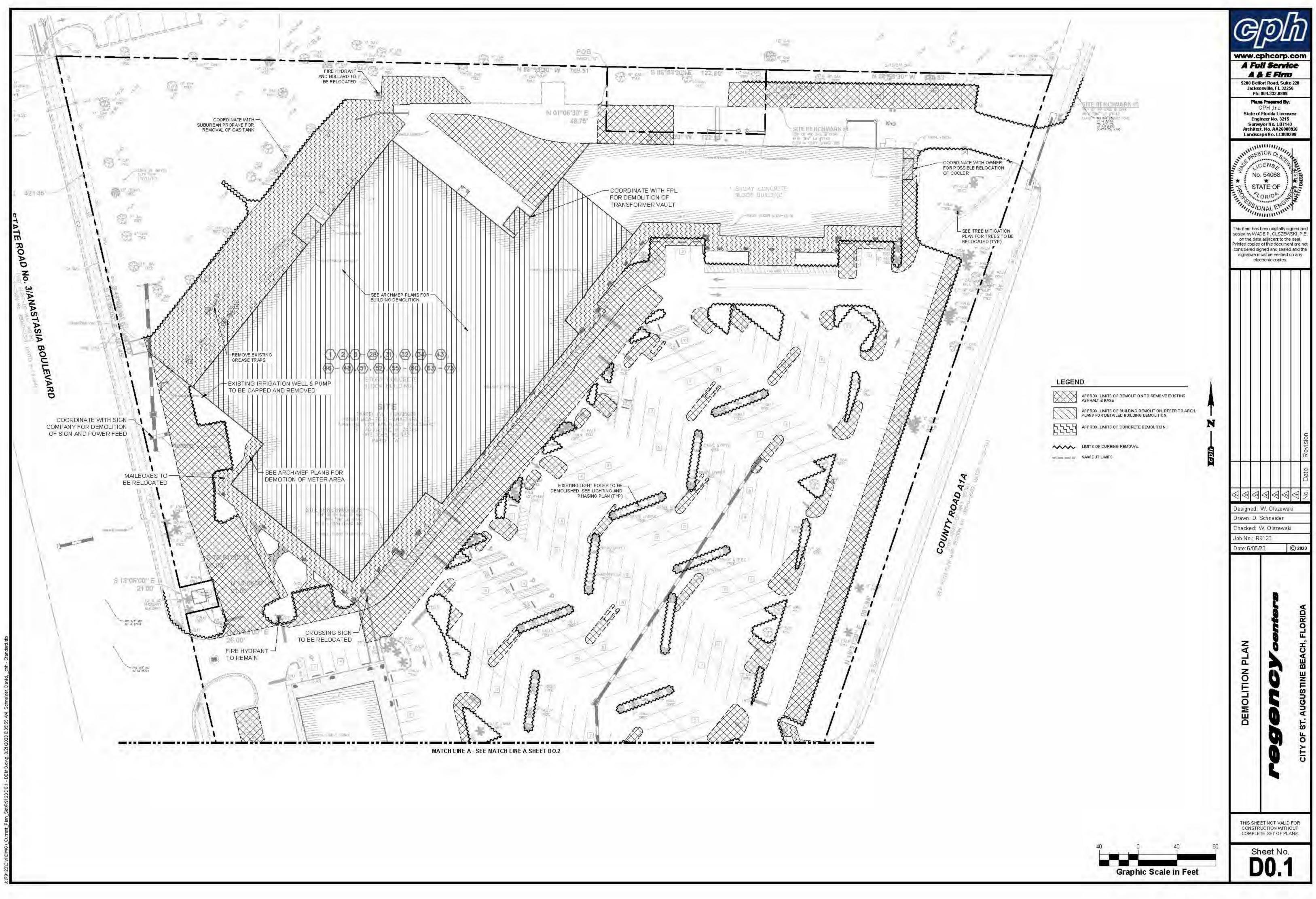
2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER."

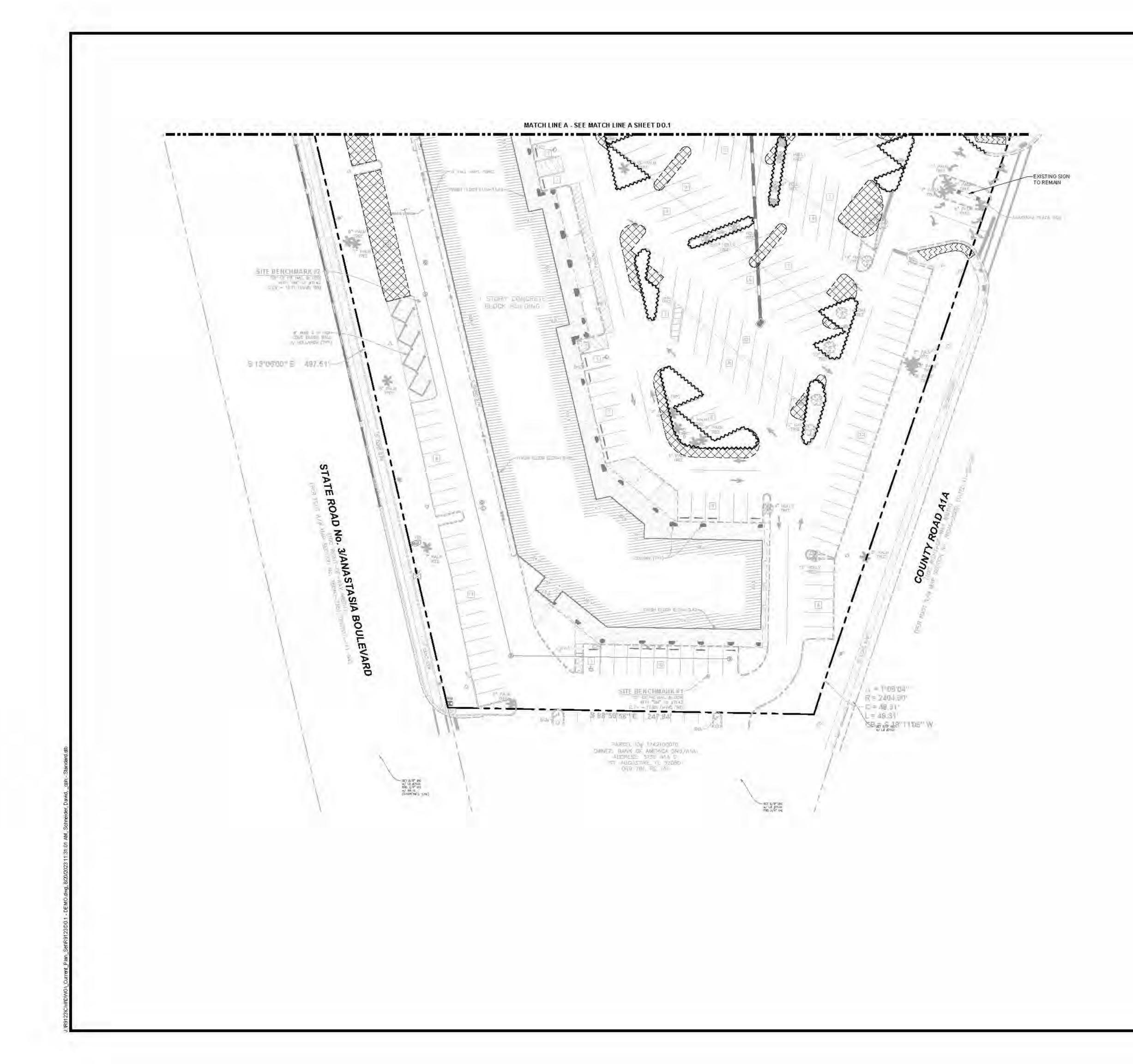
# HYDROSTATIC TESTING NOTES.

1. AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACKFILLED. THE NEWLY LAID PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE SJCUD MUST BE NOTIFIED AT LEAST 72 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD C605. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATER TIGHT. LEAKAGE SHALL BE LIMITED TO THAT ALLOWANCE SET FORTH IN SECTION. 4 OF AWWA STANDARD COOD LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GUAGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.









## LEGEND

	APPROX. LIMITS OF DEMOLITION TO REMOVE EXISTING ASPHALT & BASE
11	APPROX. LIMITS OF BUILDING DEMOLITION. REFER TO ARCH. PLANS FOR DETAILED BUILDING DEMOLITION.
1111	APPROX. LIMITS OF CONCRETE DEMOLITION.
	APPROX. LIMITS OF MILLING AND RESURFACING.

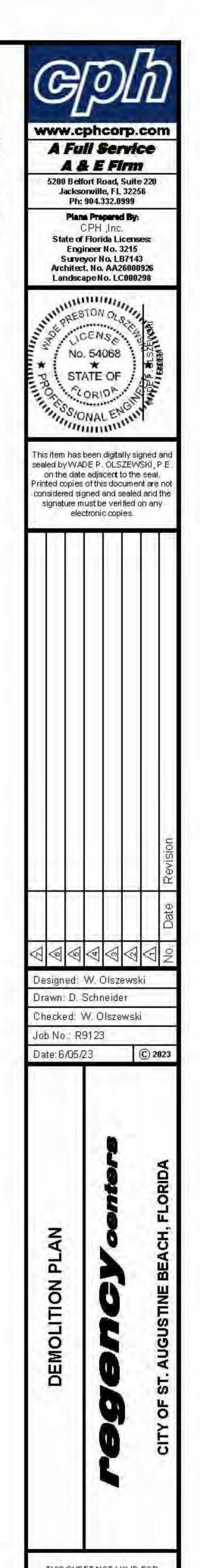
1

LIMITS OF CURBING REMOVAL
 SAW CUT LIMITS

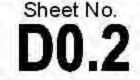
### DEMOLITION NOTES

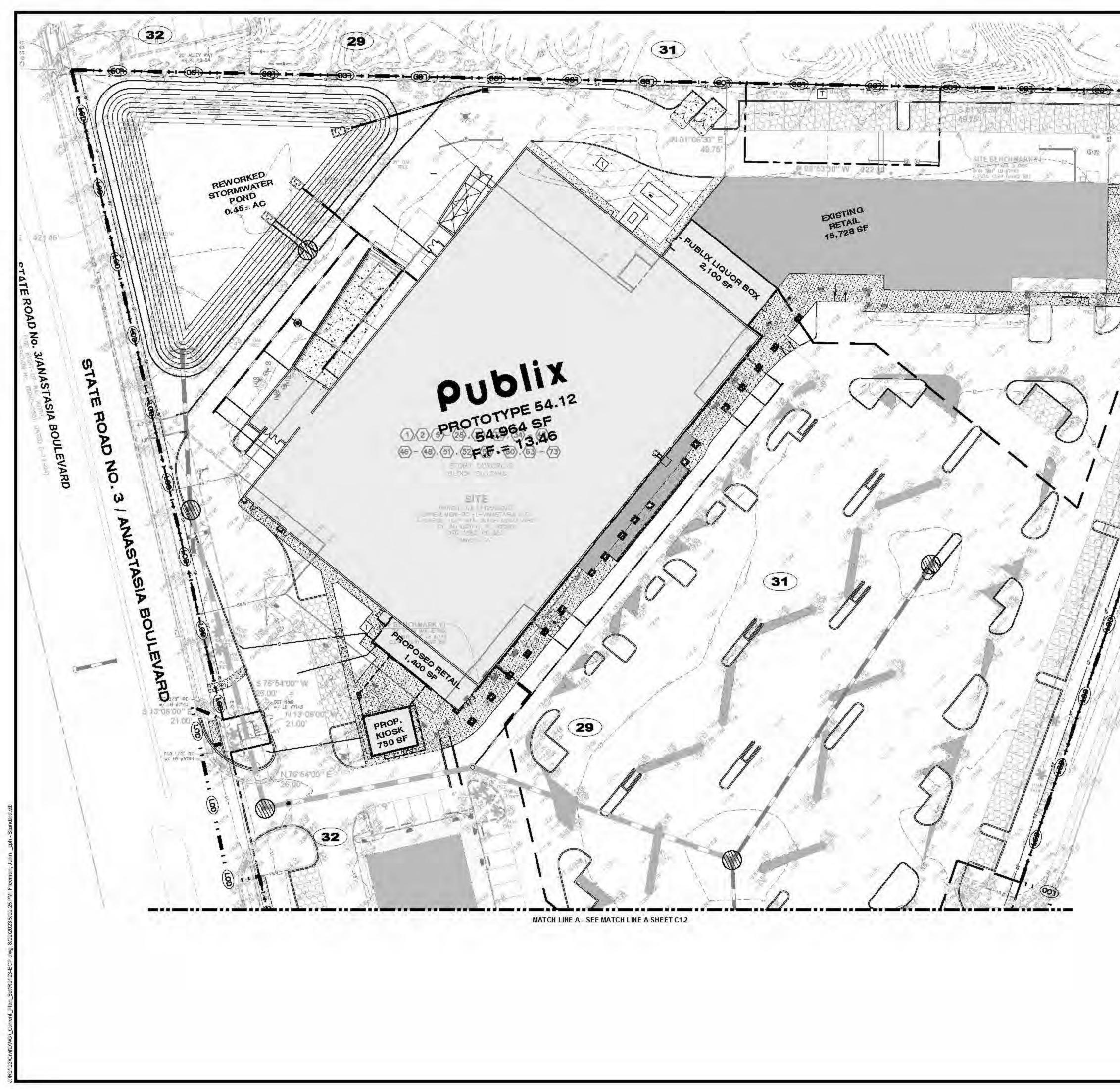
- 1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- 2. CHAPTER 553,851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
   THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMS ELF WITH THE STRUCTURES TO BE DEMOLISHED. A.
- BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
   THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS
- REQUIRED. A. DEMOLITION AND REMOVAL OF EXISTING CONC. BLOCK BUILDING B. DEMOLITION AND REMOVAL OF EXISTING ON SITE AS PHALT, CONCRETE PAYING AND CURBING TO LIMITS SHOWN.
- C. REMOVAL OF EXISTING ONSITE ABOVE GROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL AND/OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
- 6. PRIOR TO REMOVAL OF ANY UNDERGROUND SEWAGE TANK AND COMPONENTS FROM SERVICE, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL AT AN APPROVED LOCATION AND IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS.
- 7. ALL ON SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVEREX CAVATED BY A MINMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE OF CLEAN, FINE SAND AAS HTO CLASS A-3 AND SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
- 8. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
- 9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
   PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN
- AMANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT. 12. AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR WORK.
- 13. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION/EX CAVATION PROCESS.
- REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS, COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
   PAVEMENT REMOVAL:
- A. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF CONSTRUCTION RESULTS IN RAVELING OF THE SAW CUT SURFACE, RECUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
- B. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPE, INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, ETC., SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL, CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
- CONTINUOUS ACCESS SHALL BEMAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- 17. PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
- 18. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR. THIS PROJECT, THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS: ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
- 19. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 20. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING PLANTS IS TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDS CAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED BY THE OWNER.
- 21. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING. ALL OTHER EXIST. UTILITIES INCLUDING : STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, WATER & SEWER SHALL BE PRESERVED & PROTECTED.
- 22. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THIS SHEET BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.

Graphic Scale in Feet

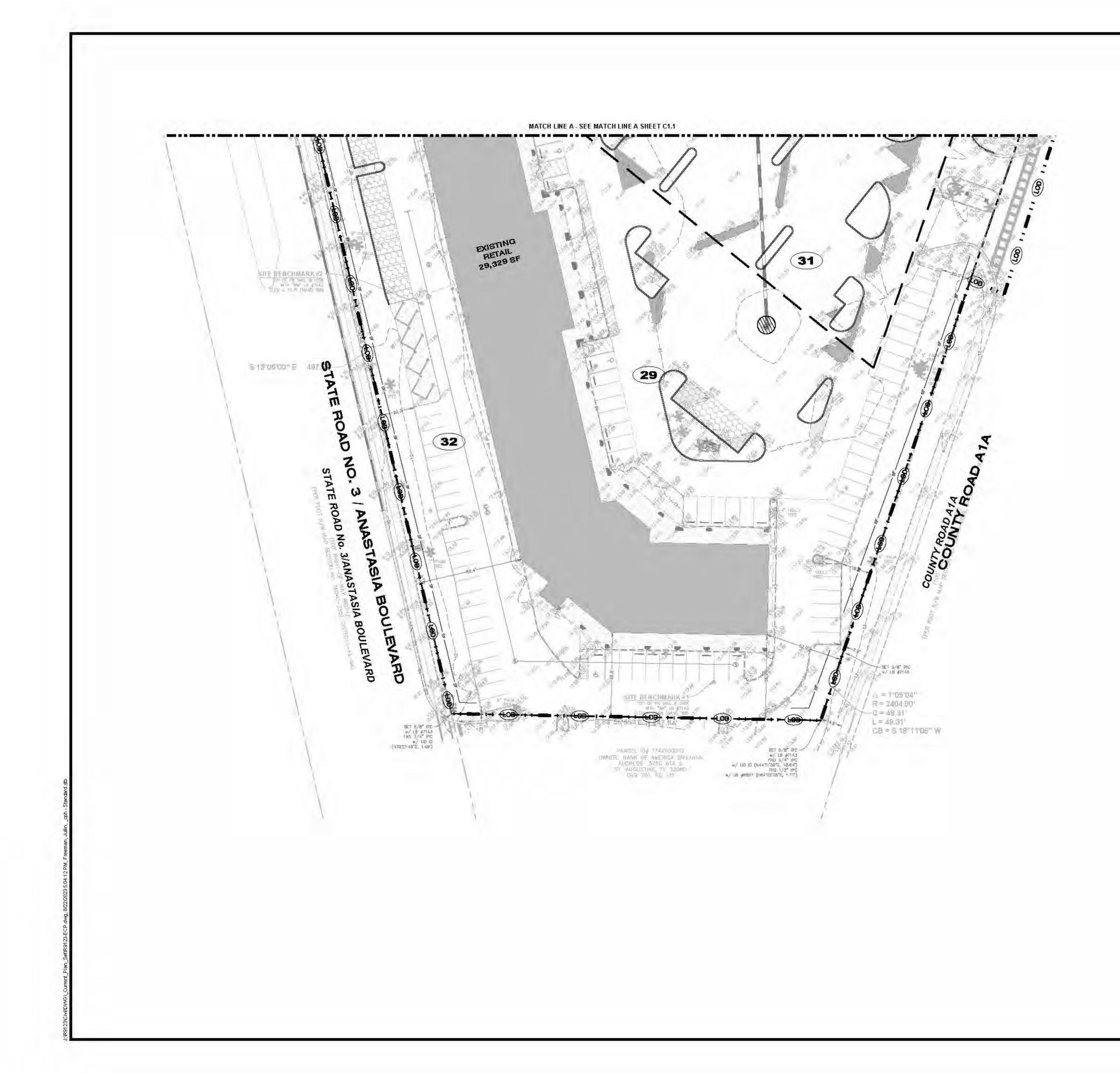


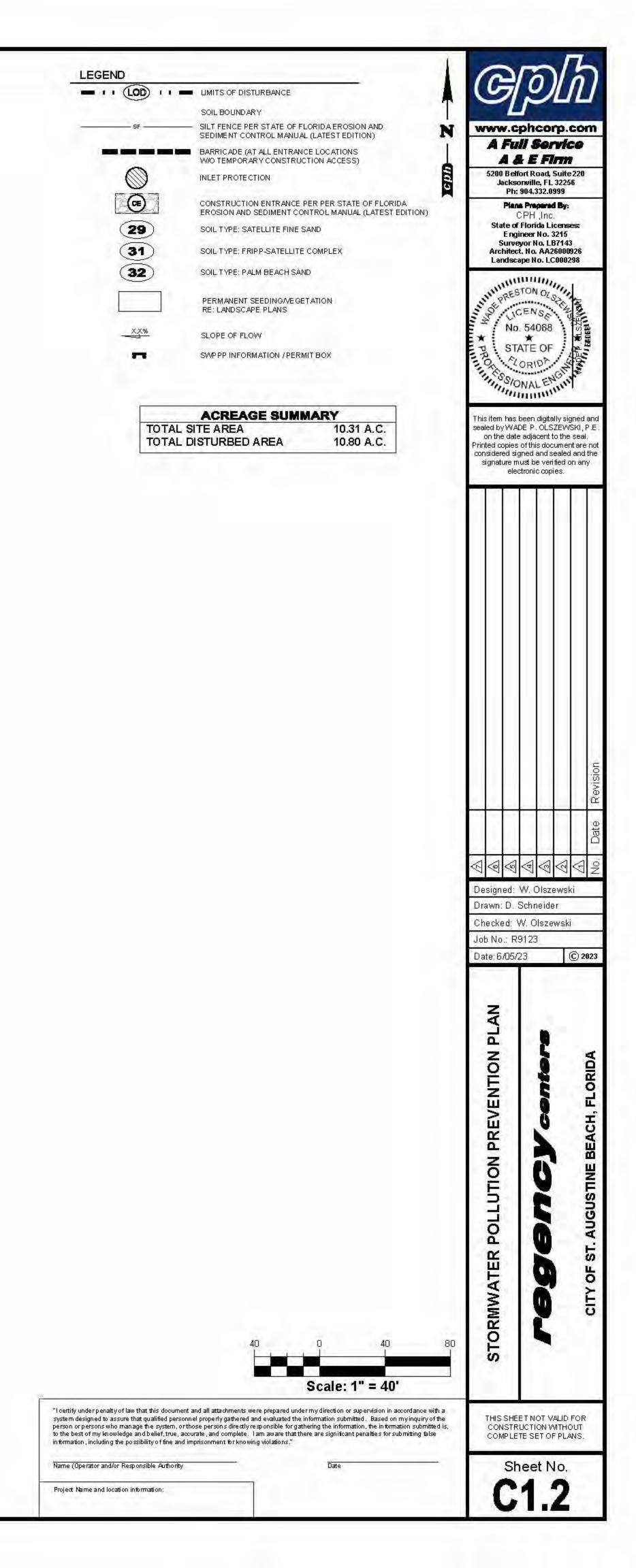
THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.





