



AGENDA

PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING

TUESDAY, SEPTEMBER 19, 2023, 6:00 P.M.

CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080

NOTICE TO THE PUBLIC

THE PLANNING AND ZONING BOARD HAS ADOPTED THE FOLLOWING PROCEDURE: PERSONS WISHING TO SPEAK ABOUT TOPICS THAT ARE ON THE AGENDA MUST FILL OUT A SPEAKER CARD IN ADVANCE AND GIVE IT TO THE RECORDING SECRETARY. THE CARDS ARE AVAILABLE AT THE BACK OF THE MEETING ROOM. THIS PROCEDURE DOES NOT APPLY TO PERSONS WHO WANT TO SPEAK TO THE BOARD UNDER "PUBLIC COMMENTS."

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF AUGUST 15, 2023
- V. PUBLIC COMMENT
- VI. NEW BUSINESS
 - A. Final/Major Development File No. FD 2023-01, for demolition of the existing 48,555-square-foot Publix grocery store and rebuild to a new 54,964-square-foot Publix grocery store and reconfiguration of the Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant
 - B. First reading of proposed code changes to the City's Land Development Regulations, Section 6.01.04, pertaining to building height measurement, exceptions and applications, and to add Section 6.01.05, pertaining to drainage requirements for new development
 - C. Discussion of proposed code changes to the City's Land Development Regulations, Section 3.02.05, pertaining to regulations for special events for business/promotional/sales permits on privately-owned property in the commercial land use district

VII. OLD BUSINESS

VIII. BOARD COMMENT

IX. ADJOURNMENT

NOTICES TO THE PUBLIC

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In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the City Manager's Office no later than seven days prior to the proceeding at the address provided above, or telephone 904-471-2122, or email sabadmin@cityofsab.org

For more information on any of the above agenda items, please call the City of St. Augustine Beach Building and Zoning Department at 904-471-8758. The agenda material containing background information for this meeting is available on a CD upon request at the City Manager's office for a \$5.00 fee. Adobe Acrobat Reader will be needed to open the file.



MINUTES

PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING

TUESDAY, AUGUST 15, 2023, 6:00 P.M.

CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080

I. **CALL TO ORDER**

II. **PLEDGE OF ALLEGIANCE**

III. **ROLL CALL**

BOARD MEMBERS PRESENT: Chairperson Kevin Kincaid, Hulsey Bray, Conner Dowling, Larry Einheuser, Victor Sarris, Junior Alternate Rhys Slaughter.

BOARD MEMBERS ABSENT: Vice-Chairperson Chris Pranis, Hester Longstreet, Senior Alternate Gary Smith.

STAFF PRESENT: Building Official Brian Law, City Attorney Jeremiah Blocker, Planner Jennifer Thompson, Recording Secretary Bonnie Miller.

IV. **APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF JULY 18, 2023**

Motion: to approve the minutes of the Board's meeting of July 18, 2023. **Moved** by Conner Dowling, **seconded** by Larry Einheuser, **passed 6-0** by unanimous voice-vote.

V. **PUBLIC COMMENT**

There was no public comment pertaining to anything not on the agenda.

VI. **NEW BUSINESS**

- A. Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, Kathleen J. Bice and Marvin D. Krohn, Applicants

Jennifer Thompson: This first order of business is a variance application for 400 E Street. The applicants are requesting a reduction in the front setback from the required 20 feet

to 12 feet, and a reduction of the street side setback, as this is a corner lot, from the required 12 feet to 8 feet. These requested setback reductions are for a proposed 300-square-foot addition for a covered porch and a covered wheelchair-accessible ramp.

Kevin Kincaid: Any questions? Hearing none, may we hear from the applicants, please?

Yuliia Moiseeva, 405 Treaty Oak Lane, St. Augustine, Florida, 32092, Agent for Applicants: I am the agent for the applicants, who are the owners of 400 E Street. We are asking for setback reductions to add a covered porch and handicap-accessible ramp. The covered porch will be a wood-frame structure, and the ramp is for elderly persons in wheelchairs.

Conner Dowling: Will the new porch and ramp be built on the same foundation?

Yuliia Moiseeva: The wooden wheelchair-accessible ramp will be built on the side of the house, and it will be elevated up to the porch addition and made level with the front door, so the elderly persons will have easy wheelchair access from the ramp leading up to the covered front porch and then to the front door of the house. The porch and ramp will be built on a wood pier or post foundation with a wood frame porch structure on top.

Rhys Slaughter: Is there a precedent for doing this under the circumstances that it is only used as a covered porch and a wheelchair ramp, so that moving forward, say in 10 years or so, this won't become a complete remodel with all of this additional square footage converted to enclosed space within the setbacks allowed by this variance, if approved?

Brian Law: If this variance is granted, the approval will be very specific to what the applicants are requesting to build per the variance application. If the property is sold down the road, the new owners would not be able to enclose the porch without a permit, and ideally, as part of their due diligence, zoning would look at that for assessment of an impact fee adjustment for new conditioned space, and there would be a record of how the porch and wheelchair ramp were allowed to be built, per the variance application and approval. This doesn't mean current or future owners couldn't apply to build something else down the road, but to do so, they would have to go through the variance process to change anything not specifically allowed per the approval of this current variance request.

Kevin Kincaid: So, this does not give current or future owners an automatic right to build anything they want within the setback reductions that would be granted by this variance. The variance, if granted, would be specifically limited to what the applicants are requesting to build per the submitted variance application and accompanying plans.

Brian Law: Yes. If the Board decides to grant this variance, I recommend the motion to approve include language stating construction shall be in accordance with the submitted plans, or something of that magnitude. Keep in mind, if the house is destroyed by a natural disaster, terrorist act, or something like that, this variance would no longer exist.

Conner Dowling: What will happen to the little porch currently located at the entrance to the house on the E Street side? This little porch is not raised up but is built at grade.

Yuliia Moiseeva: The porch itself is no longer there, but the concrete slab is still there.

Conner Dowling: I was just curious, as I saw that an enclosed porch not elevated to the level of the house used to be there. It appears, without a graphic scale in my hand, that the new addition will extend slightly beyond the area where that porch slab is, correct?

Yuliia Moiseeva: Yes, the covered porch addition will extend a little further out and to the west of this slab.

Kevin Kincaid: I saw a significant number of names on the petition in support of this variance included in the variance application submittal. I assume nothing has been submitted opposing the variance, as we have nothing in our packets in opposition to this.

Jennifer Thompson: No. We have not received anything in opposition to this.

Kevin Kincaid: I went by and looked at this property, and it looks like the proposed porch and handicap ramp would fit fine in the location the applicants are asking to build them.

Brian Law: Going backwards a little bit, I would like to ask the applicants or their agent to state on the record that they have no intention of doing anything aside from what has been submitted and requested in the variance application and accompanying documents, and that there will be no future enclosures or anything of that nature.

Kevin Kincaid: Okay. Could you state on the record that you have no intention of creating anything different from what is shown on the submitted plans for the variance request?

Yuliia Moiseeva: I would like to ask my clients this, if I may. After checking with them, they have no other plans for this addition aside from what is shown in the application.

Victor Sarris: And just so we don't get ourselves into any trouble, this hardship that is defined in item number one of the considerations for the granting of a variance, as stated on page four of the application, meets the City's criteria for hardships, right?

Brian Law: Only the Board can answer that question.

Kevin Kincaid: I actually had a problem with the hardship, and the way it was written in the application, because the hardship can't be the rule. It's like, if I get a speeding ticket, the hardship can't be the speed limit. Elsewhere in the application, however, it states the proposed addition is for wheelchair access for occupants who are 85 and 95 years old, so I was able to pull that over to the hardship, and for myself, it met my criteria for a hardship. However, one of the first things I noticed in this variance application was the way the hardship stated the setback rules won't allow the porch and handicap-accessible ramp addition that the applicants want to build, but the hardship cannot be the rule.

Yuliia Moiseeva: The hardship is wheelchair access as stated by the Americans with Disabilities Act (ADA), that every person in a wheelchair must have an access.

Jeremiah Blocker: The ADA would not apply here, because the property is not a public facility, and it doesn't meet the threshold for ADA accessibility. I think the premise, and you have already gotten there, is that you have elderly people needing wheelchair access. The ADA would not apply in these circumstances, but we still want to make sure, when the Board puts the reasoning behind its decision on the record, that the hardship is legally sufficient. It has already been stated that it is for wheelchair access for elderly persons.

Kevin Kincaid: The Board has been careful about this in the past, because if we approve this variance, we are approving something that goes on in perpetuity, whereas the people requesting the variance may not. We have declined, in the past, to use medical conditions strictly as a hardship, because medical conditions don't last, but once a variance is approved, the building goes on and the variance lasts for however long the building exists.

Jeremiah Blocker: The Board can deviate, and rely on the humanitarian impacts, but the applicants are not running a business here, so do not rely on the ADA for your decision.

Victor Sarris: So, are we saying that this isn't specific to a medical condition?

Kevin Kincaid: I think the medical condition contributes to it, along with the ability of the occupants to fully utilize their property.

Victor Sarris: Is the medical condition the hardship then?

Kevin Kincaid: Probably, yes, the age and medical conditions of the elderly persons.