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STORMWA	TER POLLUTION PREVENTION NOTES
THESE PLANS HAVE BEEN PREPARED TO ASSIST THE CONTRACTOR IN OBTAINING COVERAGE UNDER THE FOED O FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PLANS AS NEEDED TO BE IN COMPLIANCE WITH THE PERMIT REQUIREMENTS. <u>SITE DESCRIPTION</u> A SITE LOCATION THE SITE IS LOCATED AT 2100 SADLER SQUARE, IN THE CITY OF FERNANDINA BEACH, FLORIDA SECTION 29, TOWNSHIP 3 NORTH, RANGE 29 EAST LATITUDE: 30°38'20.02"N LONGITUDE: 81°26'52.65"W	PERMIT REQUIREMENTS AND MODIFY THESE A. STABILIZATION MEASURES SHALL BE INITIAT TEMPORARILY OR PERMANENTLY CEASED A ADEQUATE AMOUNTS OF MULCH OVER SEED BROUNDCOVER, DR BY THE USE OF AN APPRO B. PERMANENT SOIL EROSION CONTROL MEASU COMPLETED IMMEDIATELY AFTER FINAL GR IMMEDIATELY AFTER GRADING OPERATIONS,
B. SITE CONDITIONS & ACTIVITIES NARRATIVE: THE EXISTING CONDITION OF THE SITE IS DEVELOPED. DURING CONSTRUCTION THE SITE WILL BE DISTURBED THIS PROJECT WILL HAVE NO MAJOR EFFECT ON ANY THE ABUTTING PROPERTIES.	BUT REMAIN AT RELATIVELYTHE SAME GRADE. C. ALL GRASS SLOPES CONSTRUCTED STEEPER
WETLANDS/BUFFERS NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT.	DUST CONTROL A. BARE EARTH AREAS SHALL BE WATERED DUR NO CASESHALL FUGITIVE DUST BE ALLOWED
SWP PP INTENT THE INTENT OF THIS SWP PP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE R AND OTHER POLLUTANTS, BY WATER, AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORM V OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON-SITE FOR FUTURE REFERENCE. THE CONTRACTOR S ENSURE THAT THE BMP'S ARE INSTALLED AND THE EXECUTION OF THE WORK IS PERFORMED TO MEET THE INT	ELEASE OF SOILS, TRASH, CHEMICALS, TOXINS WATER QUALITY, THE CONTRACTOR SHALL HALL READ AND UNDERSTAND THE PERMIT, AND

FEDERAL REGULATIONS.

STORMWATER OR GROUNDWATER

SHOWN ON THE SITE MAPS

PROTECTED SPECIES.

OFFSITE VEHICLE TRACKING

OR PROTECTED SPECIES.

NSPECTIONS AND MAINTENANC

FERTILIZERS, HERBICIDES AND PESTICIDES

RAINS ON THE WEEKEND OR A HOLIDAY

PART 3.2 OF THE GENERIC PERMIT ARE-

WATERS USED TO CONTROL DUST

AIR CONDITIONING CONDENSATE.

SPRING WATER

FIRE HYDRANT FLUSHINGS.

SIMILAR DEVICE.

ENSURE THAT THE BMP'S ARE INST THE POTENTIAL SOURCES OF FOLLUTION THAT MAY REAS ONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIMITY INCLUDE: SEDIMENT, RESTICIDES, FERTILIZER, PLASTER, CLEANING SOLVENTS, ASPHALT, CONCRETE, GLUE, ADHESIVES, PAINTS, CURING COMPOUNDS, WOOD PRESERVATIVES, HYDRAULIC OIL FLUIDS, 6 ASOLINE, DIESEL FUEL AND KEROSENE. SEQUENCE OF CONSTRUCTION

THE SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR SHALL SEQUENCE THE CONSTRUCTION AS NEEDED BASED ON BEST MEANS AND METHODS IN ORDER TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS. THE INSTALLATION OR REMOVAL OF BMPS, EARTH DISTURBANCE, GRADING, TEMPORARY STABILIZATION AND PERMANENT STABILIZATION SHALL BE IMMEDIATELY NOTED IN THE SWPPP IMPLEMENTATION LOG. ALL TEMPORARY BMPS SHALL BE REPAIRED AND MAINTAINED UNTIL STABILIZATION HAS OCCURRED AND THERE IS NO RISK OF DISCHARGE I EMPORABILY SEED, IMMEDIATELY AND THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.

POST A COPY OF THE NOLOR LETTER FROM FOEP CONFIRMING COVERAGE UNDER THE GENERIC PERMIT, AND THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS INSTALL PERMETER CONTROLS IMMEDIATELY DOWINSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXIT INSTALL STABILIZED CONSTRUCTION EXIT. INSTALL PERMITER CONTROLS. THE CONTRACTOR SHALL INSTALL THE REMAINING BMPS AS SHOWN AND AS REQUIRED TO MEET PERMIT REQUIREMENTS. SOME BMP INSTALLATIONS MAY NOT BE POSSIBLE AT THE BEGINNING OF THE PROJECT BUT MUST BE INSTALLED AS SOON AS POSSIBLE TO ENSURE

COMPLIANCE. INSTALL TEMPORARY STAGING AND STORAGE AREAS. CONSTRUCT AND STABILIZE THE SEDIMENT BASING AND SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES, IF REQUIRED

CONSTRUCT AND STABILIZE HYDRAULIC CONTROLS (DITCHES, SWALES, DIKES, CHECK DAMS, ETC.), IF REQUIRED. BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE. BEGIN CONSTRUCTION OF SITE IMPROVEMENTS

PAVE SITE AND STABILIZE PER PLAN. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS ACHIEVED FINAL STABILIZATION. SUBMIT NOTICE OF TERMINATION (NOT) ONCE ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED PER PLAN.

A IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 82-821 300(4XB) OR LATEST VERSION) TO FDEP TO THE FOLLOWING ADDRESS OR THROUGH THE FDEP ON-LINE SYSTEM AT LEAST TWO (2) DAYS BEFORE COMMENCEMENT OF CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS #2510 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2000 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-2400 THE CONTRACTOR SHALLS UBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL

DISTURBED SO ILS AT THE SITE HAVE BEEN FINAL STABILIZED), TEMPORARY BMPS HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELMINATED. AN ENVIRONMENTAL RESOURCE PERMIT IS REQUIRED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE THE PERMIT INFORMATION ON THE NOI APPLICATION.

MS4 OP ERATOR NAME (IF ANY); XXXXX THE CONTRACTOR SHALL PROMDE A COPY OF THE NOLAND SUBSEQUENT NOT OR THE ACKNOWLEDGEMENT LETTERS FOR THE NOLOR NOT TO THE MS4 WITHIN 7 DAYS OF RECEIPT. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE MS4 TO ENSURE THAT ALL SPECIFIC REQUIREMENTS ARE MET.

9. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES, SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATER'S LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY, WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

IN GENERAL EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION. I. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION III. PERMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED

D, CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER, GENERAL ROSION CONTROL BMP'S SHALL BE BMPLOYED TO MINIMIZE SOILEROSION AND OFF-SITE SEDIMENTATION. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BESITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY.

E. THE CONTRACTOR SHALL FURNISH, INSTALL PER THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY TEMPORARY BMPS. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT BMPS. F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMP'S AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC NPDES PERMIT AND THE SWPPP FOR

ID ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER PRIOR TO ADJUSTING, ADDING OR MODIFYING BMPS THAT AFFEC THE HYDRAULICS OF THE SITE OR BEFORE ADDING BMPS NOT DETAILED IN THE SIMP PP. G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN

THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF

SILTING ANY ADJACENT LOW/LAND PARCEL OR RECEIVING WATER. H. EROSION AND SEDMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THEMINMUM ACCEPTABLE STANDARDS FOR THIS PROJECT, ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UP ON THE STAGE OF CONSTRUCTION. THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DEEMED NECESSARY AS A RESULT OF ON SITE INSPECTIONS BY THE DWINER, THEIR REPRESENTATIVES, OR THE APPLICABLE JURISDICTIO NAL AUTHORITIES. THESE ADDITIO NAL MEASURES (IF NEEDED) SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY UGGESTED BEST MANAGEMENT PRACTICES (BMPS). THE CONTRACTOR SHALL PROVIDE FOLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEXES #100 THROUGH #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION. IT IS THE CONTRACTOR'S ULT MATE RESPONSIBILITY

JURISDICTIONAL AUTHORITIES. THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN. WHENEVER ANY OF THE FOLLOWING EVENTS OCCUR, THE CONTRACTOR SHALL UPDATE THE SWPPP WITHIN 7 DAYS: THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCETHAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE PROM THE PROJECT I THERE IS A NEW DISCHARGE POINT OUR OUTFALL.

TO ASSURE THAT THE STORMWATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE APPLICABLE

III THERE IS A CHANGE IN THE LOCATION OF A DISCHARGE POINT OF OUTFALL. IV. AN INSPECTION REVEALS THAT BMPS ARE INEFFECTIVE AT ELMINATING OR MINIMIZING POLLUTANTS IN THE STORMWATER DISCHARGED FROM THE SITE. V. THERE IS A NEW SUBCONTRACTOR MPLEMENTING ANY PORTION OF THE SWPPP VI. A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR GREATER THAN A REPORTABLE QUANTITY OCCURS DURING A 24-HOUR

THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR MPLEMENTING SWPPP CONTROL MEASURES FILL GUT THE CONTRACTOR / SUBCONTRACTOR CERTIFICATION TABLE INCLUDED IN THIS SWIPP P

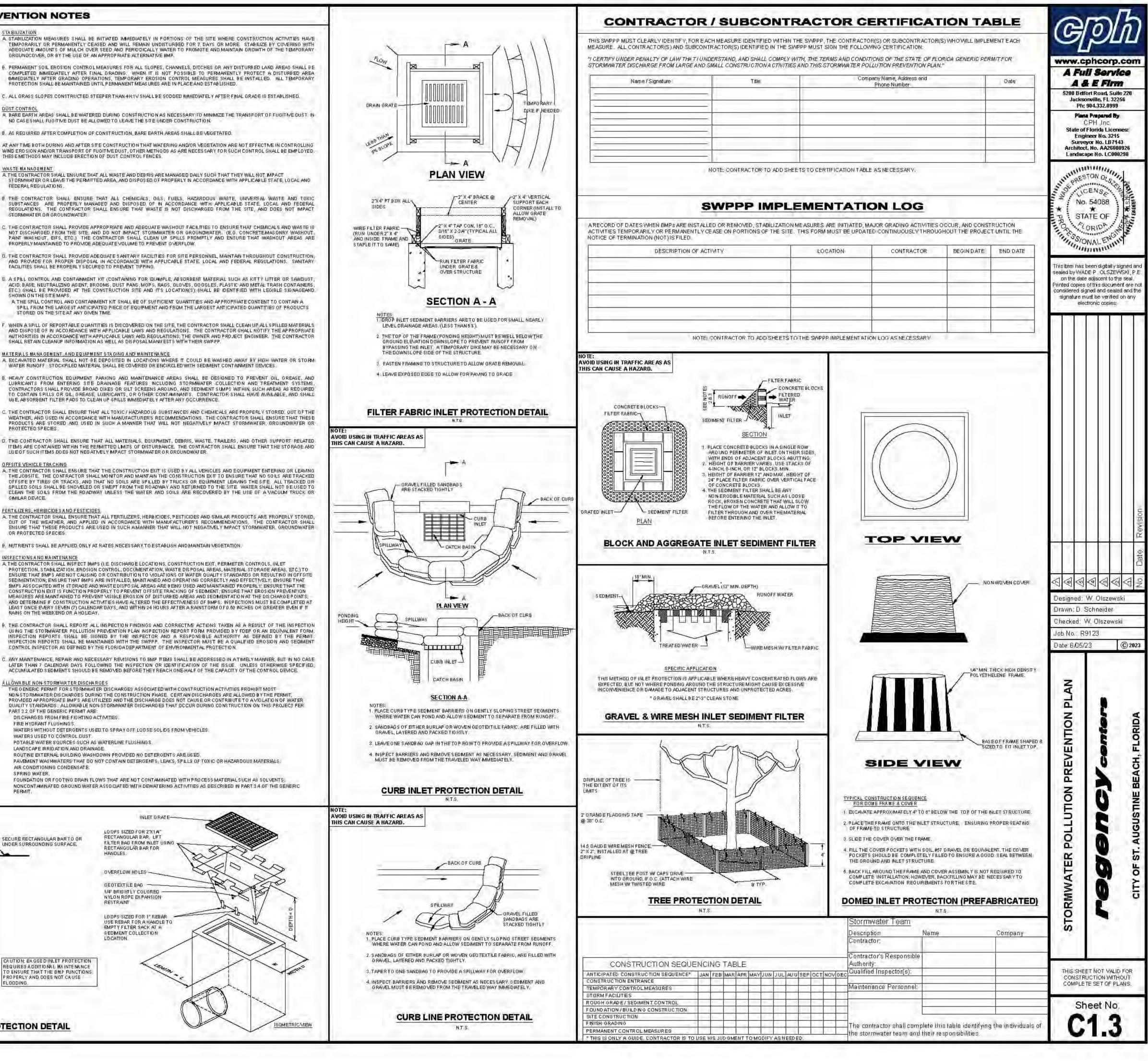
K. THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE INCLUDING IN THIS SWPPP PRIOR TO PROCEEDING WITH THE INSTALLATION OF BMP'S AND PRIOR TO GROUND DISTURBING ACTIVITIES. THE CONTRACTOR SHALL COMPLETE THE TABLE WITH ANTICIPATED DATES IN WHICH THE BMP WILL BE UTILIZED OR THE ACTIVITY WILL OCCUR.

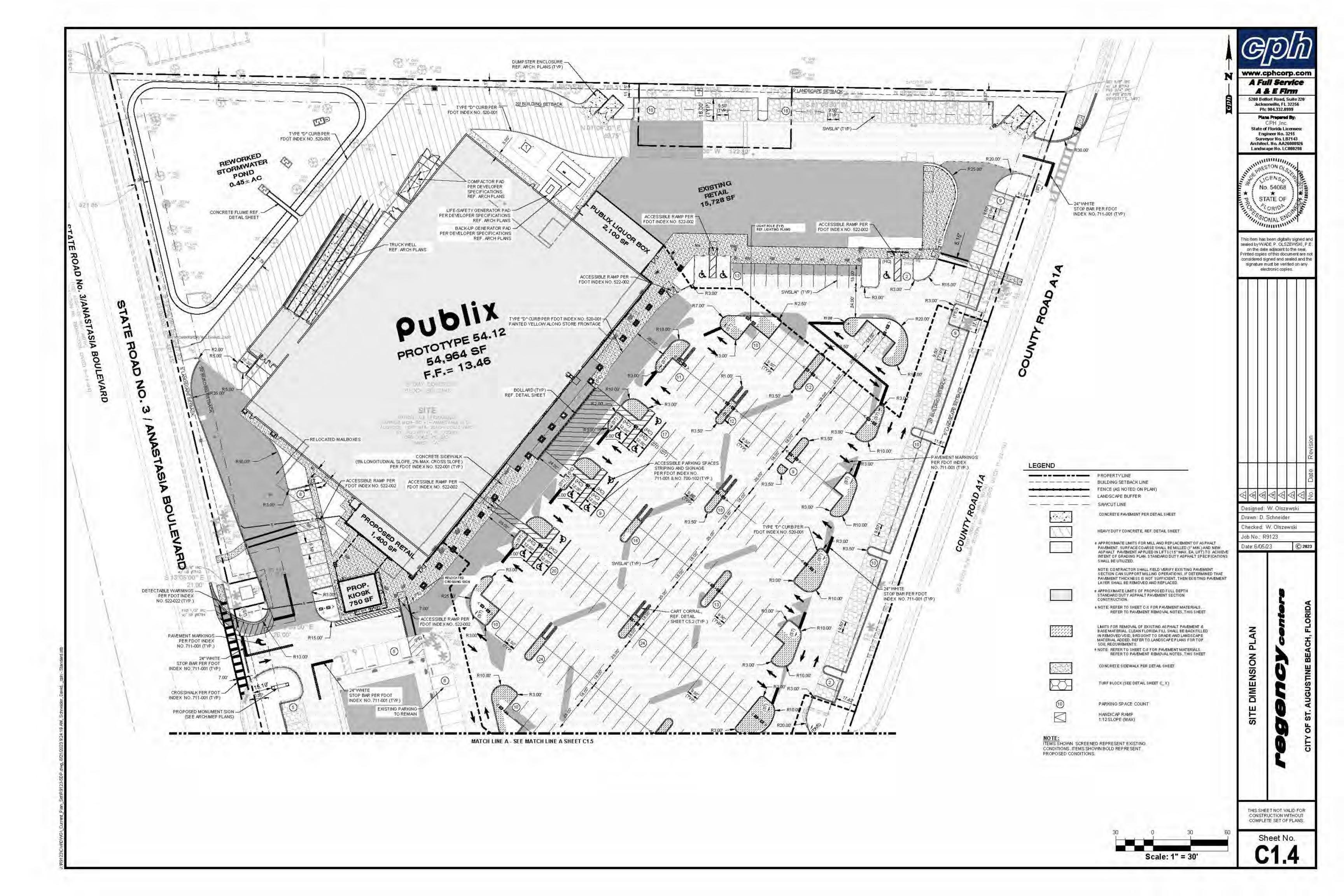
TURBIDITY

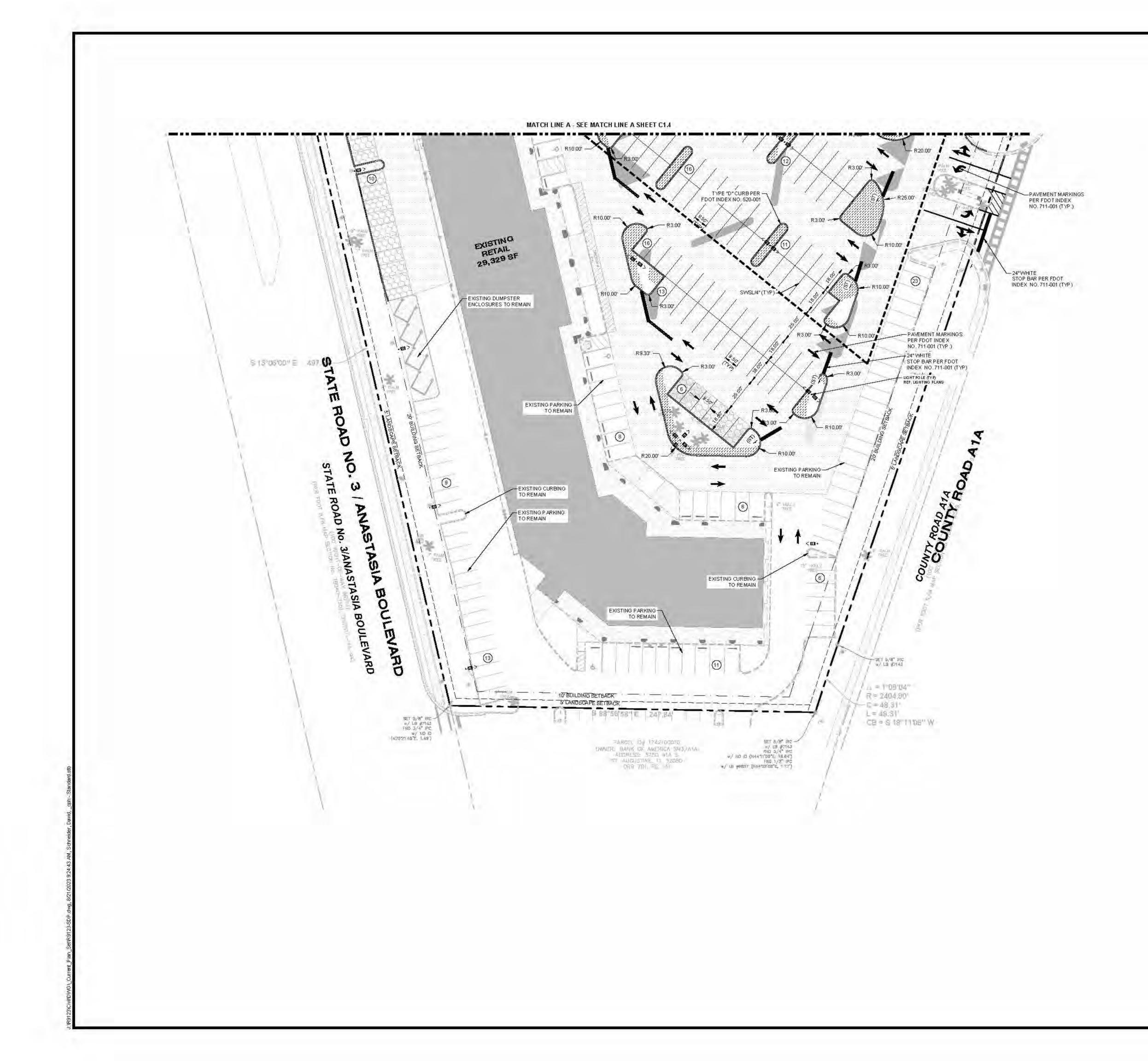
A TURBIDITY REDUCTION TO NO MORE THAN 29 NTUS ABOVE BACKGROUND LEVEL PRIOR TO DISCHARGE OFF SITE.

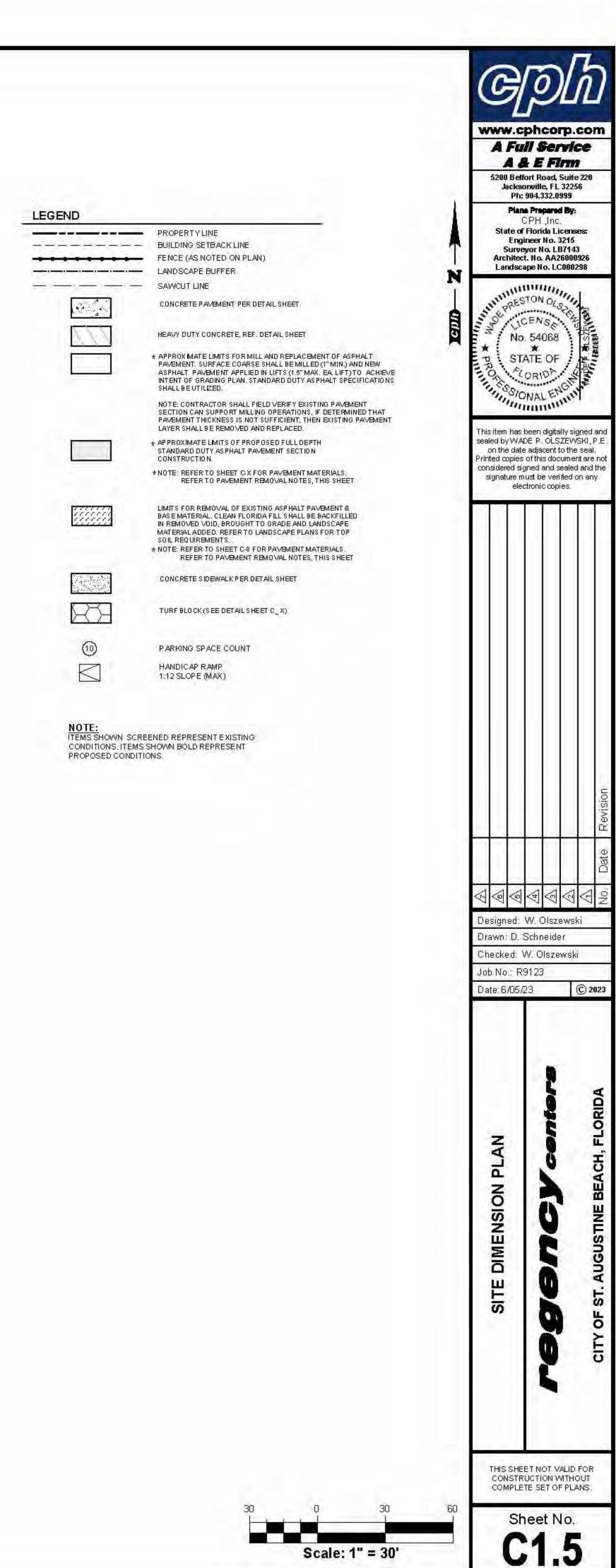
8. CONTRACTOR TO FILEFOR A FDEP NOTICE OF INTENT (NOD WITHIN 14 DAYS OF

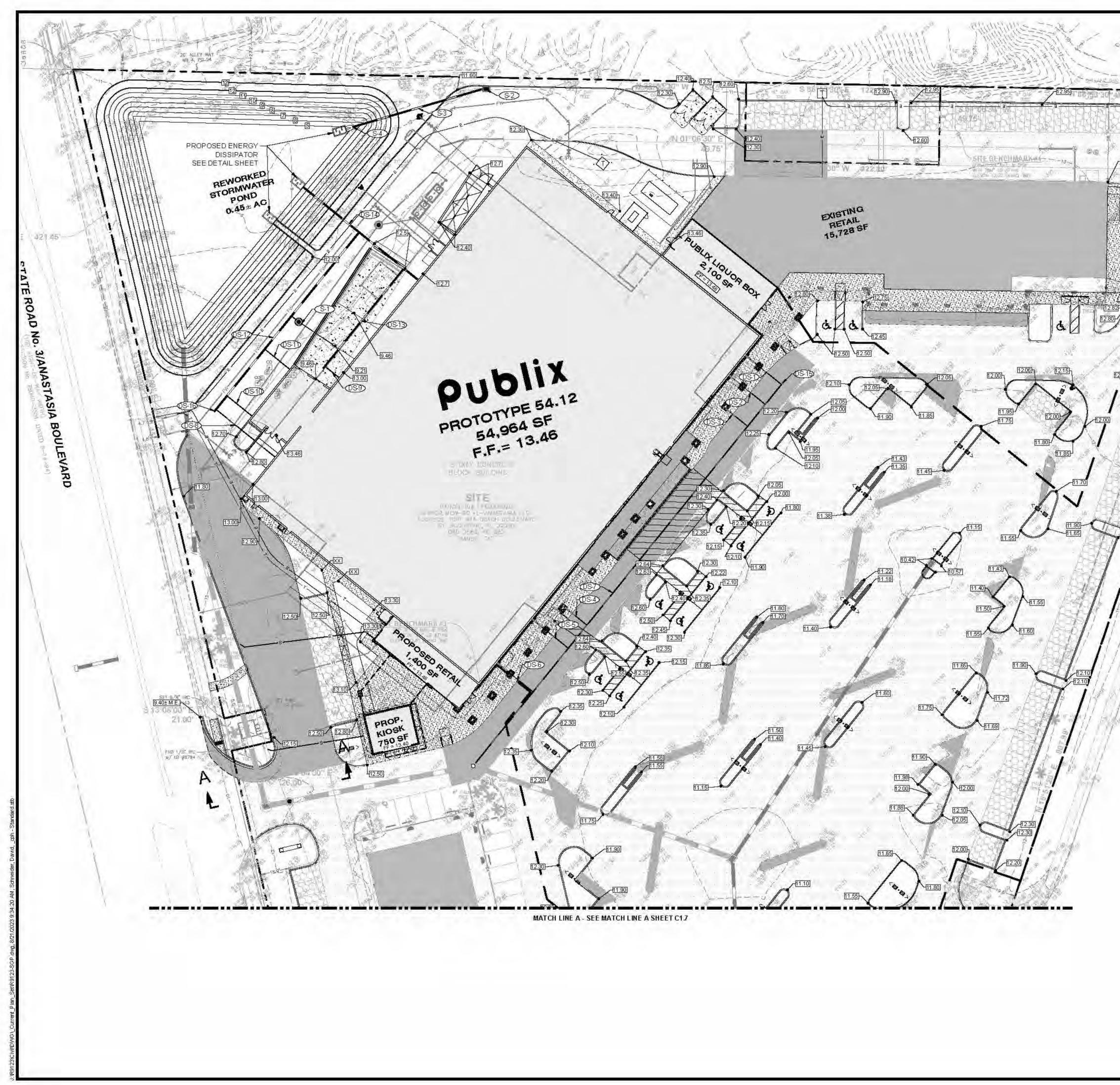
CONSTRUCTION C	A REAL AND ALL PROPERTY AND A REAL PROPERTY AN		an within the parts of				NONCONTAMINATED GROUND WATE PERMIT.
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NTO MODERATE FLOW GED PROPERTIES	TEXTILE FABRIC SPECT TEST METHOD	UNITS					
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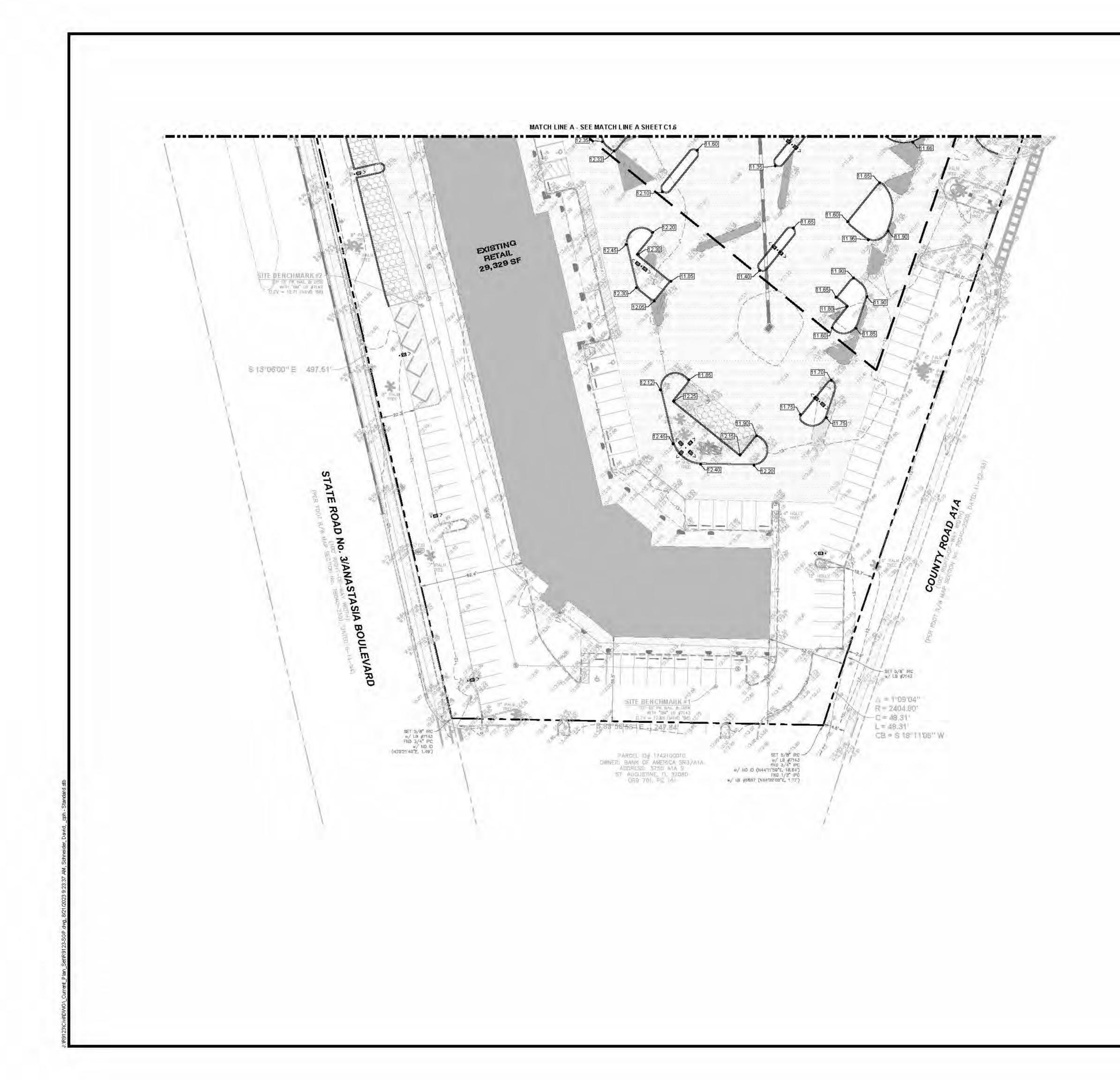


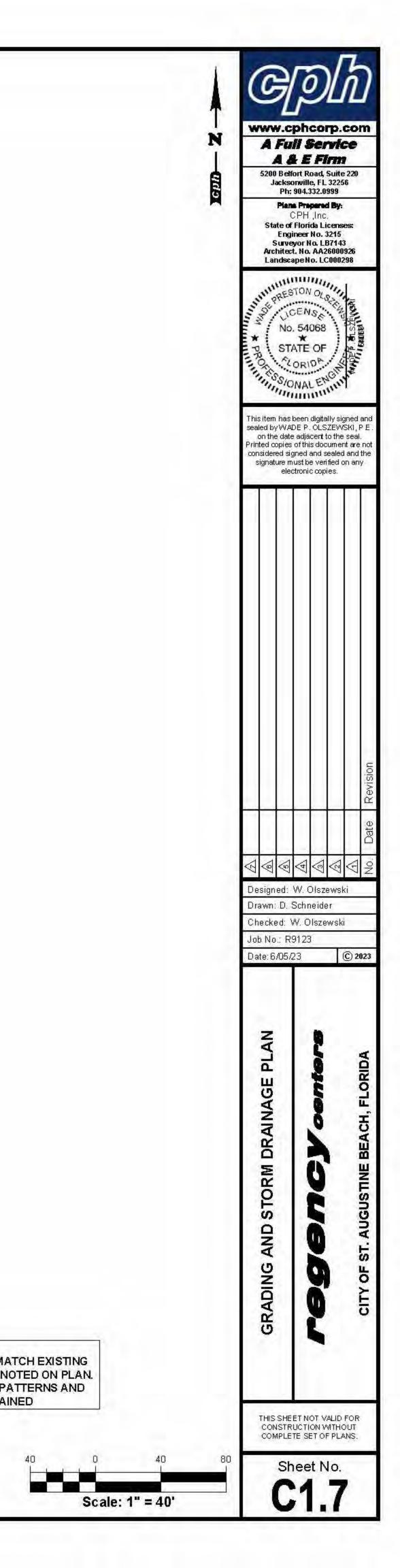




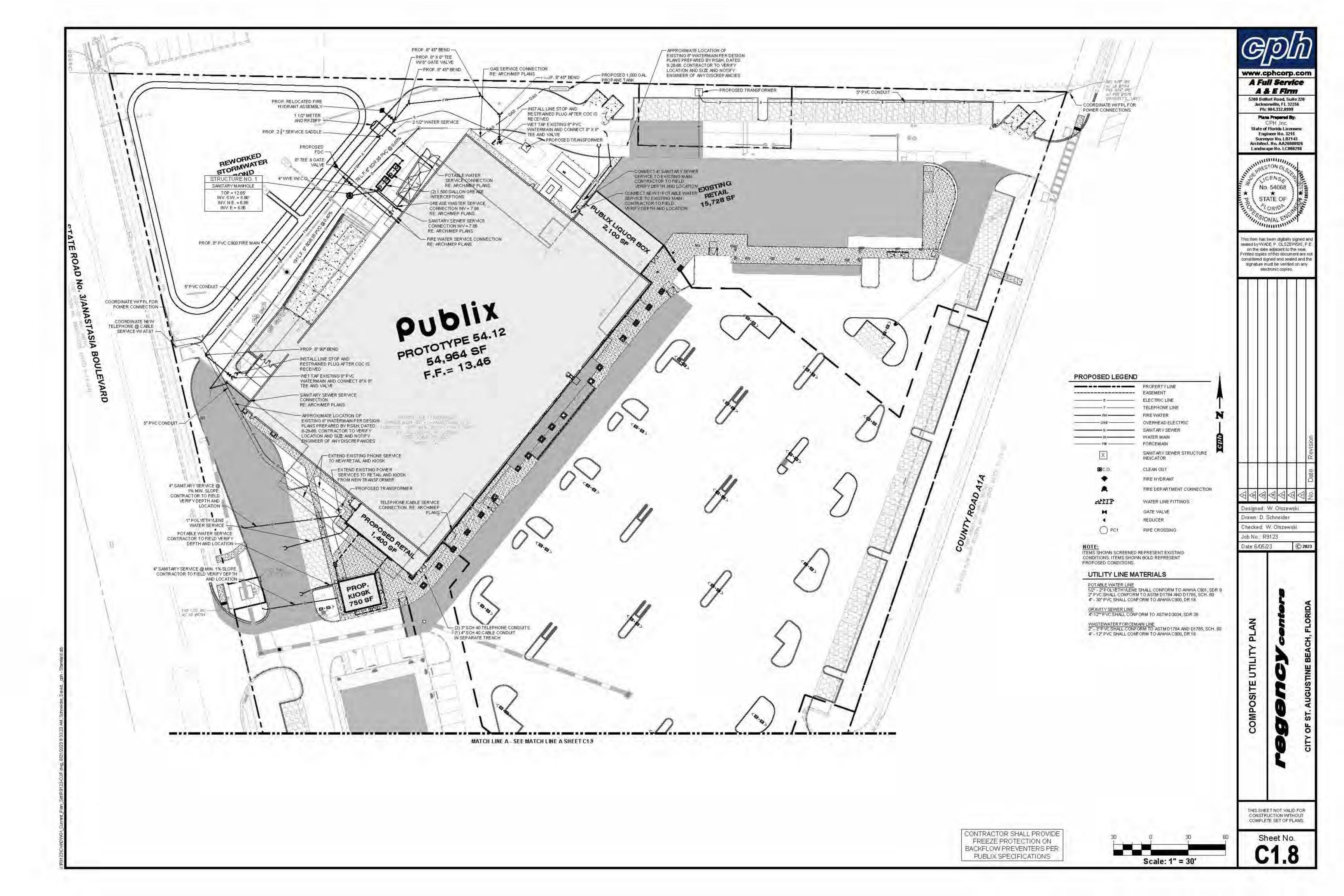


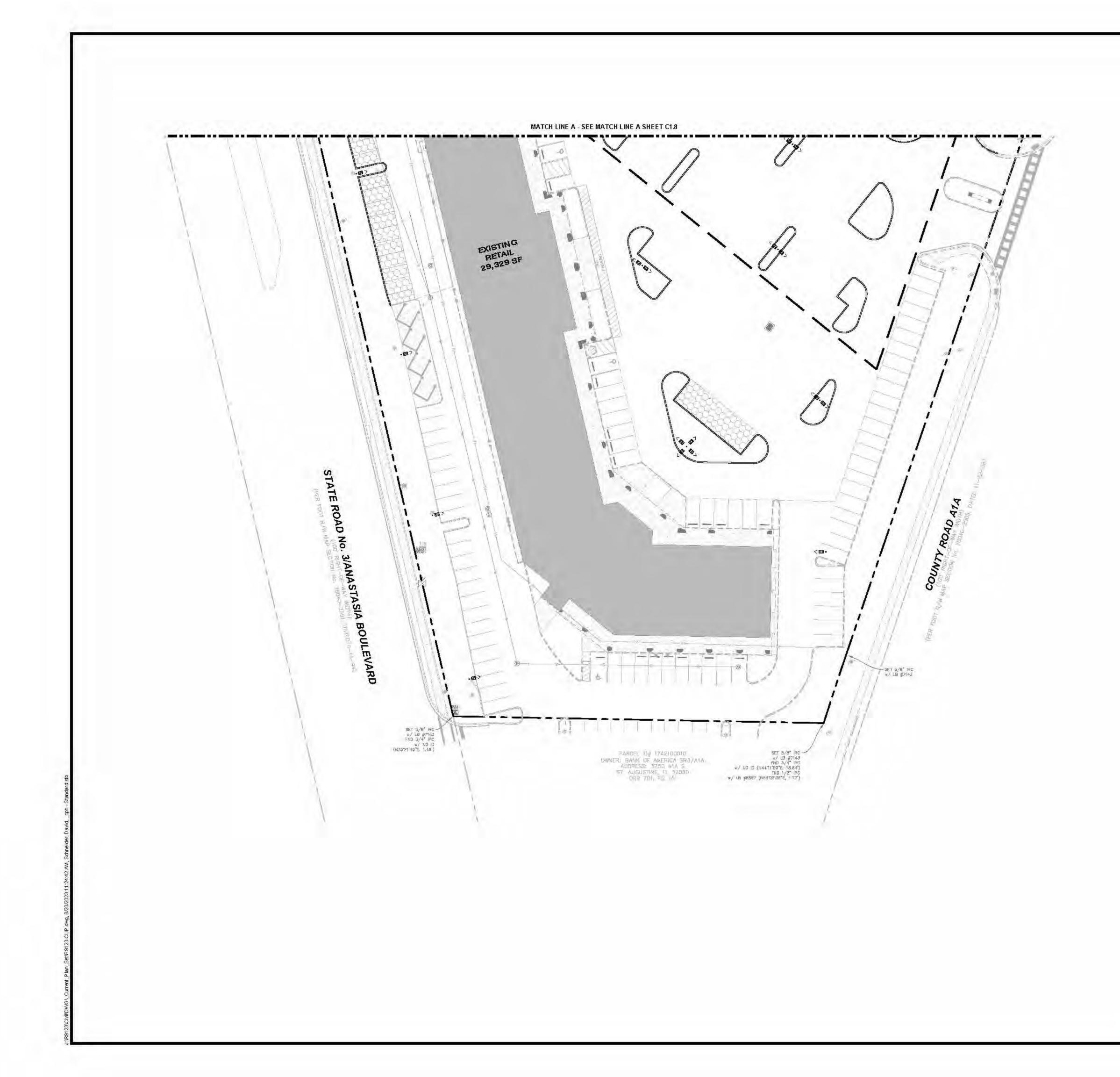
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REQUIREMENTS TYPE 'J' BOTTON PROVIDE APPRO REQUIREMENTS 3. CONTRACTOR S AREAS ARE CON BUILDING CONS BUILDING CONS ANY INFORMATI COMPLIANCE TH WORK BEING CO STRUCTURE NUMBER DS-4 DS-2 DS-3 FC DS-5 DS-6 DS-6 DS-6 DS-7 31 DS-8 42 DS-9 ST DS-10 DS-9 ST DS-10 DS-	, UNLESS PIPE SIZES AND LOCATION REQUIRE A 1. CONTRACTOR SHALL REVIEW DESIGN AND PRIATELY SIZED BOTTOMS PER FDOT HALL BE RESPONSIBLE TO ENSURE THAT ADA ISTRUCTED IN STRICT ACCORDANCE WITH THE OF THE FLORIDA ACCESSIBILITY CODE FOR TRUCTION. IF THE CONTRACTOR DETERMINES TH. ON SHOWN ON THIS PLAN MAY NOT BE IN IE Y SHALL NOTIFY THE ENGINEER PRIOR TO THE MPLETED. ED DOVVNSPOUT SCHEDULE TYPE LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	Designed Drawn: D. Checked: S Job No.: F Date: 6/05 S	₩. Olszewski W. Olszewski W. Olszewski R9123
3. CONTRACTOR S AREAS ARE CON BUILDING CONS ANY INFORMATI COMPLIANCE TI WORK BEING CO STRUCTURE NUMBER DS-1 16 DS-2 F6 DS-2 F6 DS-3 16 DS-3 16 DS-4 76 DS-4 76 DS-5 F6 DS-6 F6 DS-6 76 DS-7 31 DS-8 42 DS-9 5' DS-10 15 DS-10 15 DS-11 15	HALL BE RESPONSIBLE TO ENSURE THAT ADA ISTRUCTED IN STRICT ACCORDANCE WITH THE OF THE FLORIDA ACCESSIBILITY CODE FOR TRUCTION. IF THE CONTRACTOR DETERMINES TH. ON SHOWN ON THIS PLAN MAY NOT BE IN HE Y SHALL NOTIFY THE ENGINEER PRIOR TO THE OMPLETED.	Designed Drawn: D. Checked: S Job No.: F Date: 6/05 S	₩. Olszewski W. Olszewski W. Olszewski R9123
LATEST EDITION BUILDING CONS ANY INFORMATI COMPLIANCE TI WORK BEING CO STRUCTURE NUMBER DS-1 16 DS-2 16 DS-2 16 DS-3 16 DS-3 16 DS-4 16 DS-4 16 DS-5 16 DS-5 16 DS-6 16 DS-6 16 DS-6 16 DS-7 31 DS-8 42 DS-9 5 DS-10 15 DS-10 15	OF THE FLORIDA ACCESSIBILITY CODE FOR TRUCTION. IF THE CONTRACTOR DETERMINES TH. ON SHOWN ON THIS PLAN MAY NOT BE IN HE Y SHALL NOTIFY THE ENGINEER PRIOR TO THE OMPLETED.	Designed Drawn: D. Checked: S Job No.: F Date: 6/05 S	VV. Olszewski Schneider W. Olszewski R9123
PROPOS           STRUCTURE           NUMBER           DS-4           DS-2           DS-3           DS-4           DS-5           DS-6           DS-7           DS-8           DS-9           DS-10           DS-11	ED DOWNSPOUT SCHEDULE TYPE LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) LF. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	Designed: Drawn: D. Checked: S Job No.: F S Date: 6/05 S	VV. Olszewski Schneider VV. Olszewski R9123
STRUCTURE NUMBER         16           DS-1         16           DS-2         16           DS-3         16           DS-4         16           DS-5         16           DS-6         16           DS-7         31           DS-8         42           DS-9         5'           DS-10         15           DS-11         15	TYPE L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	Drawn: D. Checked: S Job No.: F S Date: 6/05 S	Schneider W. Olszewski R9123
NUMBER           DS-1         16           DS-2         16           DS-3         16           DS-3         16           DS-4         16           DS-5         16           DS-5         16           DS-6         16           DS-7         31           DS-8         42           DS-9         5'           DS-10         15           DS-11         15	L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHIMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	Checked: Job No.: F Date: 6/05	W. Olszewski R9123
DS-1         FC           DS-2         16           DS-3         16           DS-3         16           DS-4         16           DS-5         16           DS-6         16           DS-7         31           DS-8         42           DS-9         5'           DS-10         15           DS-11         15	R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	5 Date: 6/05	
DS-3       16         DS-4       16         DS-5       16         DS-6       16         DS-7       31         DS-8       42         DS-9       5'         DS-10       15         DS-11       15	L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5)	s	1
DS-4         FC           DS-5         16           DS-6         16           DS-7         31           DS-8         42           DS-9         5'           DS-10         15           DS-11         15	R BUILDING CONNECTION (TYP. OF 5)	1	110
DS-6 FC DS-7 31 DS-8 42 DS-9 5' DS-10 15 DS-11 15	R BUILDING CONNECTION (TYP. OF 5)		12
DS-8 42 DS-9 5' DS-10 15 DS-11 15	L.F. 4" STORM @ 1.00% MIN. SEE ARCHMEP PLANS R BUILDING CONNECTION (TYP. OF 5) D'L.F. 12" STORM @ 1.00%	PLAN	2
DS-10 15 DS-11 15	L.F. 10" STORM PIPE @ 1.00%		FLORIDA
DS-11 15	L.F. 10" STORM PIPE @ 1.00% L.F. 4" STORM PIPE @ 1.00%	DRAINAGE	
	L.F. 4" STORM @ 1.08%	AN	BEACH,
	2' L.F. 12" STORM PIPE @1.00% L.F. 10" STORM PIPE @1.00%	DR.	BEA
	L.F. 12" STORM PIPE @ 1.00%	RM	UE
	WYC WI C.O.	STORM	
05-16 6"	₩YC ₩/ C.O.	AND	TAU
STOR	M STRUCTURE SCHEDULE		F ST.
NUMBER		NIC	CITY OF
	UCK WELL SUMP PUMP. SEE DETAIL SHEET C PE 'C' INLET, TOP EL = 11.5, WINV = 1	GRADING	υ.
	STORM PIP @ 0.5%		
S-4 18	M.E.S. INV = 5.0	1	
		-	
		CONST	EET NOT VALID FOR RUCTION WITHOUT ETE SET OF PLANS.