Conner Dowling: I would also see the property site and the constraints of this corner lot as a hardship. There are obviously good reasons for the corner street side setbacks, but if this wasn't a corner lot, the side setbacks would be 7.5 feet each, based on the City's current Land Development Regulations (LDRs), and the applicants would not need a variance for a reduction of the required 12-foot street side yard setback to 8 feet.

Kevin Kincaid: Correct, they would only need a variance for the front yard setback.

Conner Dowling: There is a great example on the overhead right now of the aerial view of this property and adjacent properties on this block of E Street, where you can see that the fronts of the houses are all consistent and the roofs are all in a line. This develops a street corridor and these types of neighborhood character things. This is not to say that you can't have front porches extending beyond that, but I think keeping the depth of the proposed front porch to a maximum of 8 feet is a good number, as this still allows a comfortable size porch on which you could have a table and chairs. One other thing I saw, from just a streetscape perspective, so that this addition doesn't come across as so glaring and something that needs a variance, is that potentially, completing the gable of the roofline of the new addition could be done as opposed to continuing up to the top of the existing house gable. This would reduce the scale a little bit, and I think this would make the streetscape potentially better. Also, a couple of other things could be done to the design. We are not here to critique the design, but when you are pushing into a setback,

I feel it is the Board's job to think about things like this and how they will affect the street and the neighbors. To me, these are overall small things that could be done while still achieving the square footage needed for the front porch and handicap ramp addition.

Kevin Kincaid: I know we approved another similar variance maybe last year, on F Street?

Brian Law: You actually just approved one even more recently.

Jennifer Thomspson: Yes, this was for 607 11th Street, where a variance was granted to reduce the rear setback from 20 feet to 16 feet, 5 inches for an addition.

Kevin Kincaid: All right, any other questions or comments? Hearing none, do we have a motion?

Rhys Slaughter: I'll motion to approve Land Use Variance File No. VAR 2023-11, as it has been submitted.

Larry Einheuser: I'll second that.

Kevin Kincaid: We have a motion and a second. Any discussion on the motion?

Conner Dowling: I personally would like to see that front addition as an 8-foot-wide porch and the gable roofline changed, for the reasons I stated previously. Otherwise, I would be in favor of approving this.

Kevin Kincaid: My only thought about this is that people will be trying to turn a wheelchair around in this space, and if the applicants are actually going to accomplish what they want and allow people in wheelchairs to use the porch and get around tables and whatever, reducing the width of the porch might make this pretty tight. It would be different if there were complaints from the neighborhood, but the applicants have really made the effort to get the petition in support of this from pretty much everyone around them, and we've heard no opposition to this. I understand what you are saying, but I do not think asking for a front setback reduction to 12 feet for the porch is unreasonable in this case.

Larry Einheuser: I agree.

Yuliia Moiseeva: The proposed additions are designed the way they are because there are electrical wires on the left side, and an electrical pole on the wall. The existing roof is elevated and further extended so as not to interrupt or interfere with any electrical issues.

Conner Dowling: The electrical meter is on the exterior wall in that location?

Yuliia Moiseeva: Yes.

Jeremiah Blocker: Mr. Chair, before the Board votes, I want to make sure we open the floor for public comment.

Kevin Kincaid: Good point. Is there any public comment? Hearing none, we have a motion and a second. Conner, do you want to create an amendment to the motion?

Conner Dowling: Yes, I'll amend the motion to change the roofline, because the issue, to me, is the streetscape and encroachment into the front setback, and seeing that roofline stick out. Reducing the porch depth to 8 feet, which I feel is still acceptable for a porch, and changing the roofline would minimize the impact and visibility of this addition.

Brian Law: There was a motion made and a second to this motion, so that motion needs to run its course, or the motion needs to be withdrawn, and another motion made and seconded, if the original motion on the floor is to be amended.

Jeremiah Blocker: The original maker of the motion would have to agree to amend the motion that was made. This is commonly known as a friendly amendment, and then there would have to be a second to this friendly amendment.

Rhys Slaughter: Perhaps I was the wrong one to make this motion, because honestly, if the applicants were asking for this wheelchair ramp because they have relatives who visit twice a year, I would say yes to it. They should be allowed to have whoever they want, including anyone who is wheelchair-bound, to be able to come into their home, and if this is what they feel is necessary, I just feel like we are not giving up setback areas all the way to the street for a ramp or anything like that. For me personally, it makes sense to move forward on this as requested by the applicants in their variance application. I am not completely disagreeing what you are saying with the proposed amendment to the motion, but I also think it is the applicants' house, and they are the ones who have to look at it every day, and maybe the suggestion itself is enough to motivate them to at least look into what has been suggested in the proposed amendment to the motion. They are the ones who have to deal with wheelchair-bound people in their house every day, and I think they may need a little more space and flexibility to make what they want to do work.

Brian Law: Okay, so we have the original motion that was made and seconded, and the maker of this motion does not seem willing to amend his motion. However, this motion can still run its course, and if the Board's vote is not favorable and the motion does not pass, another motion can be made and seconded and the Board can vote on that. But the original motion must run its course now, and the Board needs to vote on it.

Kevin Kincaid: Okay, we have a motion and a second. The motion is to approve the variance in accordance with the application documents and plans as submitted. Is there any more discussion on this motion? Hearing none, may we have a vote, please?

Motion: to approve Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet, for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, in accordance with the

documents and plans submitted in the variance application. **Moved** by Rhys Slaughter, **seconded** by Larry Einheuser, **passed 5-1** by the Board by voice-vote, with Conner Dowling dissenting.

- B. Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, Carmen Pollitz, Agua Construction, Agent for Gary T. and Cynthia A. Oslin, Applicants

Jennifer Thompson: The next item on the agenda is a variance application for 508 Weeping Willow Lane, in the Seagrove PUD. This request is for setback reductions from the 10-foot rear and north side setback requirements for pools, screen enclosures and decks, per Seagrove's PUD ordinance, to 5 feet. In the past, the Board has seen several similar variances in Seagrove, as the setback restrictions per the PUD ordinance are more restrictive than the City's setbacks per the LDRs for pools, screen enclosures, and decks.

Kevin Kincaid: So, the only reason we are here is because the PUD ordinance has more restrictive setbacks than the City's LDRs require. If this property were anywhere else but Seagrove, a variance would not be required for the pool, screen enclosure, and deck.

Jennifer Thompson: Correct. The Seagrove Architectural Review Board did sign off and approve the proposed plans submitted by Agua Construction, agent for the applicants.

Kevin Kincaid: Has there been any opposition to this?

Jennifer Thompson: No. Correspondence in support of the variance from the property owners of 852 Tides End Drive and 611 Poinsettia Street has been submitted.

Kevin Kincaid: So there has been no opposition at all, and this is similar to other variances the Board has approved recently for properties in Seagrove.

Jennifer Thompson: Correct.

Kevin Kincaid: Okay, may we hear from the applicant, please?

Carmen Pollitz, Agua Construction, 2550 North State Street, Bunnell, Florida, 32110, Agent for Applicants: I am Carmen Pollitz, and I represent Agua Construction and the applicants, who are the owners of the property at 508 Weeping Willow Drive. Basically, this variance request is no different from others that have been applied for and granted in Seagrove. The lot is atypical in shape, and the footprint of the house is skewed on the property, so there is not really much of a backyard at all. The pool will still be small, even with the requested setback reductions to 5 feet for the rear and north side setbacks. There is no lot or structure behind this property, as it backs up to A1A South.

Kevin Kincaid: Are there any questions for the applicant's agent, or any public comments?

Kathleen Elizabeth, 931 A1A Beach Boulevard Unit 201, St. Augustine Beach, Florida, 32080: Will any significant trees be cut down to build what the applicants propose?

Carmen Pollitz: No, there are no trees being cut down. A couple of tree limbs may need to be trimmed or taken off, but that is all.

Kevin Kincaid: Any trees with diameters-at-breast-height (DBH) of 30 inches or greater would require approval from this Board before they could be removed, correct?

Brian Law: Yes, any tree with a DBH of 30 inches or greater that is requested to be removed requires application to the Planning and Zoning Board, and the Board's approval of the tree removal request, per the tree regulations in Article V of the LDRs.

Kevin Kincaid: Any other comments, or questions? Hearing none, do we have a motion?

Motion: to approve Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, in accordance with the documents and plans submitted in the variance application. **Moved** by Kevin Kincaid, **seconded** by Victor Sarris, **passed 6-0** by the Board by unanimous voice-vote.

VII. OLD BUSINESS

There was no old business.

VIII. BOARD COMMENT

There was no further Board comment.

IX. ADJOURNMENT

The meeting was adjourned at 6:24 p.m.

Kevin Kincaid, Chairperson

Bonnie Miller, Recording Secretary

(THIS MEETING HAS BEEN RECORDED IN ITS ENTIRETY. THE RECORDING WILL BE KEPT ON FILE FOR THE REQUIRED RETENTION PERIOD. COMPLETE AUDIO/VIDEO CAN BE OBTAINED BY CONTACTING THE CITY MANAGER'S OFFICE AT 904-471-2122).



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Major Development Application File #2023-01

Major Development file #2023-01 is an application to replace the existing Publix grocery store located at 1033 A1A S. in the Anastasia Plaza owned by Regency Centers. The existing Publix will be demolished and replaced with a new 54,964 square foot building. Additionally, the parking lot will be improved in phases to keep businesses in the plaza operational during the rebuild process.

At the June 20, 2023, Planning and Zoning meeting, the board reviewed the Concept Review for the Publix rebuild and Anastasia Plaza remodel. During this meeting, the Planning and Zoning Board granted variances for this project which are attached.

St. Johns County Fire Department and St. Johns County Utilities have included comments regarding this project, and the applicants are aware of the requirements set forth by these agencies.

Sincerely,

Jennifer Thompson, CFM

Planner
Planning and Zoning Division



City of St. Augustine Beach Building and Zoning Department

To: Planning & Zoning Division
From: Brian Law, Director of Building & Zoning
Date: 09/12/2023
Re: 1033 A1A Beach Blvd. Final Development Order

The 2020 Florida Building Code has no objection to the requested remodel/rebuild of the Publix located in the Regency Plaza at 1033 A1A Beach Blvd. The Building Division will review the completed architectural and engineered plans upon submittal for a building permit.

Brian W. Law

Brian W. Law, CBO, CFM, MCP
Director of Building & Zoning



City of St. Augustine Beach

MEMORANDUM

TO: Bonnie Miller, Senior Planner

FROM: Jason D. Sparks, P.E., Engineering Director *JDS*

DATE: August 31, 2023

SUBJECT: Major Development Review for Publix Rebuild and Anastasia Plaza

Engineering reviewed the proposed grading and storm drainage and stormwater pollution prevention plan and offers the following:

- This is an existing privately owned and maintained drainage system permitted through the St. Johns River Water Management District (SJRWMD).
- Provide the approved SJRWMD permit modification and associated documentation reflecting proposed improvements.
- Indicate the pond outfall location on the plans.
- Upon completion, provide drainage system inspection results and construction certification of completion signed and sealed by a licensed professional engineer registered in the State of Florida.
- Ensure all roof drains, downspouts, associated piping and appurtenances conform with the latest edition of the Florida Plumbing Code.
- No objection to modifying, upgrading and rehabilitating the existing stormwater drainage system as per the SJRWMD permitted documents.

From: [Dawn Lyons](#)
To: [Jennifer Thompson](#)
Subject: Publix Reno -DRC
Date: Monday, August 28, 2023 1:58:37 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

CAUTION: This message originated from outside of your organization. Clicking on any link or opening any attachment may be harmful to your computer or the City. If you do not recognize the sender or expect the email, please verify the email address and any attachments before opening. If you have any questions or concerns about the content, please contact IT staff at IT@cityofsab.org.

Good afternoon,

Below are the rejected Fire comments. Please resubmit to Fire in person with 2 copies of the below comments, answered, signed and dated by the person that completes them along with 2 copies of any plan sheets that will need to be slip sheeted into the set we have here.

St. Johns County Fire Rescue Department
Fire Marshal Office
Plans Review Comment Sheet

Project Name Publix
Project Address 1033 A1A Beach Blvd.
Contractors Name
Contractors Phone Number
Sprinkler Contractor
Underground
Fire Alarm Contractor
FHID 13440

Plans Reviewed under Florida Uniform Fire Safety Standards or Florida Fire Prevention Code 7th edition.

To help speed the review process you may include a written comment response summary to clarify or illustrate where corrections were made on plans. Please remember to use the Florida Fire Prevention Code 7th Ed for all code reference in a response to comments. The fire plans examiner does not use or have a copy of the Florida Building Code.

Plans for the demolition of an existing Publix and some of the neighboring retail space, to re-build a slightly larger Publix. The existing store is 48,555sf with 55,663sf of retail. The proposed store is 54,964sf with 48,761 of retail.

1. Identify on the plans that the building will be provided with fire sprinklers.
2. How will egress be maintained for the existing occupancies while the concrete in front of the existing retail building is removed and replaced?

3. Please pass on to the design professional of the building an evaluation for a radio enhancement system is required for new buildings over 12,000 square feet and/or underground areas. NFPA 1:11.10 and NFPA 1225 (2022 ED.)
4. On utility plan, clearly label where public utility stops and beginning of point of service (POS) for private fire main in accordance with FS 633.102(24). (This is where main serves fire protection exclusively.)
5. On utility plan, place note: FDC shall be 5" Storz connection with 30 degree downward deflection.
6. Place this statement prominently on all utility pages:
This civil utility plan is provided for DRC (civil) review only. Approval of these plans do not include approval for private underground water main, hydrants, and fire sprinkler mains. Civil drawings illustrate layout only and do NOT show full compliance with the respective Fire Codes. For Fire Marshal underground permit, detailed shop drawings must be prepared and submitted by the installing underground fire contractor I, II or V showing complete compliance with, but not limited to, NFPA 24, (Standard for Installation of Private Fire Service Mains and their Appurtenances.)

Kindest regards,



Dawn Lyons

Administrative Assistant/Fire Permit Specialist

Fire Rescue/Fire Prevention

St. Johns County Board of County Commissioners

4040 Lewis Speedway, St. Augustine FL 32084

904-209-1712 | www.sjcfl.us

From: Chad J. Smith <cjsmith@sjcfl.us>
Sent: Monday, September 11, 2023 3:30 PM
To: Melissa Caraway <mcaraway@sjcfl.us>
Subject: RE: City of St. Aug Beach Publix plans

Missy,

Below are the comments for the St Augustine Beach Publix:

1. Provide existing square footage that will be demolished.
2. Provide arch/plumbing plans of new building.
3. Clarify ownership of new 1 & ½" water meter. This plaza is master metered so the new meter could be a privately owned meter to deduct usage from master meter. SJCUC does not allow publicly owned meters on private water mains.
4. Provide grease trap spec sheets for review by SJCUC Pre-treatment Dept.

Thank you,



Chad J Smith
Utility Review Specialist
Utilities Development Group
St. Johns County Board of County Commissioners
1205 SR 16, St. Augustine FL 32084
904-209-2632 | www.sjcfl.us



Florida has a very broad public records law. Most written communications to or from the St. Johns County Board of County Commissioners and employees regarding public business are public records available to the public and media through a request. Your e-mail communications may be subject to public disclosure. This communication may contain privileged and confidential information intended only for the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution or duplication of this communication is strictly prohibited. If you are not the intended recipient, please notify the sender by reply email and destroy all copies of the original message.

**BEFORE THE COMPREHENSIVE PLANNING
AND ZONING BOARD OF THE
CITY OF ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR A LAND USE VARIANCE
PERTAINING TO RECONFIGURATION OF THE
EXISTING ANASTASIA PLAZA SHOPPING
CENTER PARKING LOT IN A COMMERCIAL
LAND USE DISTRICT AT 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080**

Public Records of St. Johns County, FL
Clerk number: 2023050382
BK: 5783 PG: 661
6/28/2023 2:45 PM
Recording \$18.50

ORDER APPROVING VARIANCE FILE NO. VAR 2023-10

This CAUSE came on for public hearing before the Comprehensive Planning and Zoning Board of the City of St. Augustine Beach, Florida, on Tuesday, June 20, 2023, upon Application (File No. VAR 2023-10) by Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant, for a land use variance for existing non-conforming uses for minimum parking space size of 9-feet-by-20 feet, per Section 6.03.05.B of the City of St. Augustine Beach Land Development Regulations, to 9.5-feet-by-18; reduction of the northern landscape buffer, per Section 6.06.04 of the City of St. Augustine Beach Land Development Regulations, to five (5) feet to accommodate the proposed new truck dock; and to lower the existing non-conforming impervious surface ratio (ISR) coverage but still exceed the maximum 70% ISR coverage allowed in a commercial land use district, per Section 6.01.02 of the City of St. Augustine Beach Land Development Regulations, for proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, Parcel Identification Number 174200-0020, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080. The Planning and Zoning Board having reviewed the Application, received public comments, and upon motion duly made, seconded and passed, the variance was approved based upon the following findings and subject to the following conditions:

1. The required considerations for the granting of a variance as detailed in the Application and discussed at the hearing are incorporated herein as findings of fact, as a result of the finding that the hardship granted is due to the acquisition of the property preceding the adoption of the regulations from which the variance is sought, which shall act in favor of the granting of the variance per Section 10.02.03.B.4 of the City of St. Augustine Beach Land Development Regulations.

2. A land use variance shall be granted for the allowances as stated above for the proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot on the property described above in a commercial land-use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, subject to the condition that a barrier fence be installed along the northern buffer area of the Anastasia Plaza property adjacent to Hammock Dunes Park.
3. A violation of the conditions listed above shall void the variance approval granted herein.

Any appeal of this decision may be made by filing an application for appeal to the St. Augustine Beach City Commission within thirty (30) days of the date of this Order.

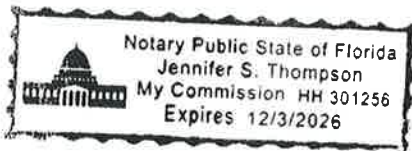
DONE AND ORDERED this 28 day of June, 2023, at St. Augustine Beach, St. Johns County, Florida.