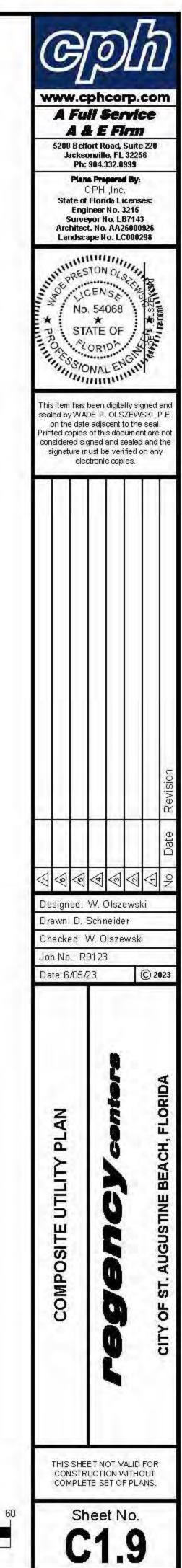




NOTE: ALL GRADES TO BE MATCH EXISTING UNLESS OTHERWISE NOTED ON PLAN. EXISTING DRAINAGE PATTERNS AND BASINS TO BE MAINTAINED

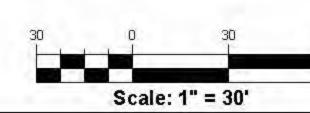


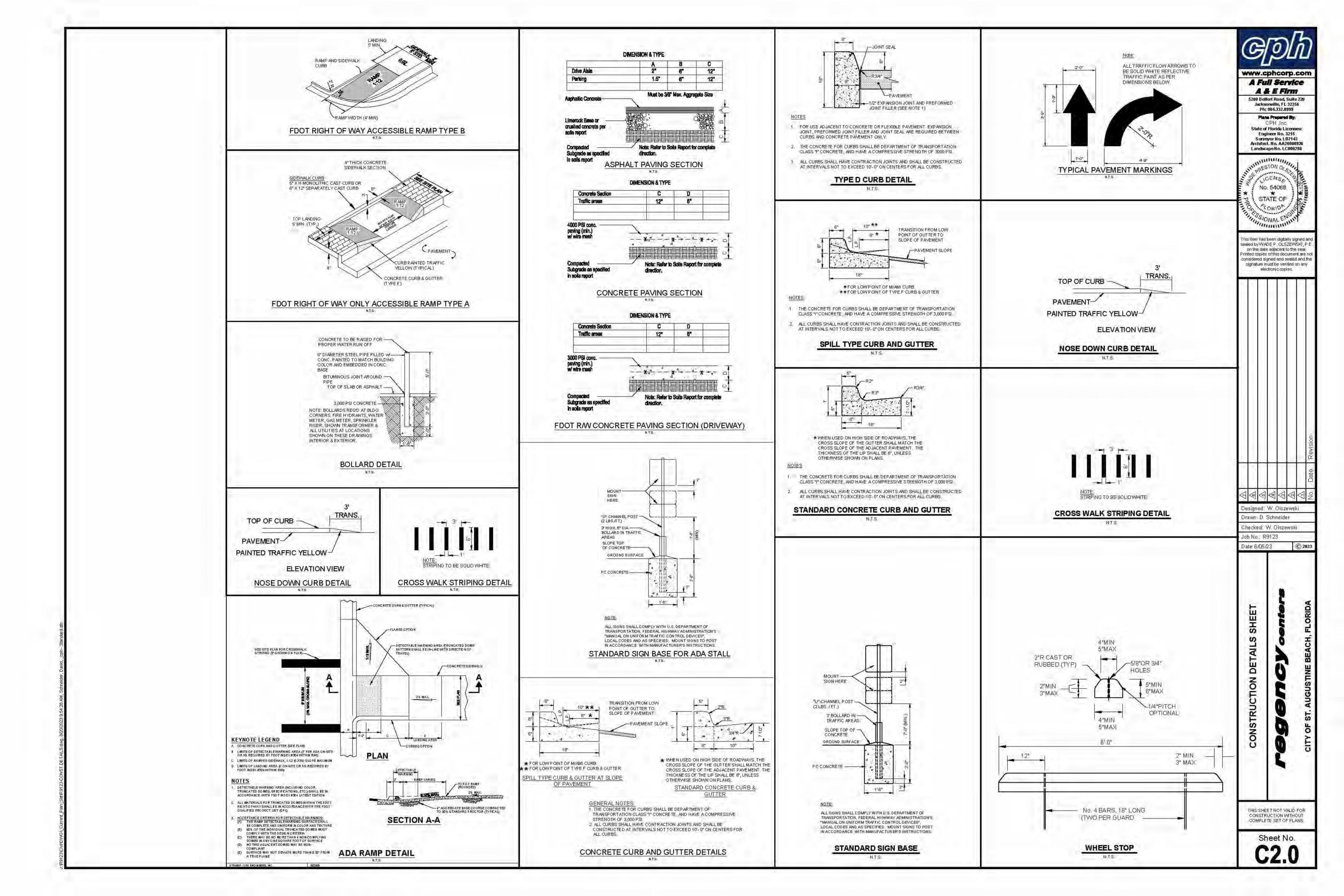


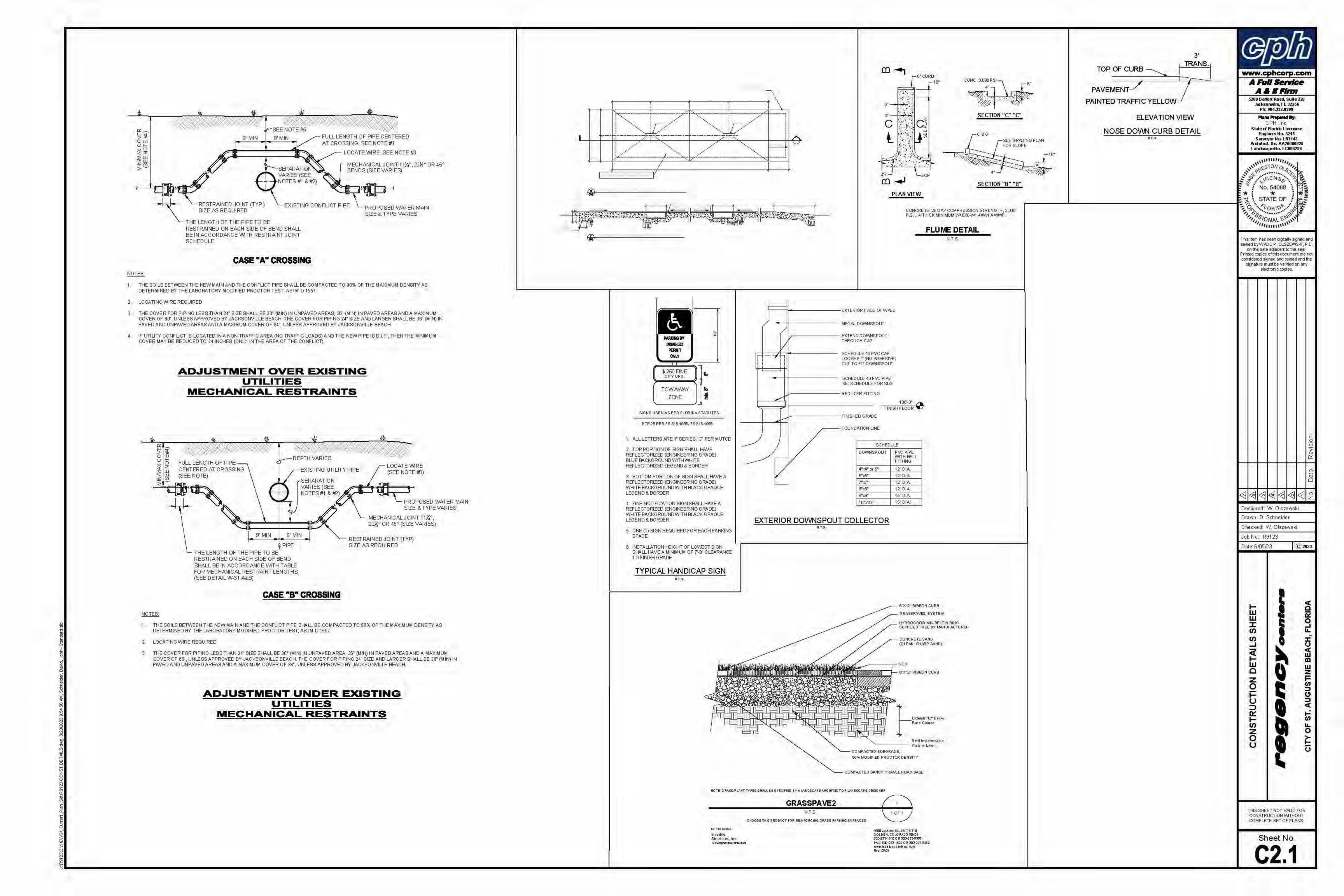


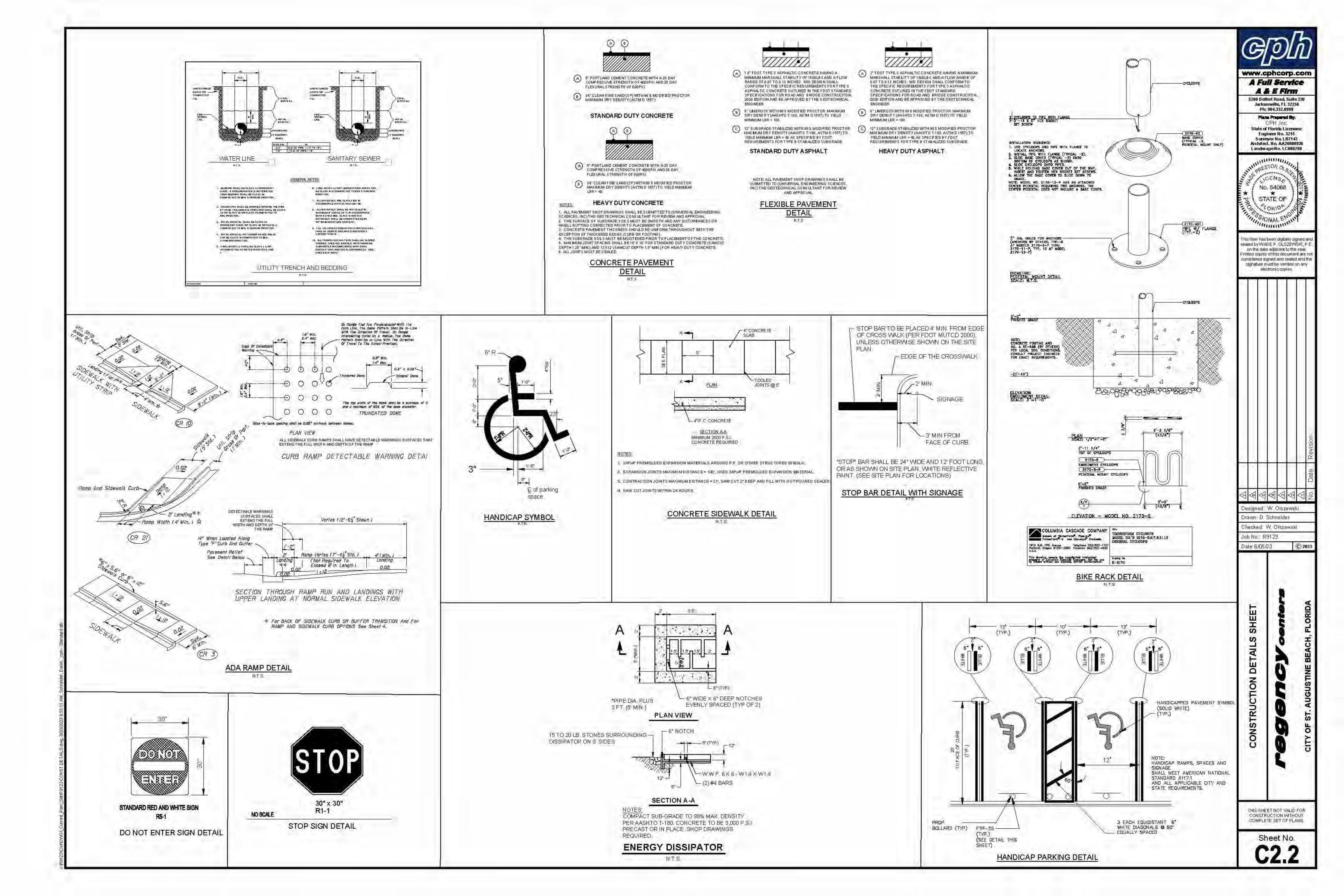
NOTE: ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

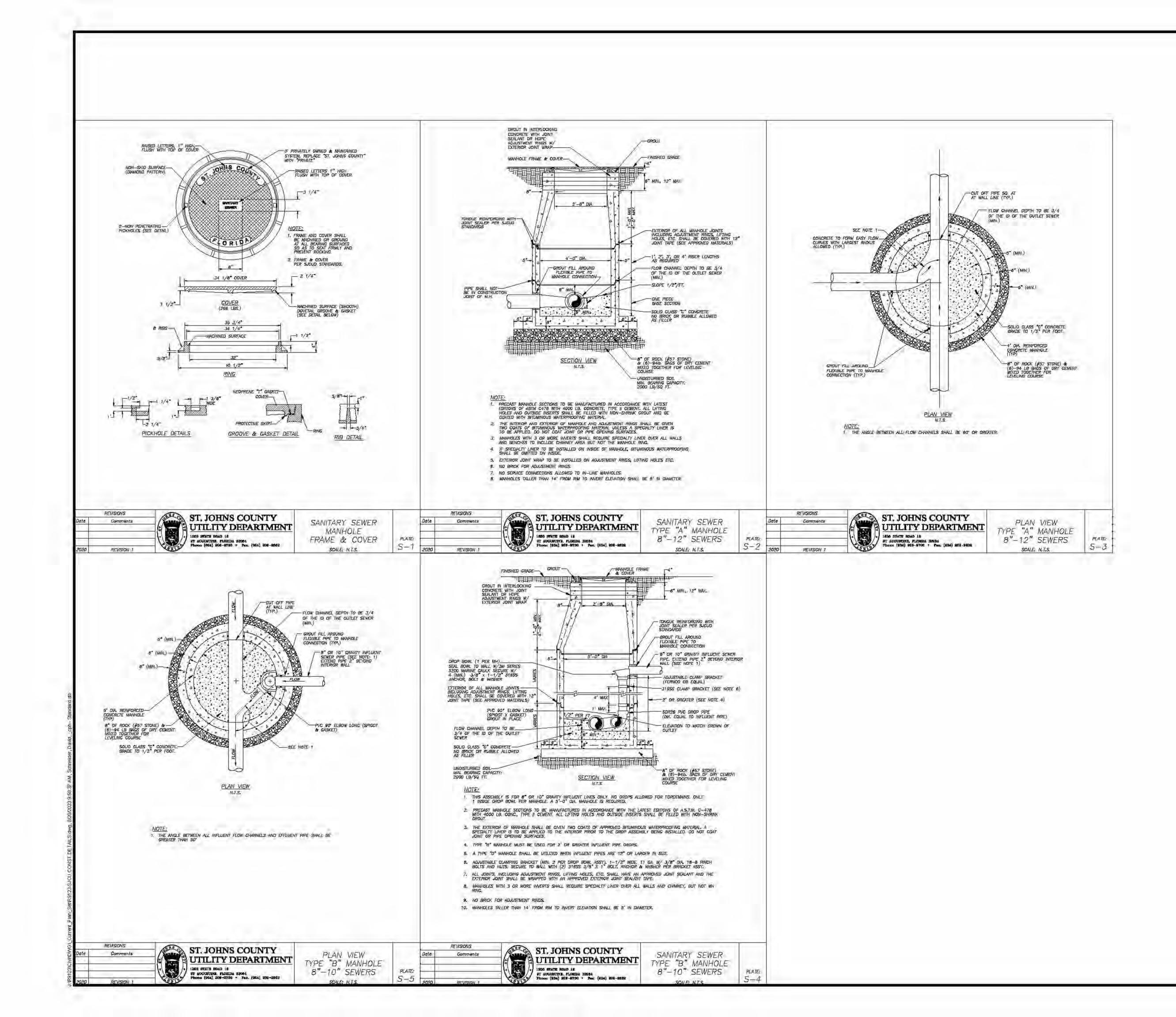
CONTRACTOR SHALL PROVIDE FREEZE PROTECTION ON BACKFLOW PREVENTERS PER PUBLIX SPECIFICATIONS