**COMPREHENSIVE PLANNING AND ZONING BOARD OF
THE CITY OF ST. AUGUSTINE BEACH, FLORIDA**

By: 
Kevin Kincaid, Chairperson

**STATE OF FLORIDA
COUNTY OF ST. JOHNS**

The foregoing instrument was acknowledged before me by means of ☒ **physical presence or**
☐ **online notarization**, this 28 day of June, 2023,
by (print name of person signing above) Kevin Kincaid,
who is personally known to me ☒ or has produced the following type of
identification _____




Signature of Notary Public, State of Florida

**BEFORE THE CITY COMMISSION OF
ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR REBUILD OF THE PUBLIX
GROCERY STORE, 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080, AND
RECONFIGURATION OF THE ANASTASIA PLAZA
SHOPPING CENTER PARKING LOT, 1001 A1A BEACH
BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA,
32080**

FINAL DEVELOPMENT FILE NO. FD 2023-01

This CAUSE, pertaining to 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Parcel Identification Number 174200-0020, PERTAINING TO PARCEL A, ALL THAT PORTION OF THE NORTH ONE-HALF AND THE SOUTH ONE-HALF OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, WHICH LIES BETWEEN COUNTY ROAD A1A BEACH BOULEVARD AND STATE ROAD A1A SOUTH, AND PARCEL B, THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, PARCEL IDENTIFICATION NUMBER 174200-0020, AS RECORDED IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, came before the City of St. Augustine Beach Comprehensive Planning and Zoning Board on the 19th day of September, 2023, and before the St. Augustine Beach City Commission on the 2nd day of October, 2023, upon Application of Patrick McKinley, Agent for Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, Applicants, for review and final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, for the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations. The Comprehensive Planning and Zoning Board and the City Commission, having reviewed and considered the Application, the report of the Building and Zoning Department, the testimony, statements, and evidence presented before the Comprehensive Planning and Zoning Board and the City Commission by the Applicants and the Applicants' Authorized Agent and other persons speaking at the public hearings, including public comments, and the City Commission finding it has jurisdiction over this proceeding and that the required notices have been provided and were afforded to all parties, upon motion duly made, seconded and passed, the Application was approved and determined as follows:

FINDINGS OF FACT

The Comprehensive Planning and Zoning Board and City Commission find that the Application for Final Development File No. FD 2023-01 for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, conforms to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan, and, except as may be required to be cured herein, with all applicable City of St. Augustine Beach Land Development Regulations.

The application and accompanying documents submitted for Final Development File No. FD 2023-01 demonstrate the proposed final development plans for major development at the above-referenced property do not degrade the prescribed Levels of Service for the City of St. Augustine Beach and/or any interlocal agreement with St. Johns County concerning services or capacities which affect consistency and concurrency determinations.

Subject to the conditions hereinafter set forth, it is determined that this Final Development Order File No. FD 2023-01, prepared for the Final Development Application File No. FD 2023-01, submitted by Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, as represented by its Authorized Agent Patrick McKinley, Regency Centers, Jacksonville, Florida, for final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, unless modified by a subsequent final development order, is approved for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, and shall not be effective except upon ratification of each and every one of the following conditions.

ORDERED as follows:

1. Nothing contained herein shall be deemed to waive the requirement that the proposed final development plans for major development on the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard comply with current State of Florida Building Codes and conform to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan and the City of St. Augustine Beach Land Development Regulations, with the exception of the variance approval granted per Land Use Variance File No. VAR 2023-10 for the subject property, and the provisions of all other applicable agencies.
2. Production of evidence satisfactory to the Building Official of receipt by the Applicant of permits deemed necessary allowing development in accordance with this Final Development Order and accompanying drawings, if required, from the Army Corps of Engineers, the Florida Department of Environmental Protection, St. Johns River Water Management District, St. Johns County Fires Services, and St. Johns County Utility Department, shall be issued and in effect prior to the issuance of any permits for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080.

3. Essential services such as electricity, telephone, cable and other communication lines and street lighting must be in place prior to issuance of any Certificate of Occupancy for the subject property development. Water and sewer connection fees shall be paid and in place prior to the issuance of any building permits. Screening of any utility apparatus placed above ground shall be required. Fire hydrants shall also be in place prior to issuance of any building permits.
4. Applicant/Owner shall undertake measures to protect trees and environmentally sensitive areas by providing protective barriers prior to and during all development activities immediately adjacent to the right-of-way and utility easements and the issuance of any infrastructure or utility permits. Clearing and/or tree removal permits will not be issued prior to acceptance of a completed application for a building permit for site work.
5. Applicant/Owner shall be responsible for all repairs of curbs and/or damage to City of St. Augustine Beach, St. Johns County, and Florida Department of Transportation roadways.
6. This Final Development Order shall be effective for a period of five (5) years from its effective date, at which time the applicant/owner shall have completed one hundred (100%) percent of all development construction on the site.
7. Successors and assigns of the Applicant/Owner shall be bound by the terms and conditions of this Final Development Order. However, persons acquiring property do so with notice that although under appropriate circumstances, owners of property have vested rights, changes in the City of St. Augustine Beach Land Development Regulations affecting use would not be acquired under the transfer of ownership.
8. Any appeal of this decision may be made by filing an application for appeal to the St. Johns County Circuit Court within thirty (30) days of the date of this Order.

DONE AND ORDERED this _____ day of _____, 2023, at St. Augustine Beach, St. Johns County, Florida.

**CITY COMMISSION OF THE CITY OF
ST. AUGUSTINE BEACH, FLORIDA**

Attest: _____
Max Royle, City Manager

By: _____
Donald Samora, Mayor

THIS ORDER IS SUBJECT TO APPEAL PER THE PROVISIONS OF SECTION 12.06.04 OF THE CITY OF ST. AUGUSTINE BEACH LAND DEVELOPMENT REGULATIONS.

Sec. 12.06.04.C. *“Appeals from the decision of the City Commission shall be appealed to the circuit court.”*

City of St. Augustine Beach Building and Zoning Department
Major Development Application
2200 A1A SOUTH, ST. AUGUSTINE BEACH, FLORIDA 32080
WWW.STAUGBCH.COM BLDG. & ZONING (904)471-8758 FAX (904) 471-4470

1. Legal description of the parcel for which major development is being sought:

Lot(s) _____ Block(s) _____ Subdivision _____

Street Address 1033 A1A Beach Blvd, St. Augustine, FL 32080

2. Location (N, S, W, E): West Side of (Street Name): A1A Beach Blvd

3. Is the property seaward of the Coastal Construction Control Line (CCCL)? Yes ☒ No (Circle one)

4. Real estate parcel identification number: 1742000020

5. Name and address of owner(s) as shown in St. Johns County Public Records: _____

MCW-RC-FL-Anastasia, LLC

One Independent Dr, Suite 114, Jacksonville, FL 32202

6. Current land use classification: Commercial

7. Section of land use code from which major development is being sought: Land Development Regulations

Sections 12.02.05--12.02.15

8. Reasons for which major development is being sought: Replacing the existing grocery store with a newer and better building to serve the community, improved parking and look of the shopping center.

9. Architect's name and address: Fisher Architects 2315 Belleair Rd. Clearwater, FL 33764

10. Contractor's name and address: TBD

11. Please check if the following information required for submittal of the application has been included:

☒ Survey including legal description of parcel submitted for major development

☒ Copy of warranty deed

☐ Owner Authorization Form (if applicable)

☒ List of names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

☒ First-class postage-stamped legal-size envelopes with names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

☒ Survey to include all existing structures and fences

☐ Other documents or relevant information to be considered

☒ Fourteen (14) copies of the completed application including supplemental documentation and/or relevant information

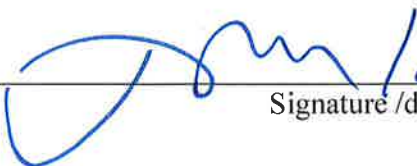
In filing this application for major development, the undersigned acknowledges it becomes part of the official record of the Comprehensive Planning and Zoning Board and/or City Commission and does hereby certify that all information contained is true and accurate, to the best of his/her knowledge.

The application must be signed by either the owner or the owner's authorized agent. If an authorized agent's signature is used, a notarized written authorization approving such representation must accompany the application.

Patrick McKinley

Print name (owner or his/ her agent)

Print name (applicant or his/her agent)

 / 08/18/23

Signature /date

Signature /date

One Independent Dr, Suite 114, Jacksonville, FL 32202

Owner/agent address

Applicant/agent address

904-598-7000

Phone number

Phone number

****All agents must have notarized written authorization from the property owner(s)****

**** Please note that if you are a resident within a development or subdivision that has covenants and restrictions, be aware that approval of this application by the Comprehensive Planning and Zoning Board and/or City Commission does not constitute approval for variation from the covenants and restrictions.****

Major Development File #: 2023-01

Applicant's name: MCW-RC-FL-Anastasia, LLC

Applicant's address: One Independent Dr, Suite 114, Jacksonville, FL 32202

Applicant's phone number and email address: 904-598-7000 patrickmckinley@regencycenters.com

For major development at: 1033 A1A Beach Blvd, St. Augustine, FL 32080

Fee Schedule for Major Development Application

Major Development Application Fee:	\$350.00 if under 2 acres/\$500.00 if 2 acres or more
Legal Notice Sign:	\$10.00
Review of Preliminary Plat:	\$150.00 plus \$2.00 per lot with a \$400.00 minimum
Final Plat Approval:	\$5.00 per lot plus the cost of conformity with Chapter 177 F.S. by a professional surveyor and mapper either employed by or under contract to the City of St. Augustine Beach. The estimated cost shall be deposited with the City at the time of application and any costs in excess of the estimated amounts shall be paid by the applicant prior to execution of the plat by the City.