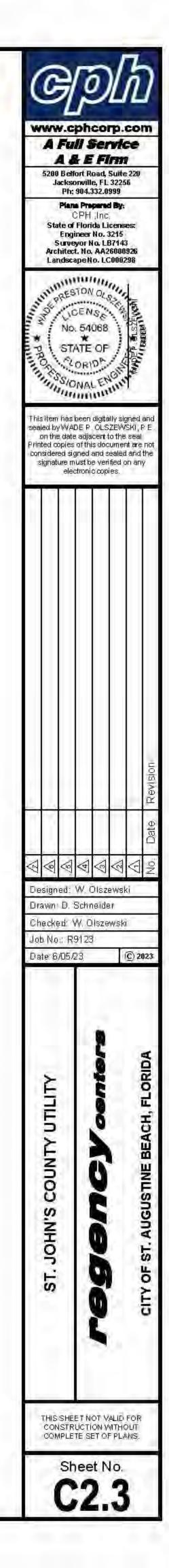


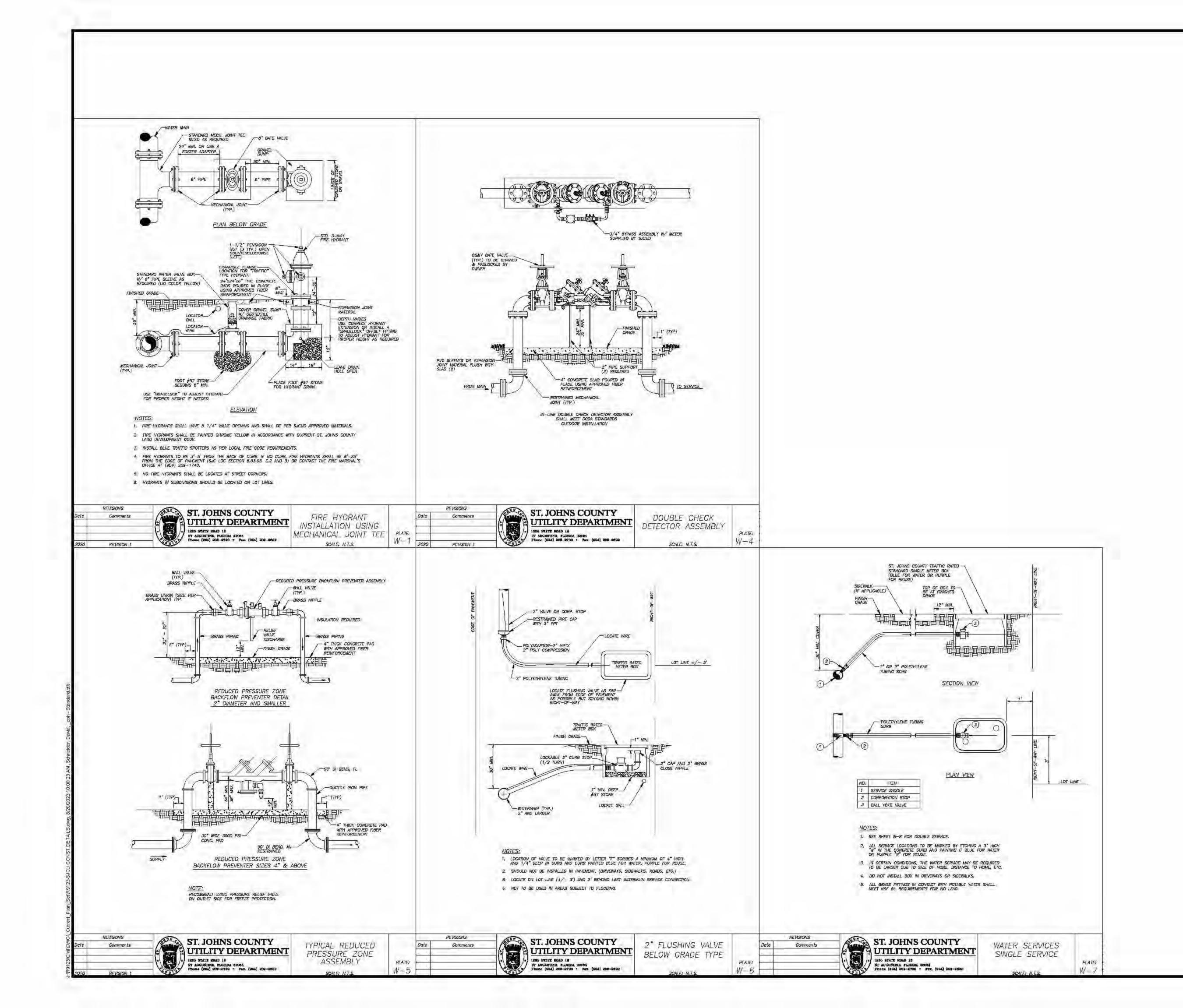


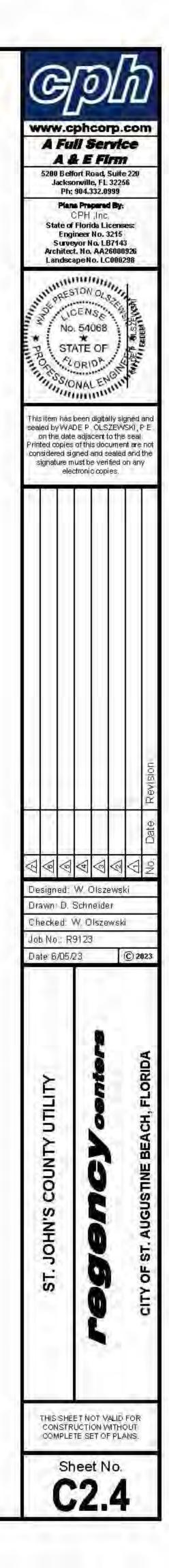


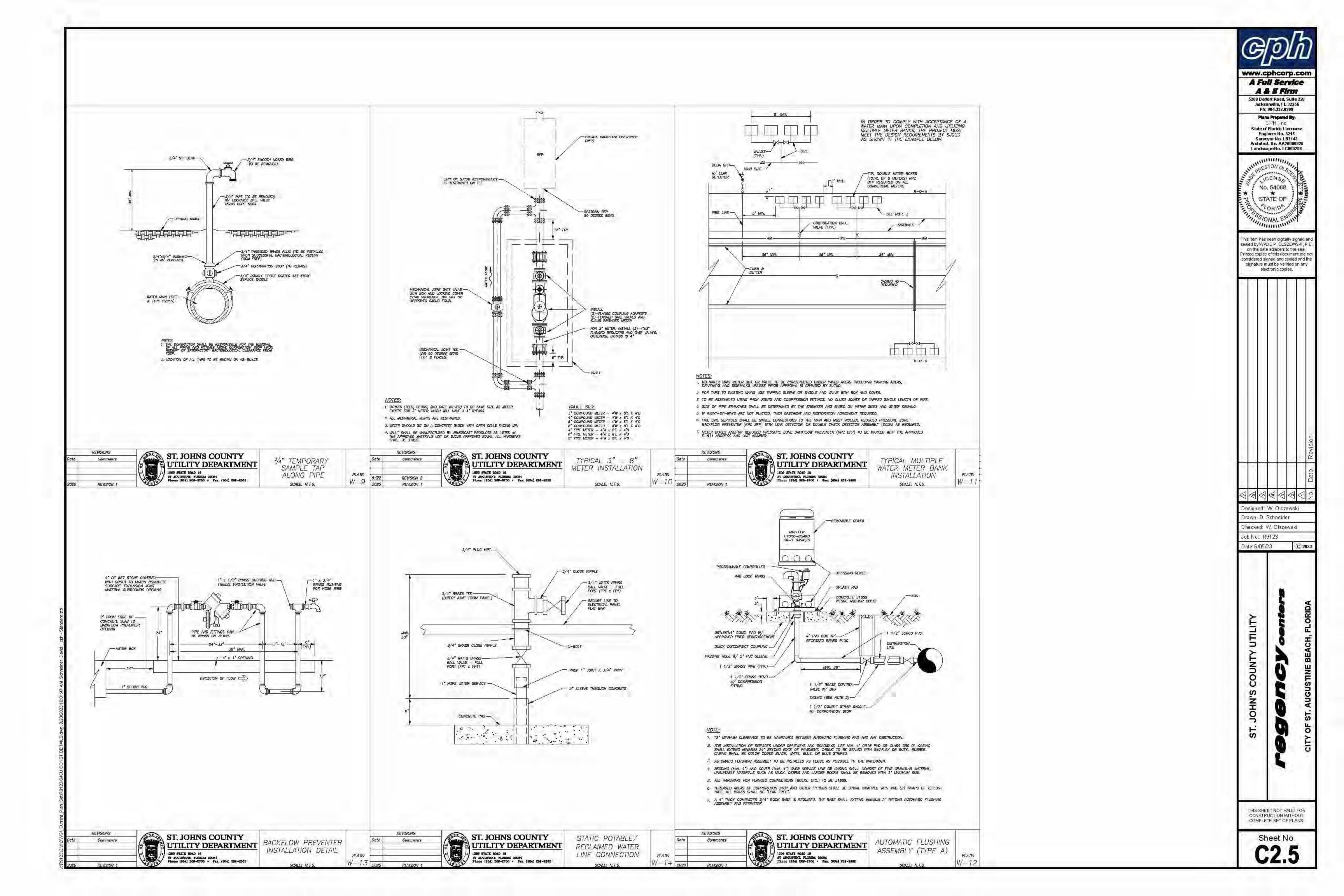


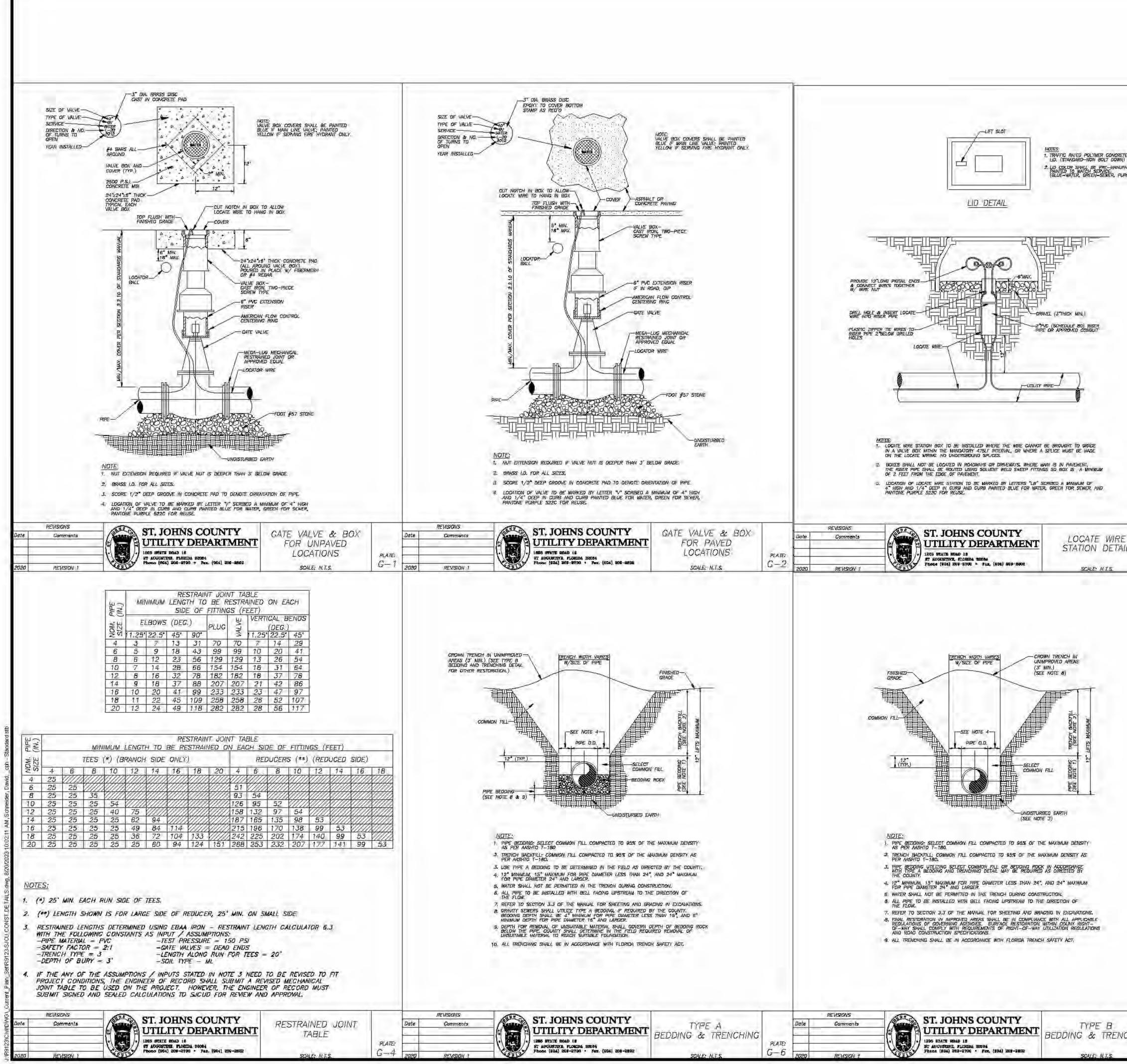




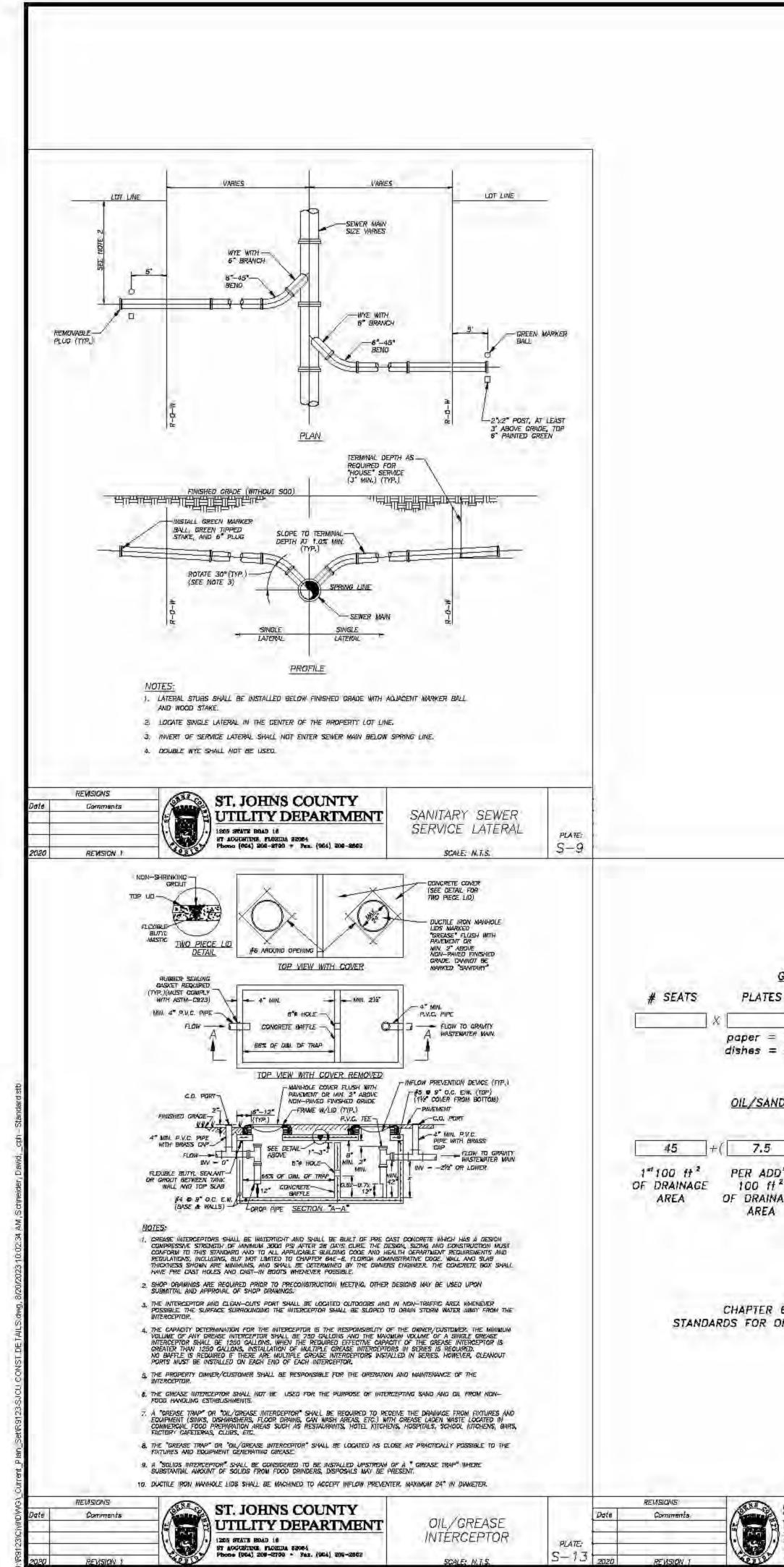




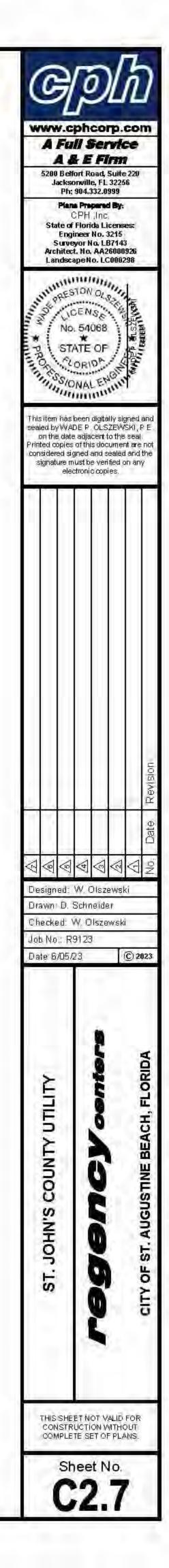


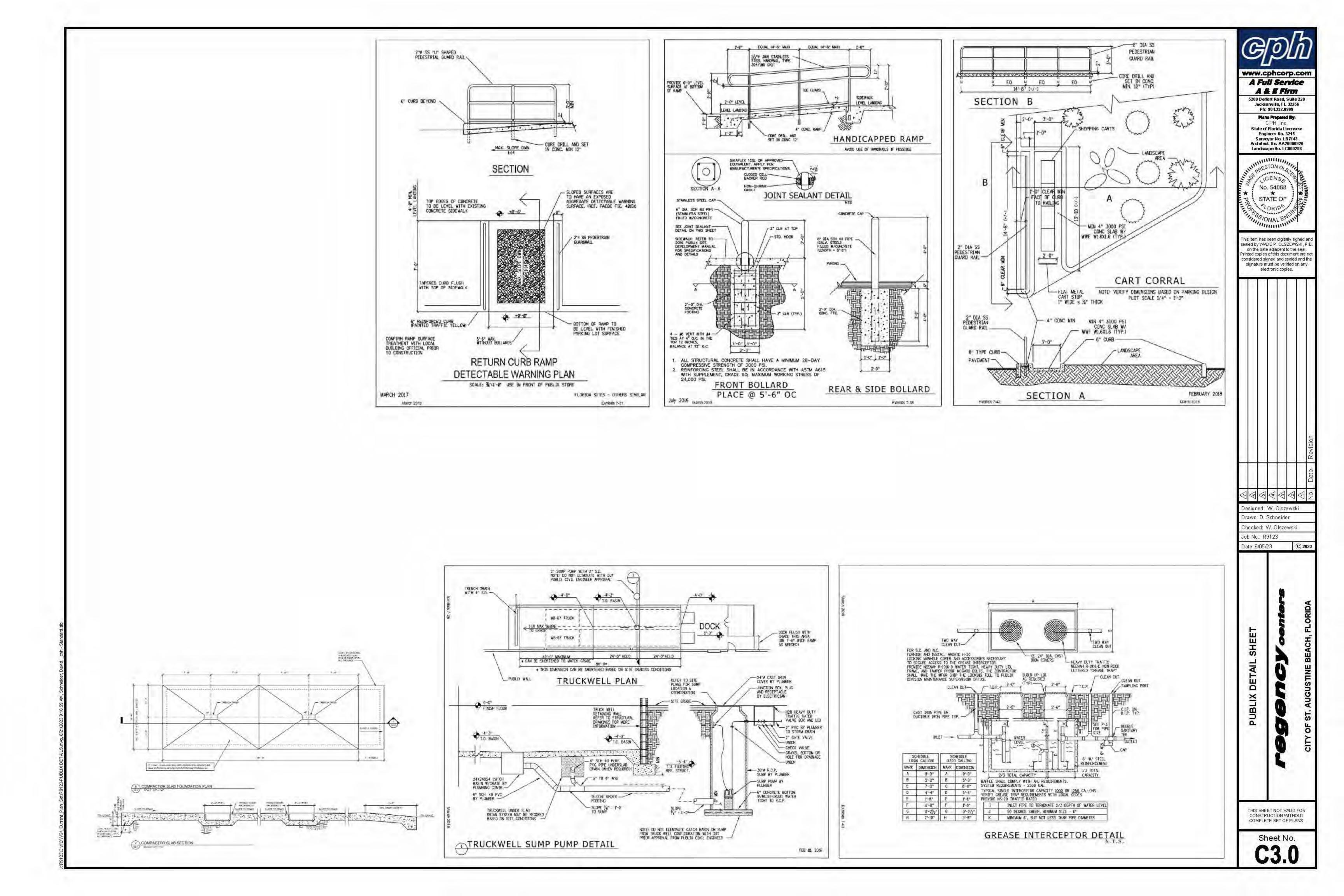


	Copla www.cphcorp.com A Full Service A & E Firm 5200 Beffort Road, Suite 220 Jacksonville, FL 32256
E NGTURED GR NRLE-RECLAIM)	Ph: 904.332.0999 Plane Prepared By: CPH. Inc. State of Florida Licenses: Engineer No. 3215 Surveyor No. L87143 Architect. No. AA26000926 Landscape No. LC000298 CENS No. 54068 STATE OF CORID CONAL ENGINEER This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P.E.
	on the date adjacent to the seal Printed oppies of this document are not considered signed and sealed and the signature must be verified on any electronic oppies.
PLATE G-B	다 아마 아마 아마 아마 아마 아마 아마 아마 아마 아마 아마 아마 아마
	ST. JOHN'S COUNTY UTILITY
	THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. Sheet No.
CHING PLATE: G-7	C2.6



GREASE TRAP(S) SIZING FORM	ULA	0.35	
ES HRS. OPEN +12		SIZE	
= 10 = 25	3 =		MIN. GALLON S
ND/WATER SEPARATOR(S) SIZIN	G FORMULA		
ADD'L 100 ft <sup>2</sup> OVER 1 <sup>st</sup>	100 ft <sup>2</sup> =	SIZE	MIN.
DD'L H <sup>2</sup> NAGE A			GALLON
PER: STATE OF FLORIDA DEPARTMENT OF HEALTH 64E-6.013, FLORIDA ADMINIST ONSITE SEWAGE TREATMENT AN	and the second		5
ST. JOHNS COUNTY UTILITY DEPARTMENT	OIL/GREA	SE-SAND	0/01L
1205 STATE BOAD 18 ST AUGUSTURE, BLOWING SHORN Phone (904) 200-2700 - Fax, (904) 200-2802	SIZIN	RCEPTOR IG TABLE NE NTE	