App # 7693
Amount Paid 510.00 Date 08-21-2023

Invoice # 1303312 Received by Jennifer Thompson

Check # or type of credit or debit card payment VISA

City of St. Augustine Beach Major Development Application 07-22

Instructions for Applying for Major Development

- 1) Per Section 12.02.06, all major developments, per the criteria in Section 12.02.05 of the City's Land Development Regulations (LDRs), must be submitted to concept review. The applicant/developer shall file a completed application and a concept plan as a prerequisite to obtaining major development approval.
- 2) All major development shall be reviewed by the Comprehensive Planning and Zoning Board for recommendation of approval or denial to the City Commission, based on determination of whether the plan satisfies the requirements of the City's LDRs, with the final hearing and final determination of approval or denial to be made by the City Commission.
- 3) The major development application shall be placed on the agenda of the next meeting of the Comprehensive Planning and Zoning Board that allows the giving of required notice. Notification of all property owners within a radius of 300 feet of the property for which major development is being sought shall be mailed by the Building and Zoning Department. The St. Johns County Real Estate/Survey Department (telephone number 904-209-0804) will provide applicants with a list of the names and addresses of the property owners within 300 feet of the property for which major development is requested. **This list of names and addresses of all property owners within 300 feet is to include the applicant's name and address. Along with the list of all property owners within 300 feet, the applicant shall submit stamped, addressed legal-size (4-inch-by-9½-inch) envelopes with the major development application. (Note: Do not fill in a return address on the stamped envelopes. The Building and Zoning Department will stamp its address on the envelopes as the return address and mail the legal notices to all property owners).** Signatures and approvals of property owners within 300 feet are not necessary.
- 4) After review and recommendation to the City Commission of approval or denial by the Comprehensive Planning and Zoning Board, the major development applications shall be placed on the agenda of the next meeting of the City Commission, with the final hearing and final determination of approval or denial to be made by the City Commission.

Required Information for Major Development Application

Per Section 12.02.07.D of the City's LDRs, final development plans for major development shall include the information required in a preliminary (concept) plan plus the following additional or more detailed information:

- 1) *Existing conditions.*
 - a. A map of vegetative cover including the location and identity by common name of all protected trees, including existing protected trees within areas of proposed improvements.
 - b. A topographic map of the site clearly showing the location, identification, and elevation of benchmarks, including at least one (1) benchmark for each major water control structure.
 - c. A detailed overall project area map showing existing hydrography and runoff patterns, and the size, location, topography, and land use of any off-site areas that drain onto, through or from the project area.

- d. Existing surface water bodies, wetlands, streams and canals within the proposed development site, including seasonal high water-table elevations and attendant drainage areas for each.
- e. The location of any underground or overhead utilities, culverts and drains on the property and within one-hundred (100) feet of the proposed development boundary.
- f. Location, names and widths of existing and proposed streets, highways, easements, building lines, alleys, parks, and other public spaces and similar facts regarding adjacent property.
- g. The one-hundred (100) year flood elevation, minimum required floor elevation and boundaries of the one-hundred (100) year floodplain for all parts of the proposed development.
- h. Drainage basin or watershed boundaries identifying locations of the routes of off-site waters onto, through or around the project.

2) *Proposed development activities and design.*

a. *Generally.*

- 1. Area and percentage of total site to be covered by an impervious surface.
- 2. Grading plans specifically including perimeter grading.
- 3. Construction phase lines.

b. *Buildings and other structures.*

- 1. Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.
- 2. Front, rear and side architectural elevations of all buildings.
- 3. Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.
- 4. Minimum floor elevations of buildings within any one-hundred (100) year floodplain.
- 5. The location, dimensions, type, composition, and intended use of all other structures.

c. *Potable water and wastewater systems.*

- 1. Proposed location and sizing of potable water and wastewater facilities to serve the proposed development, including required improvements or extensions of existing off-site facilities.
- 2. The boundaries of proposed utility easements.
- 3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.
- 4. Exact locations of on-site and nearby existing and proposed fire hydrants.

d. *Streets, parking and loading.*

- 1. The layout of all streets and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.
- 2. A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street
- 3. The location of all exterior lighting.
- 4. The location and specifications of any proposed garbage dumpsters.
- 5. Cross sections and specifications of all proposed pavement.
- 6. Typical and special roadway and drainage sections and summary of quantities.

e. *Tree removal and protection.*

1. All protected trees to be removed and a statement of why they are to be removed.
2. Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.
3. A statement of the measures to be taken to protect the trees to be retained.
4. A statement of tree relocations and replacements proposed.

f. *Landscaping.*

1. Location and dimensions of proposed buffer zones and landscaped areas.
2. Description of plant materials existing and to be planted in buffer zones and landscaped areas.

g. *Stormwater management.*

1. An erosion and sedimentation control plan that describes the type and location of control measures, the stage of development at which they will be put into place or used, and maintenance provisions.
2. A description of the proposed stormwater management system, including:
 - (a) Channel, direction, flow rate, and volume of stormwater that will be conveyed from the site, with a comparison to natural or existing conditions.
 - (b) Detention and retention areas, including plans for the discharge of contained waters, maintenance plans, and predictions of surface water quality changes
 - (c) Areas of the site to be used or reserved for percolation including an assessment of the impact on groundwater quality.
 - (d) Location of all water bodies to be included in the surface water management system (natural and artificial) with details of hydrography, side slopes, depths, and water-surface elevations or hydrographs.
 - (e) Linkages with existing or planned stormwater management systems.
 - (f) On and off-site rights-of-way and easements for the system including locations and a statement of the nature and of the reservation of all areas to be reserved as part of the stormwater management system.
 - (g) The entity or agency responsible for the operation and maintenance of the stormwater management system.
3. The location of off-site water resource facilities such as works, surface water management systems, wells, or well fields, that will be incorporated into or used by the proposed project, showing the names and address of the owner of the facilities.
4. Runoff calculations shall be in accord with the stormwater management manual.

h. *Environmentally sensitive lands.*

1. The exact sites and specifications for all proposed drainage, filling, grading, dredging, and vegetation removal activities including estimated quantities of excavations or fill materials computed from cross sections, proposed within a protected environmentally sensitive zone.
2. Detailed statement of other materials showing the following:
 - (a) The percentage of the land surface of the site that is covered with natural vegetation and the percentage of natural vegetation that will be removed by development.
 - (b) The distances between development activities and the boundaries of the protected environmentally sensitive zones.
3. The manner in which habitats of endangered and threatened species are protected.

i. *Signs.*

1. Two (2) blueprints or ink drawings of the plans and specifications of regulated signs, and method of their construction and attachment to the building or ground, except those plans for standard signs that have been placed on file with the building official by a licensed sign contractor for standard signs. The plans shall show all pertinent structural details, wind pressure requirements, and display materials in accordance with the requirements of this Code and the building and electrical codes adopted by St. Augustine Beach. The plans shall clearly illustrate the type of sign or sign structure as defined in this Code; the design of the sign, including dimensions, colors and materials; the aggregate sign area; the dollar value of the sign; maximum and minimum heights of the sign; and sources of illumination.
2. For regulated ground signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas and other existing ground signs on the parcel.
 - (b) All regulated trees that will be damaged or removed for the construction and display of the sign.
 - (c) The speed limit on adjacent streets.
3. For regulated building signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas, buildings and structures on the parcel.
 - (b) The number, size, type, and location of all existing signs on the same parcel, except a single business unit in a multiple occupancy complex shall not be required to delineate the signs of other business units.
 - (c) A building elevation or other documentation indicating the building dimensions.

j. *Subdivision.*

Proposed number, minimum area and location of lots, if development involves a subdivision of land.

k. *Land use and dedications.*

1. Location of all land to be dedicated or reserved for all public and private uses including rights-of-way, easements, special reservations, and the like.
2. Amount of area devoted to all existing and proposed land uses, including school, open space, churches, residential and commercial, as well as the location thereof.
3. The total number and type of residential units categorized according to number of bedrooms. The total number of residential units per acre (gross density) shall be given.

l. *Wellfield protection.*

Location of onsite wells, and wells within one-thousand (1,000) feet of any property line, exceeding one-hundred-thousand (100,000) gallons per day.

m. *Historic and archaeologic sites.*

The manner in which historic and archaeologic sites on the site, or within one-thousand (1,000) feet of any boundary of the site, will be protected.

Per Section 12.02.07.E of the City's Land Development Regulations, final development plans for subdivision of land shall comply with the requirements of this section. Per Section 12.02.07.F of the City's Land Development Regulations, final development plans for commercial structures requires the front, rear and side architectural elevations for commercial structures to demonstrate compliance with the following criteria:

- 1) The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
- 2) The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure is in conformity with the standards of these Land Development Regulations and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved. Conditions may be applied when the proposed building of structure does not comply with the above criteria and shall be such as to bring the structure or project into conformity. If any application is disapproved, the Comprehensive Planning and Zoning Board shall detail in its findings the criterion or criteria that are not met. The actions taken by the Board shall be reduced to writing, signed by the chairman and a copy thereof made available to the applicant upon request.
- 4) The proposed structure or project is in harmony with the proposed developments in the general area, with the Comprehensive Plan for the City and with the criteria set forth in any supplemental criteria and procedural rules of the Comprehensive Planning and Zoning Board, as the same may be from time to time amended and revised. Any decision of the Board must comply with such supplemental criteria and rules of the Board may be amended from time to time by ordinance regularly adopted upon action initiated by the City Commission.
- 5) The proposed landscape and irrigation design shall promote water conservation. Water requirements may be reduced by providing for:
 - a. Preservation and reestablishment of native plant communities.
 - b. The use of drought-tolerant, site specific, and shade producing plants.
 - c. Design and maintenance of irrigation systems which eliminate waste of water due to over application or loss from damage.
- 6) Renovations to the exterior of a commercial structure shall comply with the criteria and supplemental criteria for Community Appearance Standards; provided, however, than an application for final development approval for a renovation of an existing structure shall only require such information as may reasonably be required by the Building Department or the Comprehensive Planning and Zoning Board to demonstrate compliance with the criteria and supplemental criteria for Community Appearance Standards and shall not be required to provide information as to areas not proposed for renovation except as provide for an understanding of the proposed changes or alterations to the structure.
- 7) Definitions. As used in this section 12.02.07.F and as used in the Supplemental Criteria for Community Appearance Standards, the following terms and phrases shall have the meanings indicated:

Commercial structure shall mean a structure located within a commercially zoned area regardless of its actual size.

Renovation shall mean a change or alteration to a material element of a structure that changes or alters (a) a major structural or architectural feature of a building including changes to roof lines, porches, location or size of windows or doors; or (b) the exterior of a building requiring the submittal of plans signed and signed by a registered architect or engineer.

Per Section 12.02.08 of the City's Land Development Regulations, a master plan for the entire development site must be approved for a major development that is to be developed in phases. The master plan shall be submitted simultaneously with an application for review of the final development plan for the first phase of the development and must be approved as a condition of approval of the final plan for the first phase. A final development plan must be approved for each phase of the development under the procedures for development review prescribed above.

Per Section 12.02.09 of the City's Land Development Regulations, a master plan is required for a major development which is to be developed in phases. A master plan shall provide the following information for the entire development as specified in this section. Review of final development plans for major developments shall comply with Section 12.02.10.

Per Section 12.02.10.B, *Amendment to final development plans*, "If a major development has received a final development order or other approval, the amendment, modification or extension of such a final development order or approval shall only be by the same process as the order or approval was originally obtained (except that the concept review process does not have to be repeated) and the review fee shall also be the same. For Planned Unit Developments, strikethrough and underlined sections of the proposed changes shall be submitted. Expired final development orders are not eligible for renewal."

Per Section 12.02.13, each administrative hearing shall conform to the following procedures, as supplemented by law, rule or decision.

- A. *Burden and nature of proof.* The applicant for any development permit must prove that the proposal satisfies the applicable requirements and standards of this Code.
- B. Order of proceedings.
 - 1. The Comprehensive Planning and Zoning Board and City Commission shall:
 - a. Determine whether it has jurisdiction over this matter.
 - b. Determine whether any member must abstain or is disqualified. Abstaining from voting or disqualification because of conflict of interest must be declared in accordance with Part III of
 - c. Chapter 112, Florida Statutes.

Where proposed minor or major development includes the subdivision of land, platting shall conform to the requirements of Section 12.02.14 of the City's LDRs. Final approval of the development plan by the Comprehensive Planning and Zoning Board shall be made contingent upon approval by the St. Augustine Beach Commission of a plat conforming to the development plan.



This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

[illegible]

Designed: W. Olszewski	
Drawn: D. Schneider	
Checked: W. Olszewski	
Job No.: R9123	
Date: 8/05/23	2023

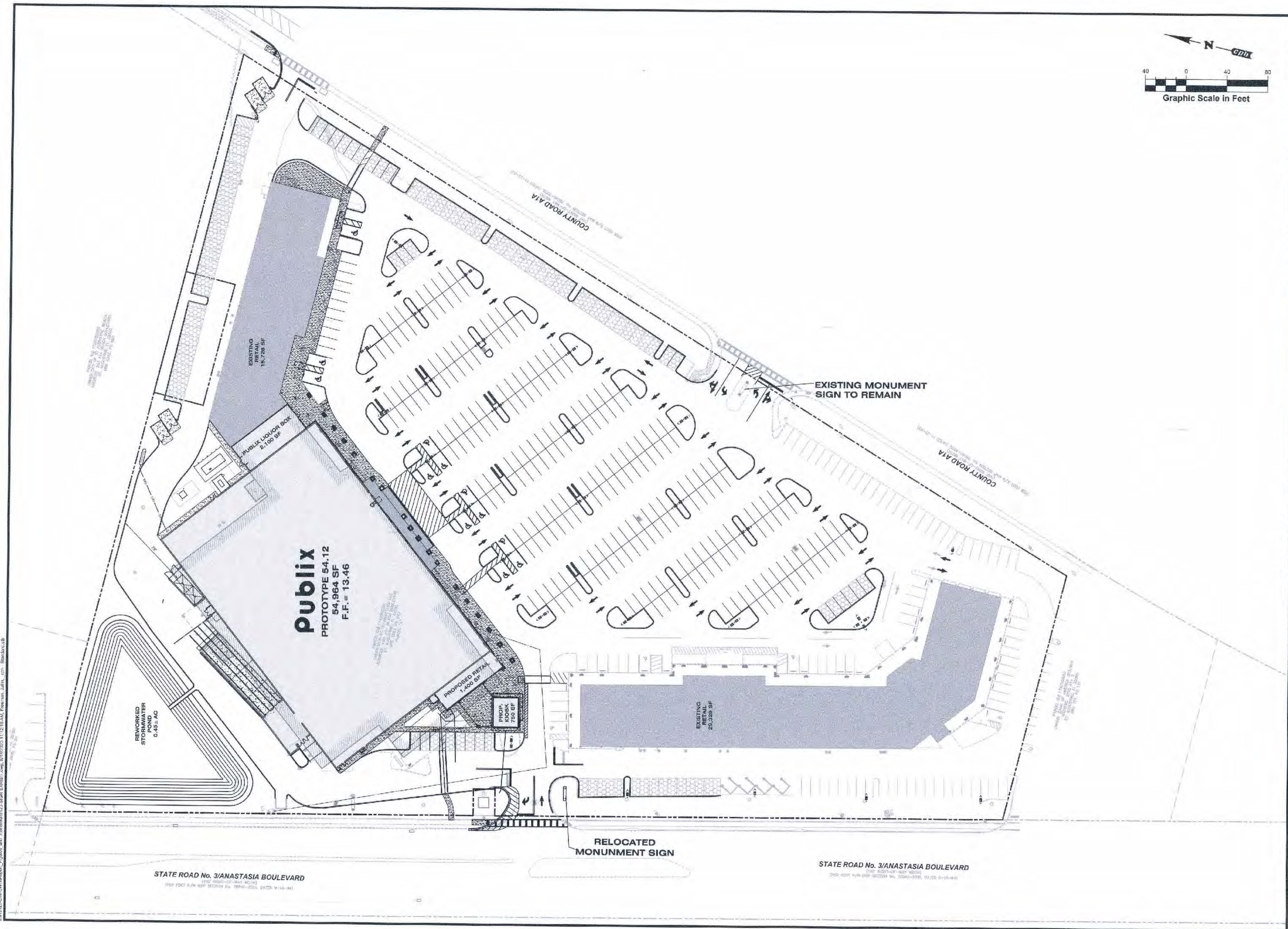
OVERALL SITE PLAN

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

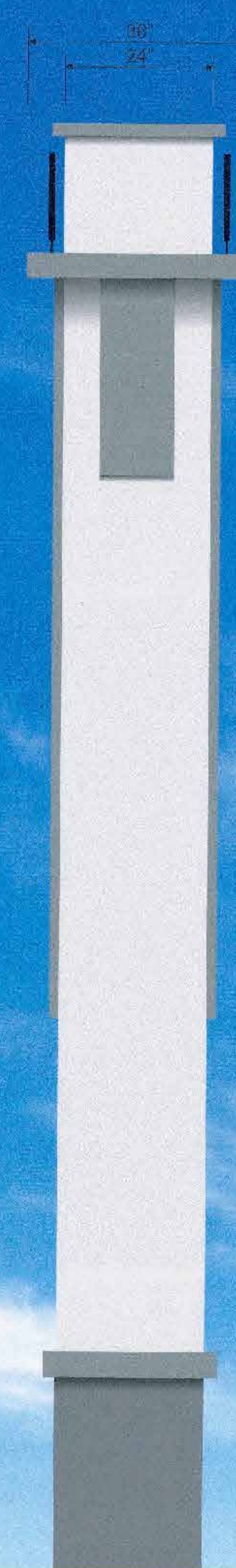
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C0.5