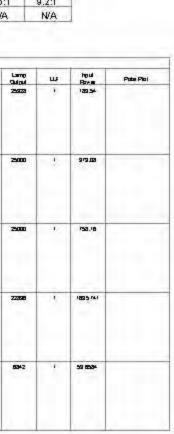


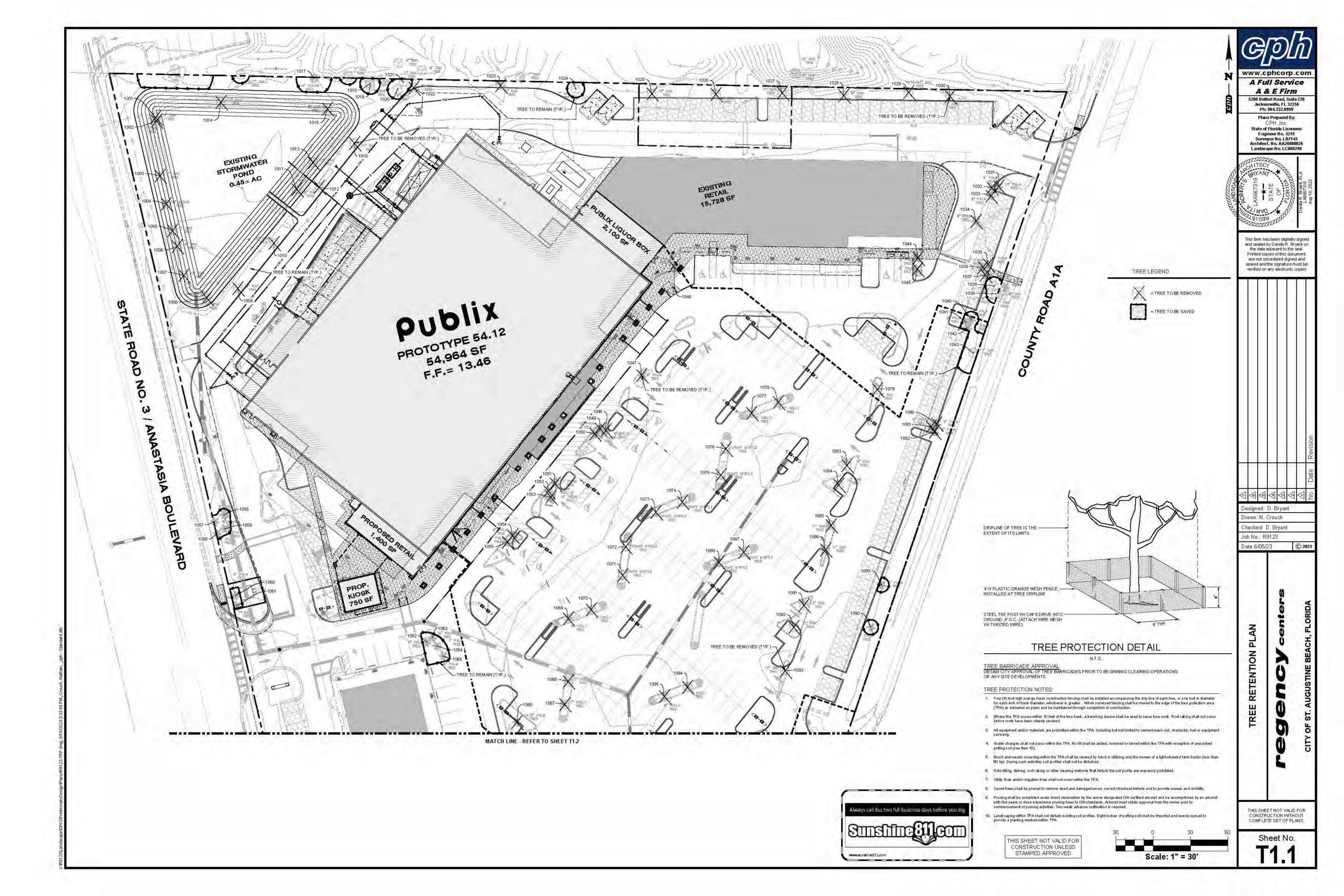


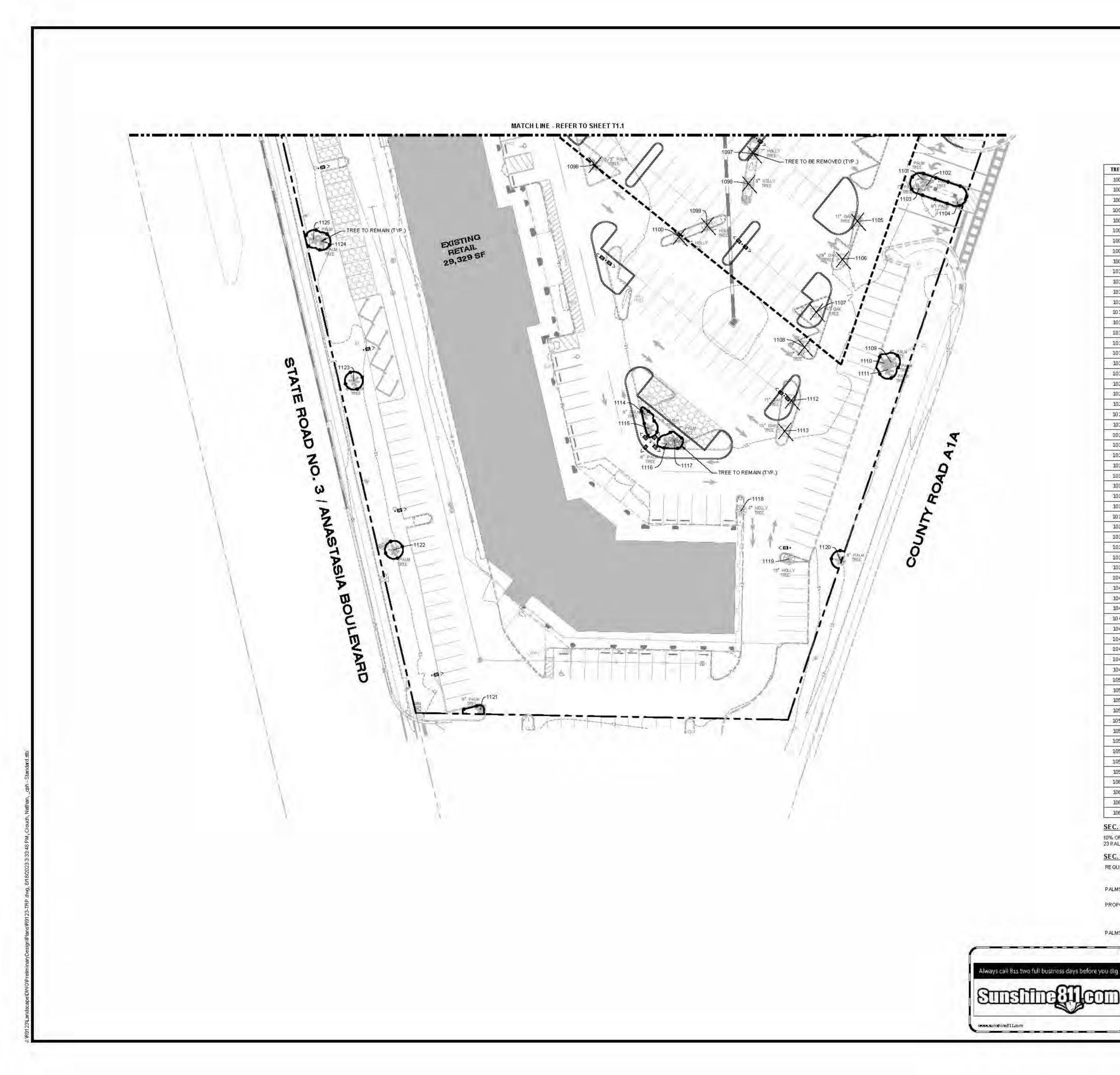


05 06 09 13 16 17 12 05 23 36 37 31 30 35 45 55 87 14412785 54 37 28 18 16 19 18 15 15 18 18 1.4 14 17 17 13 13 15 16 13 13 1.5 1.6 17 15 1.5 20 27 38 65 12 31 02.9 \*35 88 69 66 55 45 46 55 66 63 53 56 85 72 28 26 64 57 22 24 63 57 2.1 22 60 59 21 1.9 51 65 2.4 1.8 49 65 2.4 1.1 13 2.0 34 49 6.4 77 6.7 2 1.5 52 V62 2.2 1.7 5.4 V77 2.3 0.6 0.6 1.3 22 3.6 3.8 4.5 4.5 \*0.1 \*0.5 \*15 \*2.4 \*2.7 \*3.1 \*2.7 0.1 0.3 0.9 1.5 1.9 1.8 1.4 \*0.0 \*0.1 \*0.5 \*0.9 \*1.1 \*0.9 \*0.0 \*0.1 \*0.3 \*0.5 \*0.6 \*0.4 0.1 0.1 0.1 0.1 0.3 0.3 0.2 A 0.1 0.1 0.1 02 0.2 0.4 to,1 to.1 to.1 to.1 to.1 0,1 02 02 03 04 08 12 12 10 07 06 05 0.4 04 05 04 03 02 02 01 01 01 01 01 01 01 <sup>+</sup>0.1<sup>+</sup>0.2<sup>+</sup>0.3<sup>+</sup>0.4<sup>+</sup>0.5<sup>+</sup>0.9<sup>+</sup>1.7<sup>+</sup>2.5<sup>+</sup>2.5<sup>+</sup>1.8<sup>+</sup>1.2<sup>+</sup>1.0<sup>+</sup>0.8<sup>+</sup>0.7<sup>+</sup>0.7<sup>+</sup>1.0<sup>+</sup>1.0<sup>+</sup>0.9<sup>+</sup>0.7<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1<sup>+</sup>0.1 01 02 04 05 07 10 19 30 44 43 29 21 18 12 11 12 17 23 23 18 12 07 04 03 02 02 01 0,1 0,2 0,4 0,5 0,7 10 19 3,0 4,4 4,3 29 21 18 12 1,1 12 1,7 2,3 2,3 1,8 12 0,7 0,4 0,3 0,2 0,2 0,7 0,4 0,8 1,1 1,4 20 3,3 4,9 60 6,4 4,8 3,5 2,5 2,1 1,8 19 2,8 4,0 4,3 3,5 2,8 2,0 1,3 0,8 0,5 0,5 0,2 10,5 0,9 1,7 2,4 3,0 3,8 5,7 7,7 9,3 9,9 7,6 5,5 4,3 3,7 3,0 2,9 3,6 5,6 6,3 6,1 5,8 4,1 2,8 1,9 1,1 0,6 0,8 10,4 0,9 2,0 3,3 4,8 5,4 5,8 7,9 1,1 6,17 3,15,8 10,27,5 6,7 5,4 4,5 4,1 5,2 7,5 9,6 10,492 6,5 4,6 3,5 2,0 1,0 1,0 5 0,9 2,0 3,4 5,1 7,3 8,1 8,3 9,7 14,7 2,15,8 10,27,5 6,7 5,4 4,5 4,1 5,2 7,5 9,6 10,492 6,5 4,6 3,5 2,0 1,0 1,0 5 0,9 2,0 3,4 5,1 7,3 8,1 8,3 9,7 14,7 2,5 19,2 10,6 8,0 7,3 7,2 6,1 5,5 6,9 9,7 14,7 0,1 15,1 8,8 6,2 4,4 2,4 1,2 1,0 5 1,0 2,0 3,5 6,0 7,7 9,7 10,8 10,9 11,2 14,8 17,2 14,0 10,2 8,6 7,9 8,2 8,1 7,9 8,7 10,0 16,0 17,5 10,6 5,3 7,2 1,1 1 0 5 10 20 35 50 7.7 97 10 8 10 9 11 2 14 8 17 2 14 0 10 2 86 7.9 82 8 1 79 87 10 0 16 0 17 5 10 56 5 37 2 11 1 0 9 20 35 57 84 12 3 16 9 14 11 19 12 7 13 4 12 4 10 498 93 95 10 3 10 5 10 0 92 9.7 11 8 13 5 11 7 8 7 55 30 11 0 7 16 35 56 7 3 10 5 10 2 3 2 0 16 1 12 3 12 5 13 3 12 0 10 0 94 10 1 12 9 17 4 16 0 10 598 10 1 10 495 5 1 7 2 4 3 2 5 14 4 0 5 11 2 5 49 7 7 93 11 8 17 5 19 5 1 4 5 12 5 11 9 12 8 12 4 11 2 10 0 10 9 16 9 2 9 7 11 8 13 5 1 7 5 18 5 6 2 40 2 2 1 2 0 4 07 18 3 5 57 8 4 9 4 10 9 12 9 13 0 12 9 13 4 13 4 14 5 13 5 12 0 11 3 12 0 16 8 18 11 3 3 99 7 8 5 82 8 7 7 9 67 5 1 3 7 2 7 0 4 07 18 3 3 57 8 4 9 4 10 9 12 9 13 0 12 9 13 4 13 4 14 5 13 5 12 0 11 3 12 0 16 8 18 11 3 3 99 7 85 82 8 7 7 9 67 5 1 3 7 2 7 0 4 07 12 25 44 68 8 9 10 5 11 0 12 0 11 8 12 3 13 5 7 2 20 7 15 11 1 3 11 0 11 9 12 7 11 9 10 19 5 9 3 9 3 9 5 10 3 9 1 9 7 7 4 5 4 4 0 2 8 0 6 12 24 39 66 92 12 41 40 12 4 13 0 12 9 11 8 13 5 2 1 3 8 9 2 9 5 10 5 11 6 10 9 9 4 9 2 10 0 19 1 1 7 7 1 3 9 8 5 6 8 3 4 3 2 3 0 6 12 24 3 9 66 92 12 4 1 40 12 4 13 0 12 9 11 8 13 5 2 1 3 8 9 2 9 5 10 5 11 6 10 9 9 4 9 2 10 0 19 1 1 7 7 1 3 9 8 5 6 8 3 4 3 2 3 0 6 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0.7 1.3 28 46 7.0 7.9 8.5 7.0 4.7 3.2 2.4 1.6 1.3 1.4 1.9 30 4.1 48 46 3.3 23 1.9 18 26 38 52 62 58 41 2.6 1.7 1.1 08 \*0.4 0.9 20 35 62 93 13.3 14 3 100 66 48 30 1.8 12 1.1 1.5 28 41 53 61 48 35 28 30 40 6.3 77 9.3 89 64 42 29 1.7 08 0.6 13 2.8 44 66 114 28 20 110 86.5 4.6 30 1.5 10 1.1 20 35 5.8 70 80 7.3 56 4.5 49 59 80 18 117 513 581 5.8 39 2.0 09 0.7 1.5 3.2 52 7.1 114 16 9 4 493 59 3.4 2.1 1.1 10 1.6 2.9 51 7.9 11.6 14 0 11 37.8 7.1 70 7.2 9.2 16.8 20 2 1477.7 5.1 33 1.5 <sup>+</sup>13<sup>+</sup>25<sup>+</sup>37<sup>+</sup>55<sup>+</sup>80<sup>+</sup>96<sup>+</sup>84<sup>+</sup>68<sup>+</sup>43<sup>+</sup>25<sup>+</sup>13<sup>+</sup>09<sup>+</sup>12<sup>+</sup>24<sup>+</sup>39<sup>+</sup>60<sup>+</sup>97<sup>+</sup>17<sup>+</sup>721<sup>+</sup>4136<sup>+</sup>85<sup>+</sup>73<sup>+</sup>75<sup>+</sup>88<sup>+</sup>12<sup>+</sup>914<sup>+</sup>610468<sup>+</sup>40<sup>+</sup>22<sup>+</sup>70 <sup>+</sup>09<sup>+</sup>15<sup>+</sup>22<sup>+</sup>36<sup>+</sup>51<sup>+</sup>85<sup>+</sup>56<sup>+</sup>44<sup>+</sup>29<sup>+</sup>15<sup>+</sup>09<sup>+</sup>09<sup>+</sup>15<sup>+</sup>29<sup>+</sup>49<sup>+</sup>88<sup>+</sup>10<sup>+</sup>3169<sup>+</sup>8<sup>+</sup>611<sup>+</sup>77<sup>+</sup>58<sup>+</sup>51<sup>+</sup>50<sup>+</sup>65<sup>+</sup>82<sup>+</sup>80<sup>+</sup>66<sup>+</sup>48<sup>+</sup>26<sup>+</sup>13<sup>+</sup>05 \*0.5 0.9 14 2.1 3.2 46 4.3 32 2.1 13 0.9 1.0 15 26 3.9 60 9.0 11.9 11.0 8.6 63 4.1 32 3.2 3.9 5.4 5.6 43 2.8 1.4 0.5 04 0.6 09 13 2.1 28 3.2 29 23 17 1.2 1.2 1.4 1.9 28 50 7.7 100 89 68 45 29 20 20 2.4 35 3.9 28 1.6 0.6 0.3 .4<sup>°</sup>08<sup>°</sup>08<sup>°</sup>1.3<sup>°</sup>2.1<sup>°</sup>2.9<sup>°</sup>37<sup>°</sup>3.6<sup>°</sup>2.8<sup>°</sup>1.9<sup>°</sup>1.6<sup>°</sup>1.5<sup>°</sup>1.8<sup>°</sup>3.1<sup>°</sup>5.0<sup>°</sup>7.1<sup>°</sup>99<sup>°</sup>8.9<sup>°</sup>6.0<sup>°</sup>3.9<sup>°</sup>2.3<sup>°</sup>1.6<sup>°</sup>1.4<sup>°</sup>1.6<sup>°</sup>2.0<sup>°</sup>2.1<sup>°</sup>1.5<sup>°</sup>0.8<sup>°</sup>0.9 <sup>1</sup>04<sup>0</sup>06<sup>1</sup>11<sup>2</sup>23<sup>3</sup>35<sup>1</sup>49<sup>1</sup>55<sup>1</sup>40<sup>1</sup>30<sup>1</sup>22<sup>1</sup>21<sup>1</sup>27<sup>4</sup>41<sup>6</sup>64<sup>1</sup>84<sup>1</sup>10<sup>1</sup>95<sup>6</sup>67<sup>1</sup>39<sup>1</sup>26<sup>1</sup>17<sup>1</sup>11<sup>1</sup>10<sup>1</sup>11<sup>1</sup>10<sup>1</sup>07<sup>1</sup>04<sup>1</sup>02 <sup>1</sup>04<sup>1</sup>07<sup>1</sup>18<sup>1</sup>32<sup>1</sup>53<sup>1</sup>65<sup>1</sup>76<sup>1</sup>67<sup>1</sup>48<sup>1</sup>38<sup>1</sup>38<sup>1</sup>40<sup>1</sup>56<sup>1</sup>82<sup>1</sup>12<sup>1</sup>145<sup>1</sup>1978<sup>1</sup>53<sup>1</sup>34<sup>1</sup>20<sup>1</sup>11<sup>0</sup>07<sup>1</sup>08<sup>1</sup>05<sup>1</sup>03<sup>1</sup>02<sup>1</sup>/01 05+12+2.5+48+7.5+10712.910370+58+53+54+65+96+17421513979+55+3.7+19+09+0.5+0.4+0.3+02+04 08 19 3.4 57 9.5 1 20 212 57 5 60 57 61 7 0 10 016 3 85 11 36 8 43 2.6 13 06 0.4 03 02 0.1 0 \*2.6 \*4.5 \*6.3 \*9.8 \*17.2 \*83\*11.17.0 \*4.9 \*43 \*43 \*5.5 \*7.8 \*10.497 \*7.7 \*5.5 \*3.1 \*1.7 \*0.8 \*0.4 \*0.3 \*0.2 \*0.1 \*0.1 <sup>+</sup>23<sup>+</sup>40<sup>+</sup>56<sup>+</sup>8.1<sup>+</sup>11.1<sup>+</sup>10.2<sup>+</sup>7.8<sup>+</sup>57<sup>+</sup>3.5<sup>+</sup>26<sup>+</sup>2.5<sup>+</sup>3.6<sup>+</sup>5.1<sup>+</sup>67<sup>+</sup>6.1<sup>+</sup>5.1<sup>+</sup>3.4<sup>+</sup>2.0<sup>+</sup>1.0<sup>+</sup>0.8<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.1<sup>+</sup>0.4<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0.3<sup>+</sup>0 18 2.4 35 5.4 67 65 53 35 22 15 17 22 32 48 45 33 2.4 15 10 07 0.4 03 02 0.2 0. 05<sup>+</sup>0.9<sup>+</sup>1.4<sup>+</sup>2.2<sup>+</sup>3.0<sup>+</sup>46<sup>+</sup>5.0<sup>+</sup>3.5<sup>+</sup>2.4<sup>+</sup>1.3<sup>+</sup>10<sup>+</sup>1.2<sup>+</sup>1.4<sup>+</sup>2.2<sup>+</sup>2.8<sup>+</sup>30<sup>+</sup>2.4<sup>+</sup>2.2<sup>+</sup>20<sup>+</sup>1.6<sup>+</sup>10<sup>+</sup>0.7<sup>+</sup>0.5<sup>+</sup>0.3<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup>0.2<sup>+</sup> 0.6 1.0 1.4 2.0 29 3.2 2.5 1.6 1.1 1.0 0.9 1.0 1.3 1.8 20 25 3.3 35 2.6 1.6 1.1 0.7 0.4 0.3 <sup>1</sup>0.4<sup>1</sup>0.8<sup>1</sup>0.9<sup>1</sup>1.2<sup>1</sup>1.7<sup>1</sup>2.0<sup>1</sup>1.9<sup>1</sup>1.7<sup>1</sup>1.5<sup>1</sup>1.3<sup>1</sup>1.0<sup>1</sup>0.9<sup>1</sup>1.1<sup>1</sup>1.4<sup>1</sup>2.3<sup>1</sup>3.3<sup>1</sup>4.5<sup>1</sup>5.4<sup>1</sup>4.0<sup>1</sup>2.8<sup>1</sup>1.7<sup>1</sup>1.1<sup>1</sup>0.8/0.4 <sup>+</sup>0.3<sup>+</sup>0.5<sup>+</sup>0.6<sup>+</sup>0.9<sup>+</sup>1.3<sup>+</sup>1.8<sup>+</sup>2.4<sup>+</sup>3.0<sup>+</sup>3.0<sup>+</sup>2.3<sup>+</sup>1.5<sup>+</sup>1.2<sup>+</sup>1.3<sup>+</sup>2.2<sup>+</sup>3.5<sup>+</sup>5.5<sup>+</sup>6.5<sup>+</sup>7.3<sup>+</sup>6.3<sup>+</sup>4.4<sup>+</sup>2.6<sup>+</sup>1.8<sup>+</sup>1.0<sup>+</sup> Statistics 103 0.4 0.6 1.0 15 2.4 4.2 60 6.1 4.4 2.6 2.0 2.3 3.4 5.4 7.9 110 12 59.6 6.4 4.3 2.7 1.4 Symbol Aug Max Min Max.Min Aug/Min 10.5 0.8 1.3 2.1 3.9 8.5 9.3 9.5 7.0 4.8 3.4 3.8 4.7 6.4 10.4 5 19.5 11.7 7.0 5.1 3.1 0.6 1.1 2.0 37 6.5 10.4 13.1 13.1 157.9 5.7 5.4 6.3 7.4 11.2 17.9 8 410.562 3.8 7.3 PUBLIX FRONT ZONE X 83 to 230 to 0.9 to 25.6:1 9.2:1 OVERALL CALCS + 4.9 to 35.4 to 0.0 to N/A N/A 10.8 1.8 3.6 6.1 10.115221.32221691218.4 7.0 6.0 67 8.9 11.19.9 7.5 50 2.7 1.4 1.1<sup>+</sup>2.5<sup>+</sup>5.2<sup>+</sup>87<sup>+</sup>12.5<sup>+</sup>20.1<sup>+</sup>3.5<sup>+</sup>35.3<sup>+</sup>23.7<sup>+</sup>14.2<sup>+</sup>10.7<sup>+</sup>7.9<sup>+</sup>5.4<sup>+</sup>5.1<sup>+</sup>6.1<sup>+</sup>7.1<sup>+</sup>6.1<sup>+</sup>4.9<sup>+</sup>3.0<sup>+</sup>1.6<sup>+</sup>1.1<sup>+</sup>2.5<sup>+</sup>5.5<sup>+</sup>9.0<sup>+</sup>12.5<sup>+</sup>20.0<sup>+</sup>32.5<sup>+</sup>35.4<sup>+</sup>23.9<sup>+</sup>14.2<sup>+</sup>10.2<sup>+</sup>7.1<sup>+</sup>4.6<sup>+</sup>3.8<sup>+</sup>4.1<sup>+</sup>5.3<sup>+</sup>4.5<sup>+</sup>2.9<sup>+</sup>1.7<sup>+</sup>0.7 Number Lang Langs Chipul Symbol Label image Orv Menufacture Cableg Decidion Lihana Lighing R5X2 LED P4 20K R4 R5X, Aves Fisture Sar 2 P4 Lumen Package M/GH / 131, # G 2000K CC1 Type R4 Deliveration <sup>+</sup>1.9<sup>+</sup>3.9<sup>+</sup>6.4<sup>+</sup>10.3<sup>+</sup>14.8<sup>+</sup>21.3<sup>+</sup>22.2<sup>+</sup>16.4<sup>+</sup>11.7<sup>+</sup>7.4<sup>+</sup>5.1<sup>+</sup>3.3<sup>+</sup>2.6<sup>+</sup>3.1<sup>+</sup>3.7<sup>+</sup>3.3<sup>+</sup>1.8<sup>+</sup>0.8<sup>+</sup> 1. +2.1 +37 +65 +102 13. +13.2 11.57.7 +4.9 +3.3 +2.6 +25 +2.8 +3.1 +2.4 +0.9 +0.5 S1 g<sup>+</sup>36<sup>+</sup>6.1<sup>+</sup>89<sup>+</sup>9.6<sup>+</sup>73<sup>+</sup>46<sup>+</sup>3.0<sup>+</sup>2.6<sup>+</sup>2.6<sup>+</sup>2.9<sup>+</sup>3.5<sup>+</sup>3.8<sup>+</sup>2.7<sup>+</sup>0.7/0.4 Z2 Lifered Lighting PSX2 LEDP4 S0K PS PSX. Avea Fedure 3 as 2 P4 Lumen Package MTCH 1 / 31 / 4 C 2000K CC1 1 yearS0 Deletation <sup>+</sup>1.9<sup>+</sup>3.8<sup>+</sup>5.5<sup>+</sup>6.1<sup>+</sup>45<sup>+</sup>2.6<sup>+</sup>2.0<sup>+</sup>2.2<sup>+</sup>2.8<sup>+</sup>3.4<sup>+</sup>4.5<sup>+</sup>5.5<sup>+</sup>4.2<sup>+</sup>0.8 3.0 39 5.5 8.3 6.7 1.3 S2 \* 2.7 47 7.5 1389.3 Plan View Liftona Lighing RSX2 LED P4 50K RS RSX Anno Fisture 3 to 2 P4 Luman Package . MFGH F 13K # G 2000K CCF Fyge P3 Delicitation 2.7 46 7.6 13.8 90 Scale - 1"= 40t 2.6 36 5.3 8.3 6.7 54 2.2 30 4.2 5.3 4.0 1.6 22 2.8 3.1 2. 220325 Lihana Lighing RSXF / LED F& 50K WFL RSXF load F ofun Sun 1 Ph Luman MrGH 1 121 A G Package 5000K CC1 Type VE L Disinfation 1.1 1.4 1.6 1 FL FL 0.4 0.5 0.7 0.5 MICH / 121 # C PACKAGE, SOOK Lihona Lighing