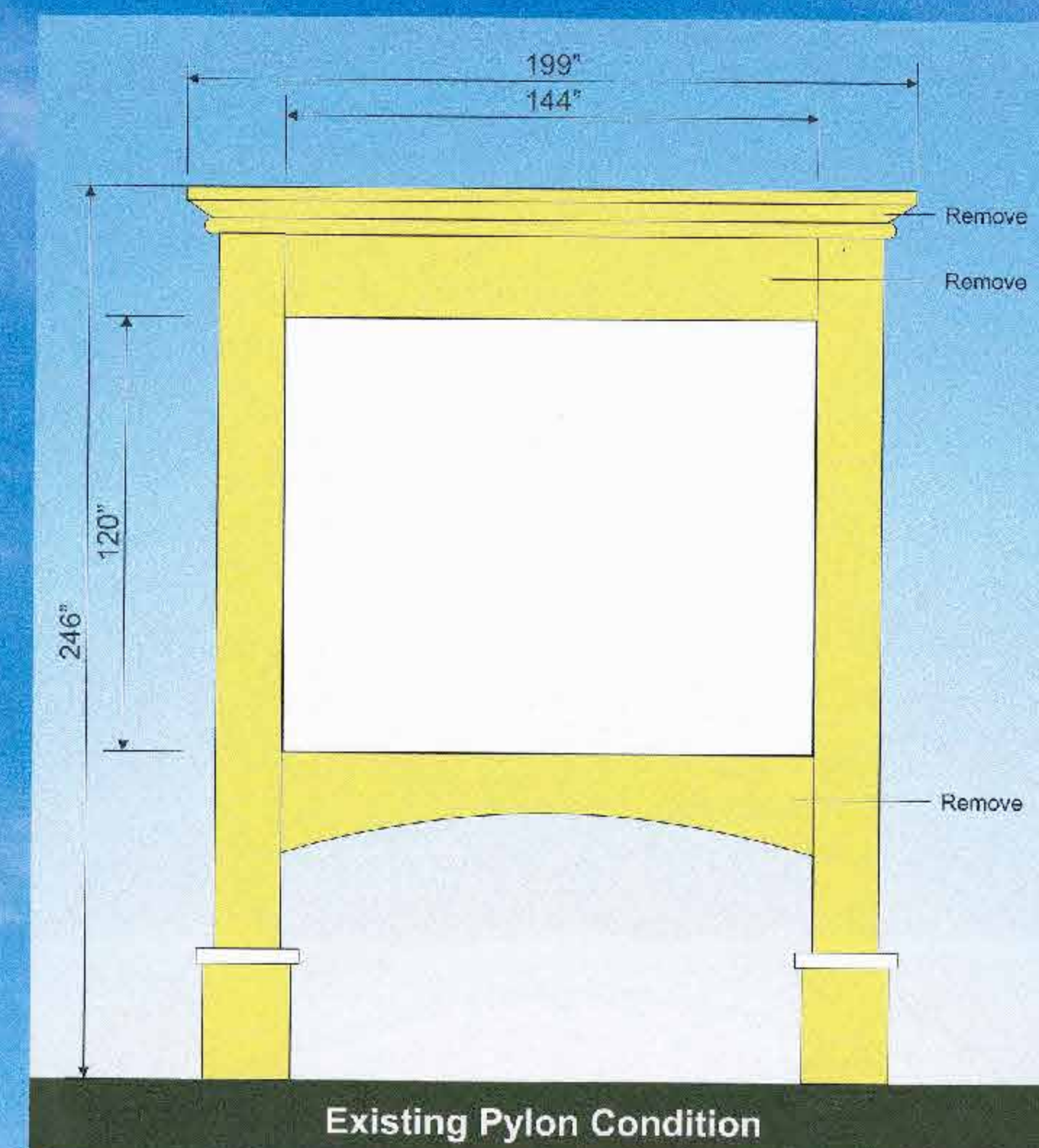
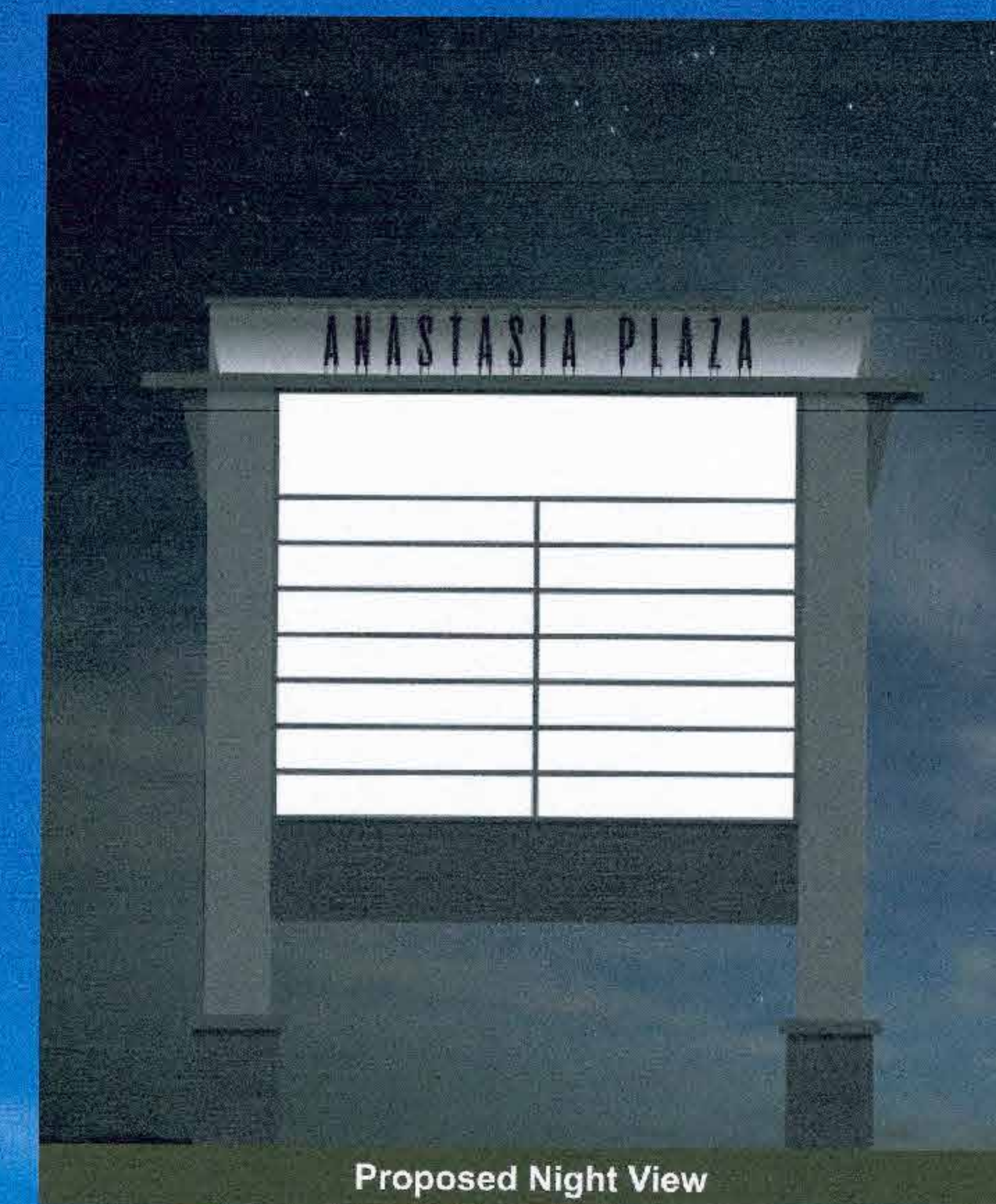
Refurbish existing D/F internally illuminated pylon sign. Existing pylon to new fabricated aluminum elements added to top portion of sign.
 New 1" thick routed acrylic letters pin mounted off horizontal embellishment.
 External upwards illumination by white L.E.D.s. Existing tenant cabinet to receive new L.E.D. illumination. Bottom portion of cabinet to receive new fabricated aluminum "slat" elements. Pole covers to be repainted.