	ape No. LCOO	WADE P. OLSZEWSKI 54068
Designed: Drawn: D. (	W. Olszews 9123	ski
LIGHTING PLAN	OGONCy contors	CITY OF ST AUGUSTINE REACH ELODIDA







### TREELEGEND

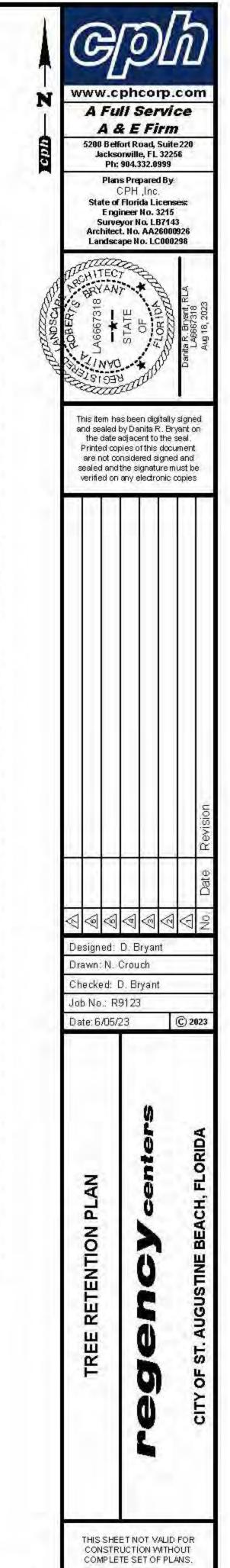
= TREE TO BE REMOVED = TREE TO BE SAVED

1002         1           1003         7           1004         1           1005         7           1006         8           1007         1           1008         1           1009         1           1009         1           1010         2           1011         7           1012         1           1013         1           1015         9           1016         2           1018         8           1019         7           1020         8           1021         7           1022         9           1023         1           1024         7           1025         1           1026         1           1027         1           1028         9	4 9 2 7 6 7 2 9 1 4 3 7 3 7	OAK           OAK           OAK           CEDAR           OAK           OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN
1003         7           1004         10           1005         7           1006         8           1007         1           1008         1           1009         1           1009         1           1009         1           1010         2           1011         7           1012         1           1013         1           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1022         9           1023         1           1025         1           1025         1           1026         1           1027         1           1028         9	7       0       7       3       4       4       9       2       7       6       7       2       7       2       9       1       4       3       7       3       7       0       7       6       7       6       7       0       7       6       7       6       7       6       7       6       7       6       7       7       6       7       6       7       6       7       6       7       6       7       6	OAK       CEDAR       OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN
1004       11         1005       5         1006       8         1007       1         1008       1         1009       1         1009       1         1010       2         1011       5         1012       1         1013       1         1015       9         1016       2         1017       1         1018       8         1019       5         1020       8         1021       5         1022       9         1023       1         1024       7         1025       1         1026       1         1027       1         1028       5	0	CEDAR OAK OAK OAK OAK OAK OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN
1005         5           1006         8           1007         1           1008         1           1009         1           1009         1           1010         2           1011         5           1012         1           1013         1           1015         5           1015         5           1016         2           1017         1           1018         8           1019         5           1020         8           1021         5           1022         5           1023         1           1024         5           1025         1           1026         1           1027         1           1028         5	7     3       3     4       4     9       22     7       65     7       7     2       9     1       4     3       7     3       7     9       10     7       9     1       10     7       11     1       12     1       13     1       7     1       10     1       7     1       10     1       7     1       10     1       10     1       11     1	0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN
1006         8           1007         1           1008         1           1009         1           1009         1           1009         1           1010         2           1011         7           1012         1           1013         1           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1022         9           1023         1           1025         1           1025         1           1025         1           1026         1           1027         1           1028         5	3     4       4     9       2     7       5     7       2     9       7     2       9     1       1     1       4     3       7     3       9     1       1     1       7     1       9     1       1     1       7     1       9     1       1     1       7     1       9     1       10     1       7     1       9     1       10     1       7     1       6     1	0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN
1007         1           1008         1           1009         1           1010         2           1011         7           1012         1           1013         1           1014         1           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         5           1022         9           1023         1           1025         1           1025         1           1027         1           1028         5	4       9       2       7       6       7       2       9       1       4       3       7       3       7       0       7       6       7       6       7       7       6       7       7       6	0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK 0AK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN REMAIN
1008         1           1009         1           1010         2           1011         7           1012         1           1013         1           1014         1           1015         5           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1022         5           1023         1           1025         1           1025         1           1026         1           1027         1           1028         5	4 9 2 7 6 7 7 2 2 9 1 4 3 7 7 9 1 4 3 7 9 9 1 9 7 9 9 1 9 9 1 9 9 1 9 9 1 9 9 9 9	OAK OAK OAK OAK OAK OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN
1009         1           1010         2           1011         7           1012         1           1013         1           1014         1           1015         9           1016         2           1017         1           1018         8           1019         7           1021         5           1022         9           1023         1           1025         1           1025         1           1026         1           1027         1           1028         9	9 2 7 6 7 2 9 1 2 9 1 4 3 7 3 7 9 0 7 6 1 7 9 1 1 1 1 1 1 1 1 1 1 1 1 1	OAK OAK OAK OAK OAK OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN REMAIN
1010         2           1011         7           1012         11           1013         1           1013         1           1013         1           1013         1           1014         1           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1023         1           1024         7           1025         1           1026         1           1027         1           1028         5	2 7 6 7 2 2 9 1 4 3 7 7 9 0 7 9 0 7 6	OAK OAK OAK OAK OAK OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN REMOVED REMOVED
1011         7           1012         1           1013         1           1014         1           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1022         9           1023         1           1025         1           1025         1           1025         1           1028         5	7       6       7       2       9       1       4       3       7       9       1       7       9       10       7       9       10       7       9       10       7       10       11       12       13       14       15       16	OAK OAK OAK OAK OAK CEDAR OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMAIN REMOVED REMOVED
1012         1           1013         1           1013         1           1015         9           1015         9           1015         2           1015         9           1016         2           1017         1           1018         8           1019         7           1020         8           1021         7           1022         9           1023         1           1025         1           1025         1           1027         1           1028         9	6       7       2       2       1       4       3       7       3       7       0       7       6	OAK OAK OAK OAK OAK OAK OAK OAK OAK	REMOVED REMOVED REMOVED REMOVED REMOVED REMOVED REMAIN REMAIN REMAIN REMAIN REMOVED REMOVED
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1027 1 1028 5	8	0AK	REMOVED
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ferinal a	1	OAK	REMOVED
1029 5,12	9	OAK	REMOVED
	2, 24	0AK	REMOVED
1030 1	2	OAK	REMOVED
1031 1	0	PALM	REMOVED
1032 9	2	PALM	REMOVED
1033 8	3	PALM	REMOVED
1034 8	8	PALM	REMOVED
1035 .7	7	PALM	REMOVED
	7	PALM	REMOVED
1018 V	7	PALM	REMOVED
	7	OAK	REMAIN
C. C	7,8	OAK	REMAIN
	-	2 4 5 7 A	
		PALM	REMAIN
	9	PALM	REMAIN
	3	PALM	REMAIN
	7	OAK	REMAIN
10 44 8	_	PALM	REMOVED
1045 9	9	PALM	REMOVED
1046 E	-	HOLLY	REMOVED
1047 8	3	PALM	REMIOVED
1048 8	3	PALM	REMOVED
1049 1	0	PALM	REMOVED
1050 1	0	PALM	REMOVED
1051 7	7	PALM	REMOVED
1052 7	7	PALM	REMOVED
1053 1	٥	PALM	REMOVED
1054 8	3	PALM	REMOVED
1055 8	3	PALM	REMOVED
1056 8	3	PALM	REMAIN
1057 8	3	PALM	REMAIN
1058 8		PALM	REMAIN
1059 9		PALM	REMAIN
	5	PALM	REMAIN
	7	PALM	REMAIN
		10 10 10 10 10 10 10 10 10 10 10 10 10 1	REMAIN
	3	PALM	REMAIN

TREE #	DBH	SPECIES	DISPOSTION
1064	7	PALM	REMAIN
1065	5	PALM	REMAIN
1066	5, 4, 4	PALM	REMOVED
1067	7	HOLLY	REMOVED
1058	7	HOLLY	REMOVED
1069	6	HOLLY	REMOVED
1070	7	HOLLY	REMOVED
10 71	18	CRAPE	REMOVED
1072 1073		CRAPE	REMOVED
1075	12	CRAPE	REMOVED
1075	_	CRAPE	REMOVED
1075		CRAPE	REMOVED
1070	6	HOLLY	REMOVED
1078	5,7	HOLLY	REMOVED
10.79	8	OAK	REMOVED
1080	6	PALM	REMOVED
1081	6	PALM	REMOVED
1082	6	PALM	REMOVED
1083	9	OAK	REMOVED
1084	12	DAK	REMOVED
1085	11	OAK	REMOVED
1086	11	OAK	REMOVED
1087		CRAPE	REMOVED
1088		CRAPE	REMOVED
1089	6	PALM	REMAIN
1090	7	PALM	REMAIN
1091	14	0AK	REMOVED
1092	12	ØAK	REMOVED
1093	10	OAK	REMOVED
109.4	7	HOLLY	REMOVED
1095	9	HOLLY	REMOVED
1096	5, 5, 5	PALM	REMOVED
1097	7	HOLLY	REMOVED
1098	9	HOLLY	REMOVED
1099	7	HOLLY	REMOVED
1100	5,7	HOLLY	REMOVED
1101	7	PALM	REMAIN
1102	9	PALM	REMAIN
1103	7	PALM	REMAIN
1104	9	PALM	REMAIN
1105	11	ØAK	REMOVED
1105	19	ØAK	REMOVED
1107	14	OAK	REMOVED
1108	20	OAK	REMOVED
1109	8	PALM	REMAIN
1110	8	PALM	REMAIN
1111	8	PALM	REMAIN
1112	11	OAK	REMOVED
1113	15	OAK	REMOVED
1114	9	PALM	REMAIN
1115	9	PALM	REMAIN
1116	8	PALM	REMAIN
1117	9	PALM	REMAIN
1118	4	HOLLY	REMAIN
1119	12	HOLLY	REMAIN
1120	8	PALM	REMAIN
1121	9	PALM	REMAIN
1122	7	PALM	REMAIN
1123	8	PALM	REMÁIN
1124	7	PALM	REMAIN
1125	9	PALM	REMAIN
<u>T</u> T		PALM DATA	

SEC. 5.01.02	C6 REMOVAL	
10% OF PALMS M 23 PALMS × .10 =	AY BE REMOVED W	TH OUT MITIGATION
SEC. 5.01.03	MITIGATION	
REQUIRED:	1:1 6" - 29.5" \$50.00 / DB	HINCH

> 30" \$100.00 / DBH INCH 1 PALM FOR 1 PALM OR (1) 3" TREE MAY REPLACE A PALM \$30.00 OF CLEAR TRUNK REMOVED PROPOSED: 114" - (41" APPLY TO TREE #1029) = 73" REQUEST PAYMENT INTO FUND FOR REMAINING INCHES 613" - 73" = 540" 540" × \$50.00 = \$27,000.00 23

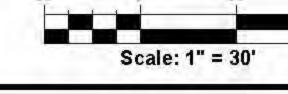


Sheet No.

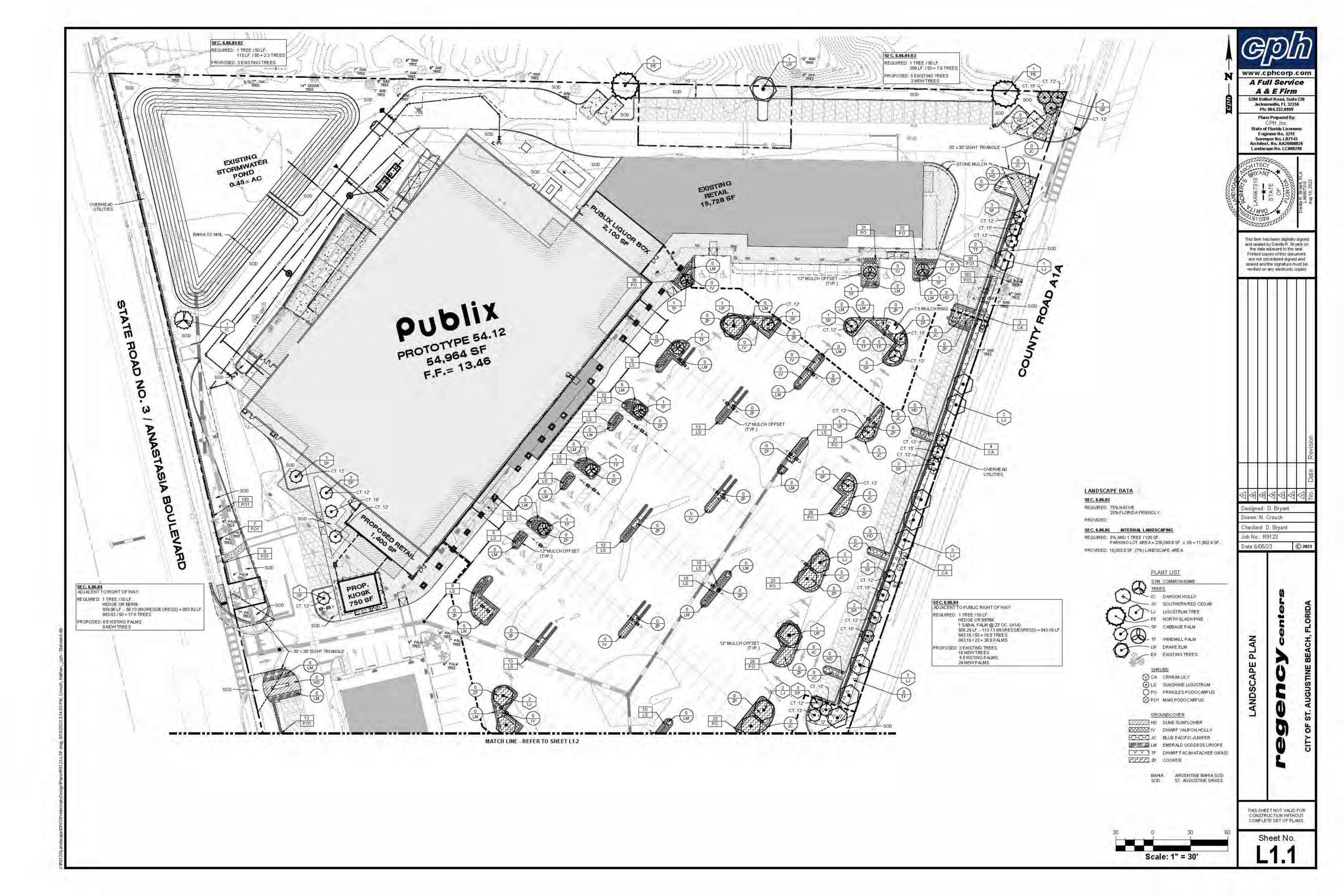
PALMS:

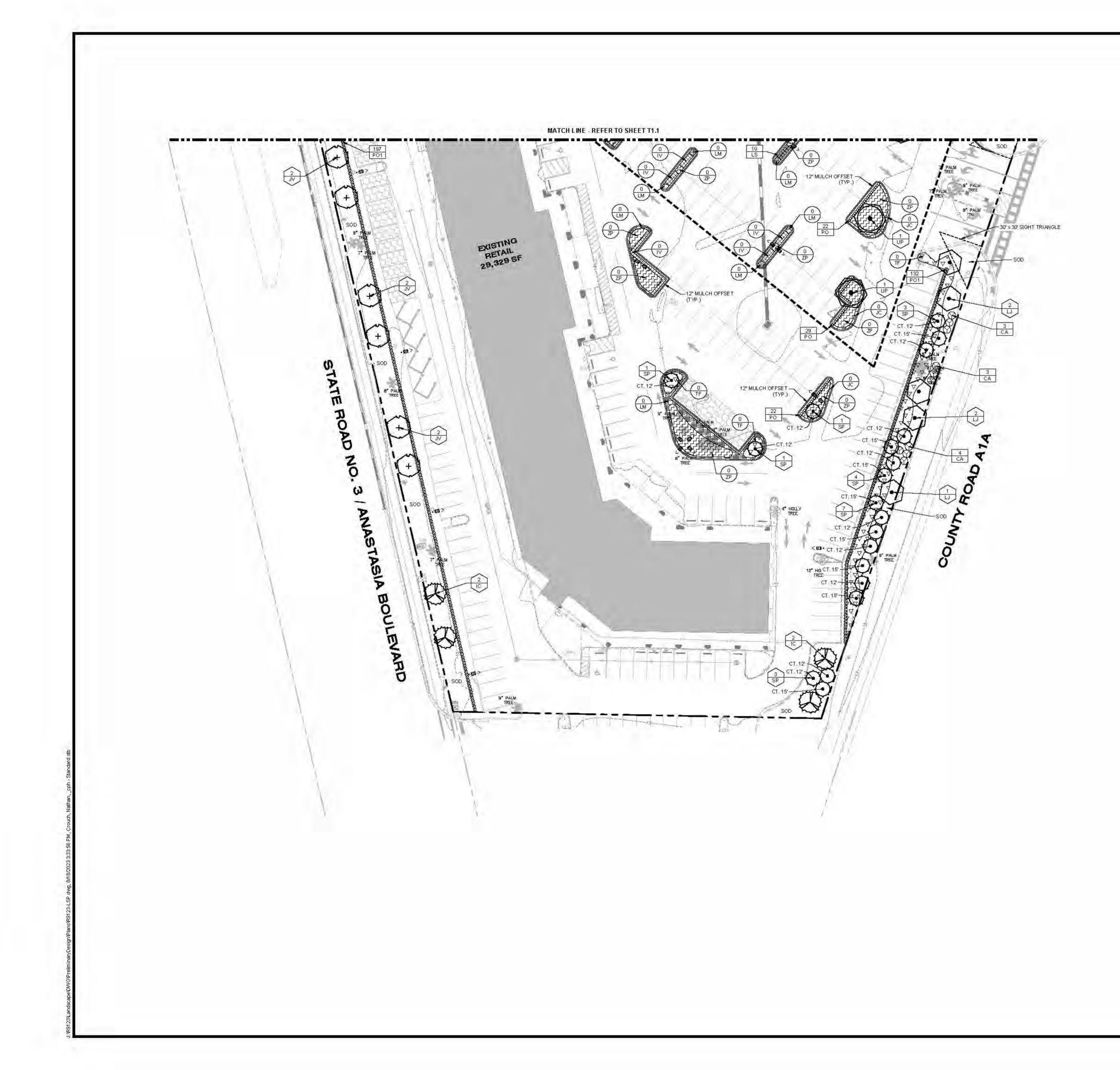
PALMS:

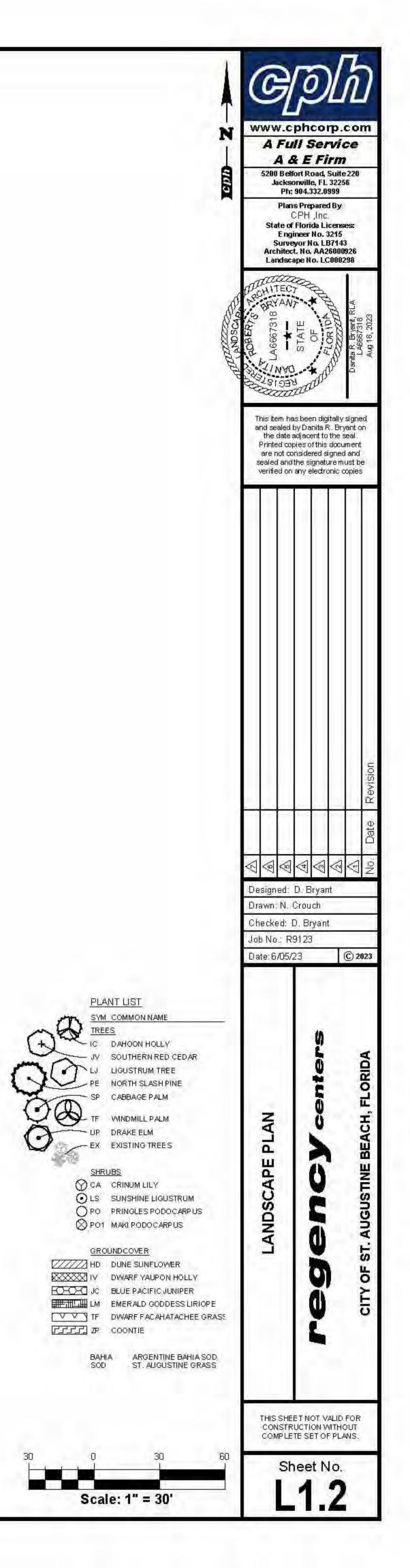
THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED



PALMS 1:1 TOTAL PALMS REMOVED: 23

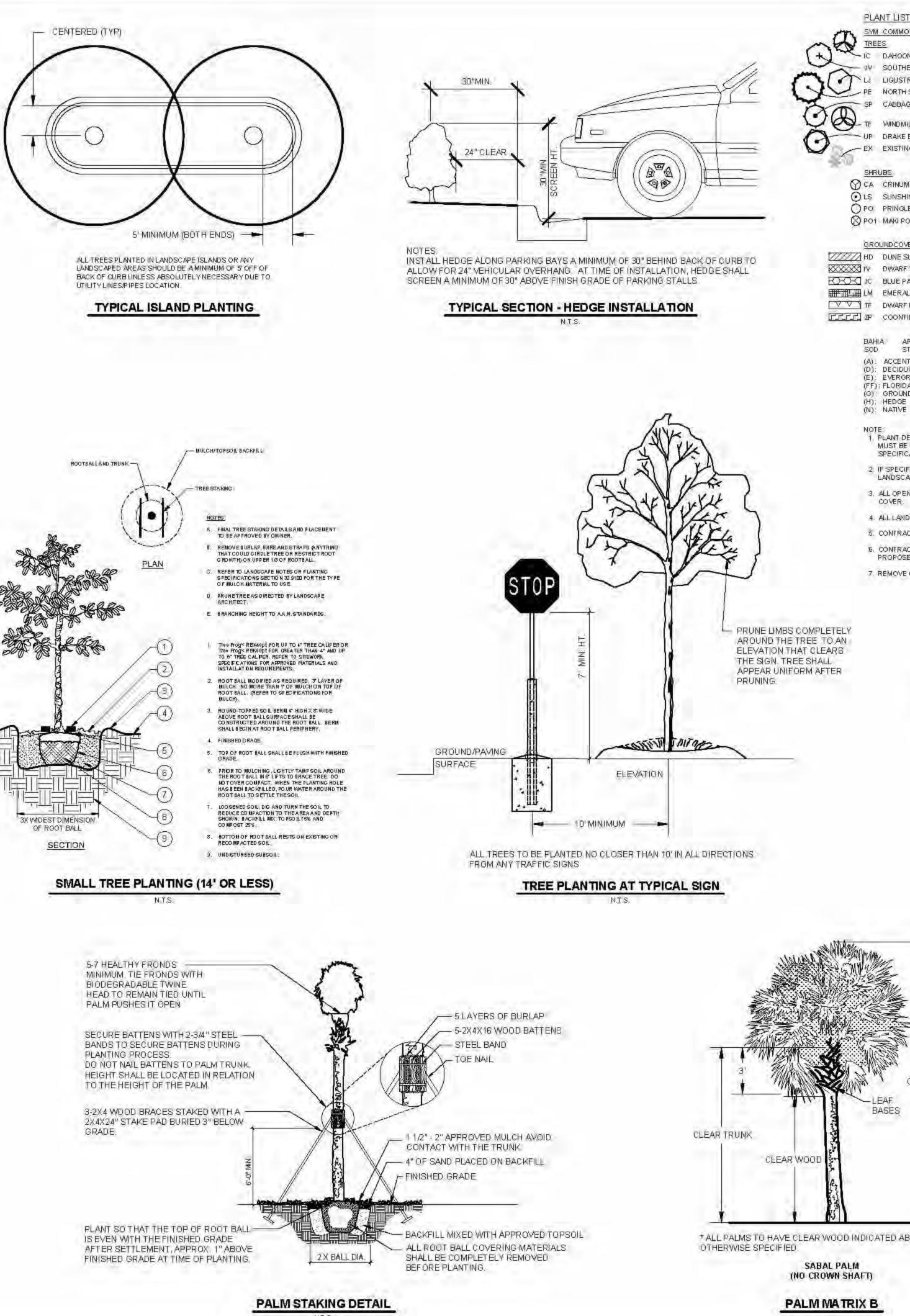


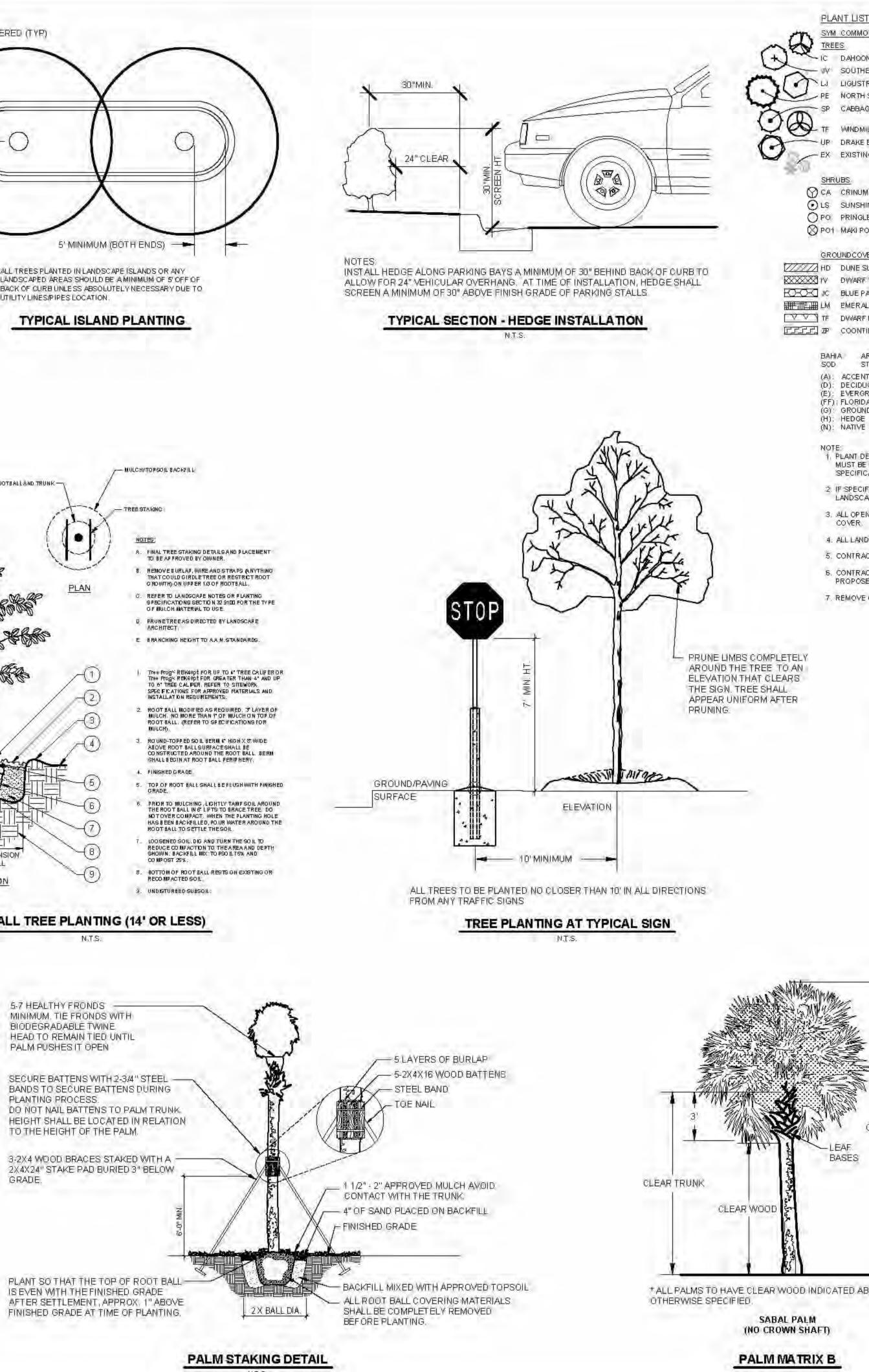


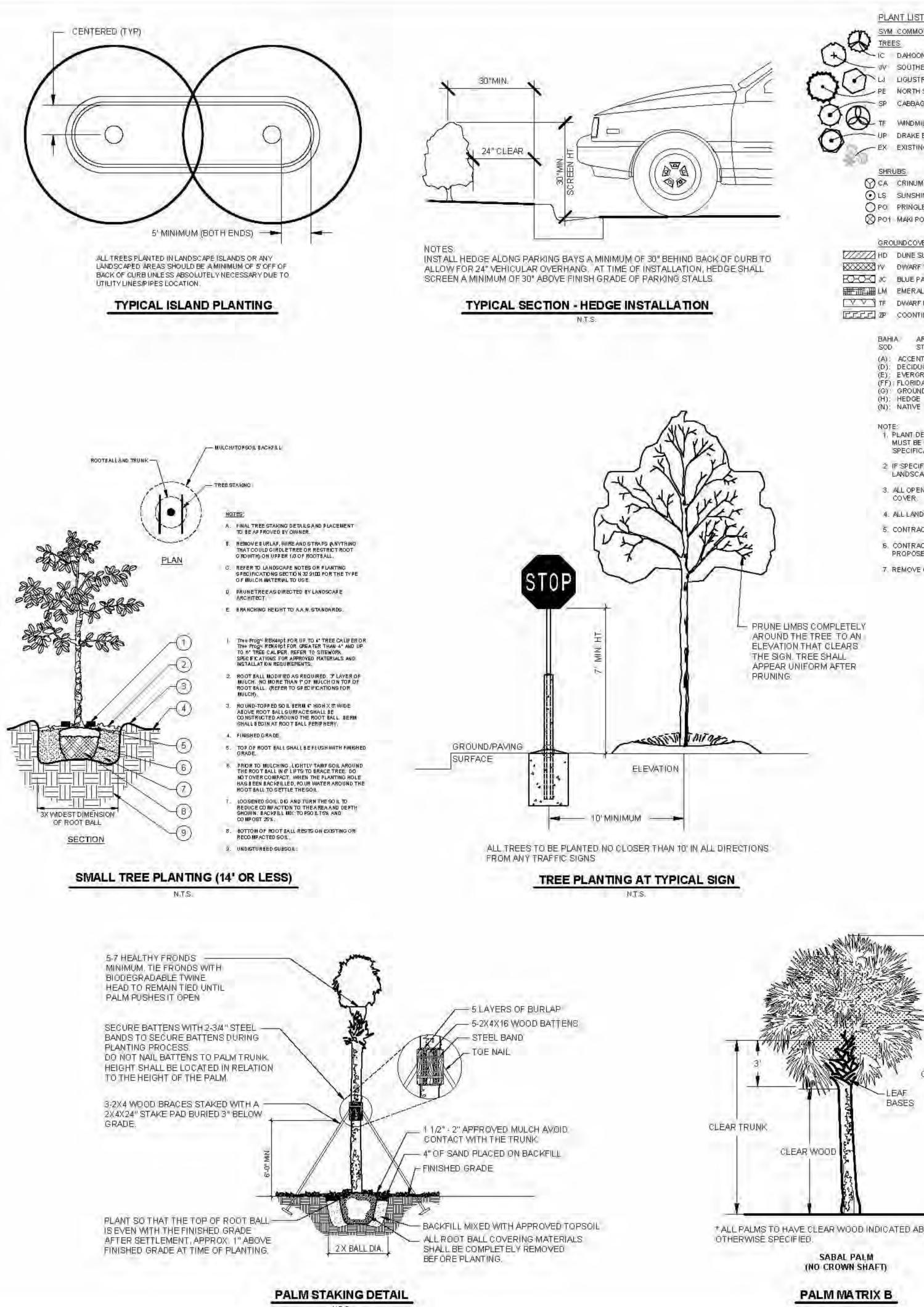


# LANDSCAPE NOTES:

- The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor 1) to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the construction 4) To field adjust the location of proposed trees and pairs 10' off the center of the utility lines. Notify the Landscape Archited if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation items and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper. When the plant list description calls out DBH or caliper at DBH, it shall govern over the caliper definition in this note.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the
- 12. Plants shall be protected upon arrival at the site, by being thoroughly vatered and properly maintained until planted. 13. TOPSOIL
- Topsoil shall be natural, triable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, sods, stiffclay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material. 6" Top Soil shall be placed in all turf & landscape areas.
- All tree bits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and back filled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered for plants to thrive as defined by Florida Grades and Standards for Nursery stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of muck soils. Muck grown sod will not be approved. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangles 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be place adjacent to one another to avoid gaps and overlaps. Joints shall be staggered between the rows. Sod placed on slopes exceeding 3:1 shall be pinned with turt staples. Sod turt, shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative.
- It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. It well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- UNSUITABLE SUBSOILS Locations containing unsuitable subsoil shall be treated by one or more of the following:
  - Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spikes, discing, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subscil to obtain adequate measures shall be considered as incidental, without additional cost to Owner
- Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
- Where unsuitability is deemed by Owner to be because natural subsoil fails into AASHTO classification of A6 of A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
- Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.
- 23. The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- 24. The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- Mulch All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved equal), Cypress mulch not permitted, A 5' diameter mulch ring is to be placed around trees located in sod areas or outside of planting beds.
- Transplanted Material The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.
- MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE: Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Archited or Owner. Extreme care shall be taken to instruct the Owner or his
- representatives in general maintenance procedures. Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of
- sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
- During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated
- At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends. GUARANTEE AND REPLACEMENT:
- All blant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
- All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor







IST MON NAME	BOTANICALNAME	DESCRIPTION	QTY.	NOTE	G	ന്തി	h
OON HOLLY	ILEX CASSINE	3" CAL., 8' HT., 2' SP RD.	5	N, D, FF	$\mathbb{Z}_{l}$	שרת	Ш
THERN RED CEDAR STRUM TREE	JUNIPERUS VIRGINIANA LIGUSTRUM JAPONICUM	3" CAL, 8' HT, 2' SPRD	6	N,E,FF		phcorp.	
TH SLASH PINE	PINUS ELLIOTTII	TREE FORM 3" CAL., 7' HT. 3" CAL., 8' HT., 2' SPRD.	20 2	N, E, PF	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	III Servi & E Firm	
BAGE PALM	SABAL PALMETTO	REFER TO PLAN FOR CT., REGEN HEADS CLEAN STRAIGHT TRUNKS	47	N,E,FF	Jacks	lfort Road, Suit conville, FL 322	
DMILL PALM KE ELM	TRACHYCARPUS FORTUNEI ULMUM PARVIFOLIA 'DRAKE'	18'OA., CLEAN STRAIGHT TRUNKS 3" CAL., 8' HT., 2" SPRD.	5	E,FF D,FF	Pla	; 904.332.0999 ns Prepared By	
TINGTREES					State o	CPH ,Inc. f Florida Licens gineer No. 3215	
UMILLY	CRINUM AUGUSTUM	15 GAL, 4' HT., FULL, 5' O.C.	20	A, FF	Surv Archite	eyor No. LB714 ct. No. AA26000 ape No. LC000	13 0926
SHINE LIGUSTRUM IGLES PODOCARPUS	LIGUSTRUM SINENSE PODOCARPUS MACROPHYLLUS 'PRINGLES'	3 GAL., 8" HT., 6" SPRD., 24" O.C. 3 GAL., 12" HT., 8" SPRD., 15" O.C.	161	H, A A, FF	TTTT	ape 110. LC000	230
PODOCARPUS	PODOCARPUS MACROPHYLLUS PRINGLES	3 GAL., 12" HT., 9" SPRD., 15" O.C. 3 GAL., 24" HT., 9" SPRD., 24" O.C.	289 754	H,FF	N PRONTEC	BB T	đ.
OVER				ł	1318	HI HOR	arit, RL 318 2023
E SUNFLOWER RF YAUPON HOLLY	HELIANTHUS DEBILIS	1 GAL., 12" HT., 10" SPRD., 24" O.C. 3 GAL,, 12" HT., 12" SPRD., 24" O.C.	÷	G, FF	AG66731	STATI OF CORI	Danita R. Bryarit, F LA6667318 Aug 18, 2023
E PACIFIC JUNIPER RALD GODDESS LIRIOPE	JUNIPERUS CONFERTA 'BLUE PACIFIC' LIRIOPE MUSCARI 'EMERALD GODDESS'	1 GAL, 3" HT., 8" SPRD., 18" O.C. 1 GAL, 6" HT., 6" SPRD., 18" O.C.	-	G, FF G, FF	E STINA	2	Danita I
RF FACAHATACHEE GRASS	TRIPSACUM FLORIDANA	3 GAL, 15" HT , 10" SPRD., 30" O.C.	÷	G, FF	18193 19193	and a	<u></u>
NTIE	ZAMIA PUMILA	3 GAL., 15" HT ., 10" SPRD,, 30" O.C.	- 8	G, FF		as been digitally	
ARGENTINE BAHIA SOD ST. AUGUSTINE GRASS		LID SOD, CONTRACTOR TO VERIFY QTY. LID SOD, CONTRACTOR TO VERIFY QTY			the date	by Danita R. Br adjacent to the ppies of this docu	seal
ENT IDUOUS RGREEN					are not c sealed and	onsidered signer of the signature m	d and lust be
RIDAFRIENDLY UND COVER					verified or	n any electronic (	copies -
GE VE					1.11.11.1		$\{\cdot\}_{i\in I}$
IS" OFF EDGE		BE OF PAVEMENT OR CURB			Designed: Drawn: N. Checked: Job No.: F	Crouch D. Bryant	A Date Revision
	BEDLINE AS SHOW	CATE PLANTS IN A TRIANGULAR PAT 'N, SPACED EQUIDISTANT FROM EAC T SPACING SPECIFIED IN THE PLANT	н		Date: 6/05.	and the second s	© 2023
	SHRUB/GROUNDO	OVER SPACING PLAN					
		N.T.S.			DETAILS	nters	FLORIDA
	DPI INSPECTION NOTES(REQUIRED)	PALM HEIGHT/TRUNK SPECIFICATIONS			B	0	н, F
	D.P.J. PALM INSPECTION NOTE:	OVERALL HEIGHT (OA)			AND		BEACH,
A Hard	ALL PALMS SHALL HAVE A VAUD AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI)	HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOIL LINE TO THE NATURAL POSITION OF THE LAST				2	
	INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE	FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT, OR HEIGHT MEASUREMENTS			NOTES	0	ST. AUGUSTINE
al .	CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS	SPECIFIED, WILL BE CONSIDERED OVERALL HEIGHT.			2 Z	C	SUS
and a second	CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND	CLEAR TRUNK(CT): A MEASUREMENT FROM THE SOIL LINE			APE	A	AUG
OVERALL HEIGHT	MAIN TAINED WITH THE CONSTRUCTION RECORDS.	TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO			CA	U	ST.
8		TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL LIE AT THE BASE OF THE PETIOLE OF THE THIRD OR				0	OF
		FOURTH YOUNGEST BUT FULLY EXPANDED LEAF.			LANDS	0	CITY
	DPI INSPECTION NOTES(REQUIRED)	CLEAR WOOD (CW): A MEASUREMENT FROM THE SOIL LINE			1		0
	D.P.I. INSPECTION OF ALL PLANT	TO THE HIGHEST POINT OF THE TRUNKFREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN					
	MATERIAL: ALL TREES, SHRUBS AND SOD WILL HAVE A VALID AND CURRENT STATE	SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE				1.000	
	OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION	CROWN SHAFT, IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT					
ABOVE UNLESS	CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE, THE DPI	LEAF BASES MAY NOT HAVE CLEAR WOOD			THICCH	ET NOT VALUE	FOR
	CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS				CONST	EET NOT VALID RUCTION WITH ETE SET OF PL	OUT
	CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE				-		
	CONSTRUCTION RECORDS					heet No.	
						.5.0	
				-	1		