Front Elevation - Illuminated Pylon Sign | 3/8" = 1'-0"



End View - Illuminated Pylon Sign | 3/8" = 1'-0"



Paint to match SW 7004 Snow Bound
 Paint to match Slate Gray
 Paint to match Musket Gray



1282 Energy Cove Ct.
 Green Cove Springs, FL 32043
 904-529-7446
 904-529-1567 fax

Client:
 Anastasia Plaza
 St. Augustine, FL
 Origin Date: 03.17.23

DWG NAME:
 ANP100-00

Revision:
 00.00.23

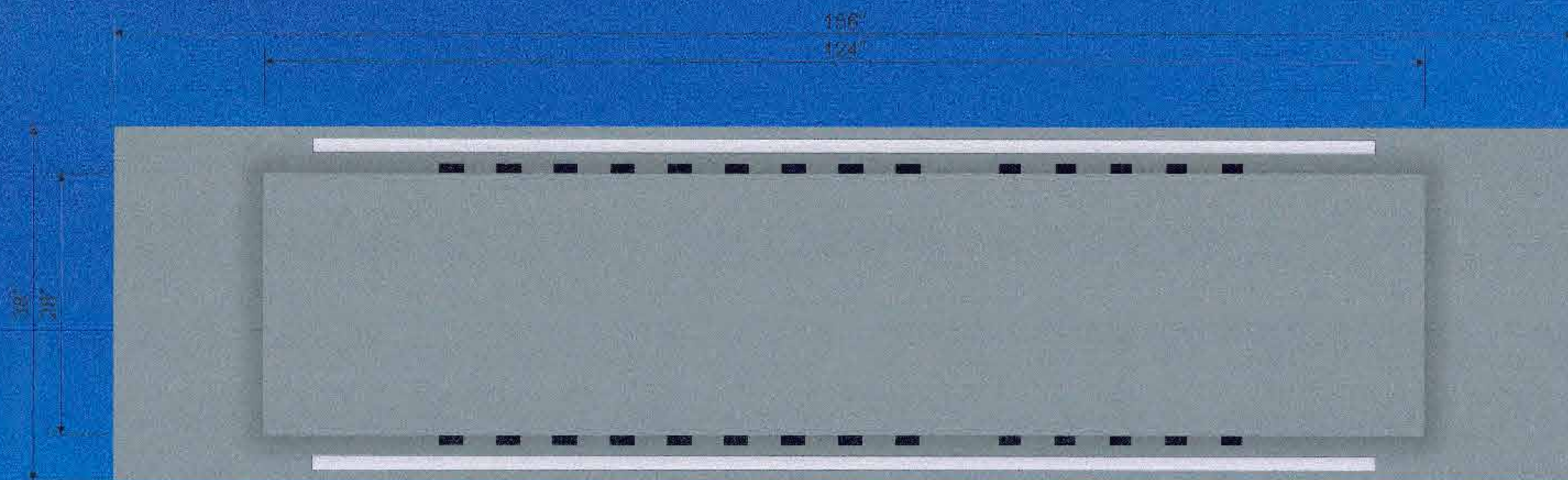
Salesperson: C. Knight
 Drawn By: T. Beach

X
 Client Approval/Date:
 X
 Landlord Approval/Date:
 Notes:



Burn rate on plastic
 as measured by
 ASTM D-635 is 1.8
 inches per minute

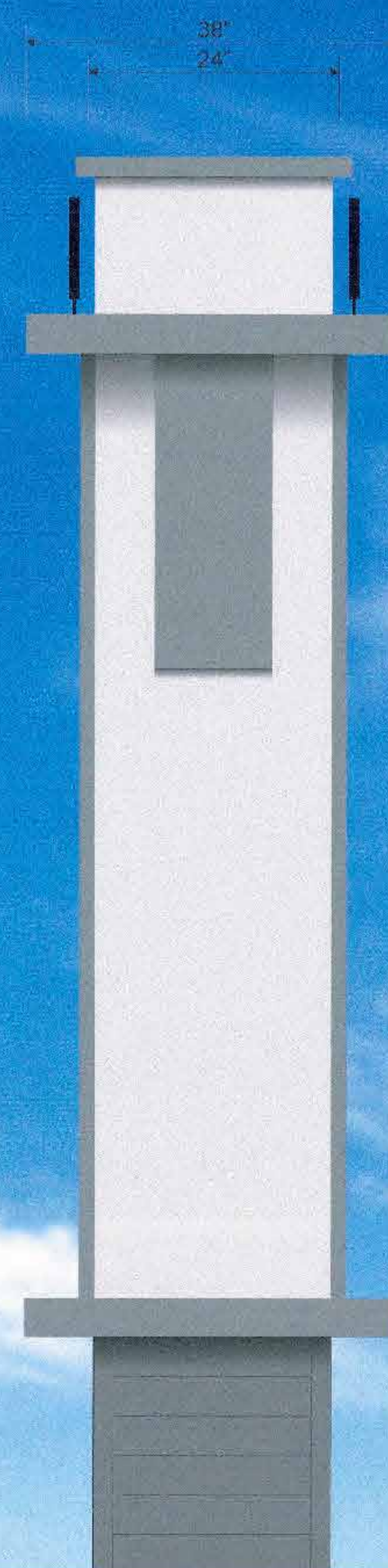
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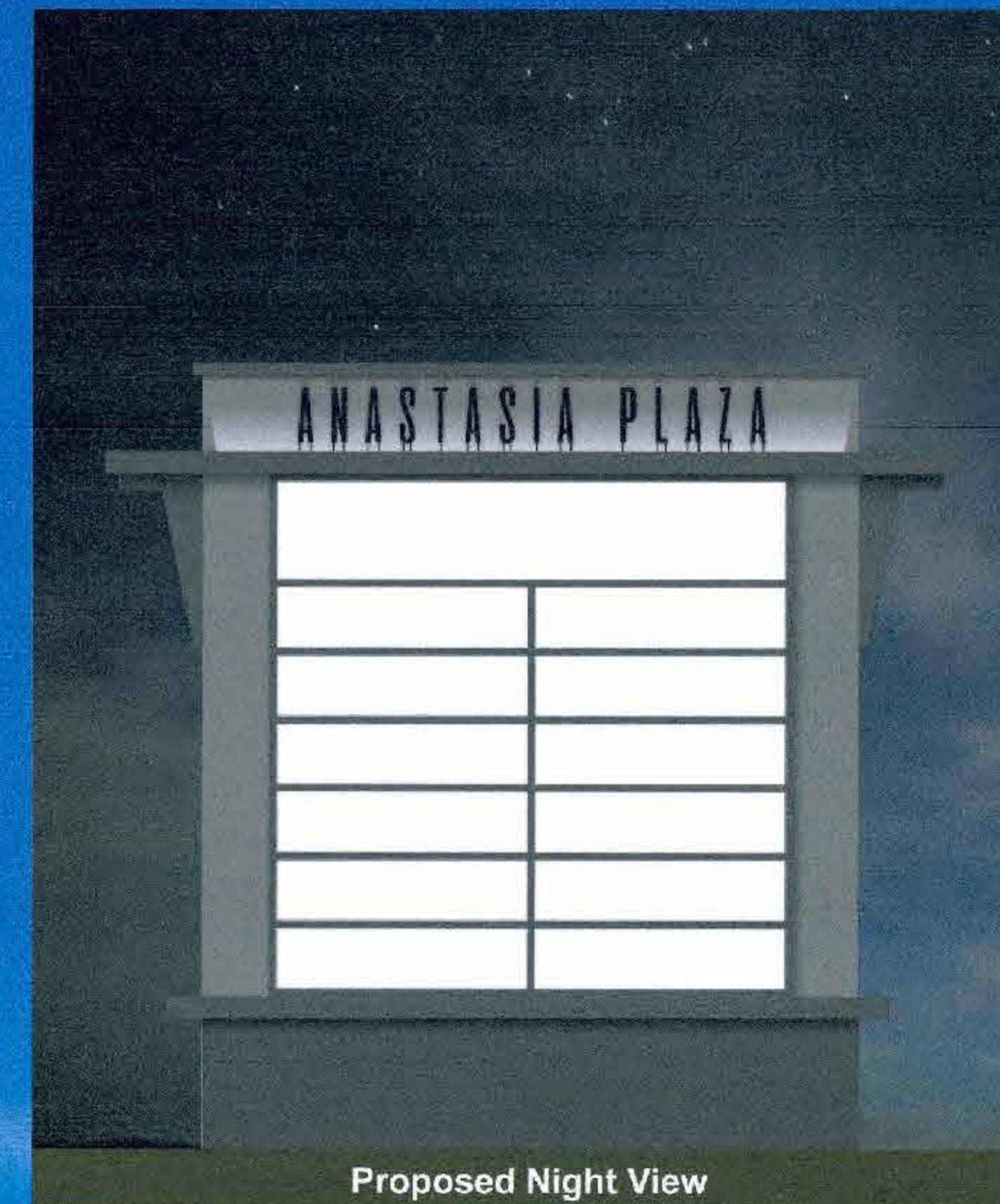
Plan View



Front Elevation - Illuminated Pylon Sign 1/2" = 1'-0"



End View - Illuminated Pylon Sign 1/2" = 1'-0"



Proposed Night View

D/F internally illuminated pylon sign with .063" aluminum skin over 2" x 2" aluminum tube frame. 1" thick routed acrylic letters pin mounted off horizontal embellishment.

Sign to have 8' x 8' D/F illuminated tenant cabinet with 1 1/2" T-bar dividers.

1" thick routed acrylic letters pin mounted off horizontal embellishment.

External upwards illumination by white L.E.D.s.

Sign to have automotive grade painted finish and installed with single steel support pole into concrete footer.



Paint to match
SW 7004 Snow Bound



Paint to match
Slate Gray



Paint to match
Musket Gray



1282 Energy Cove Ct.
Green Cove Springs, FL 32043

904-529-7446
904-529-1567 fax

Client:
Anastasia Plaza
St. Augustine, FL
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X
Client Approval/Date:
X
Landlord Approval/Date:
Notes:



Burn rate on plastic
as measured by
ASTM D-635 is 1.8
inches per minute

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PUBLIX FRONT ELEVATION

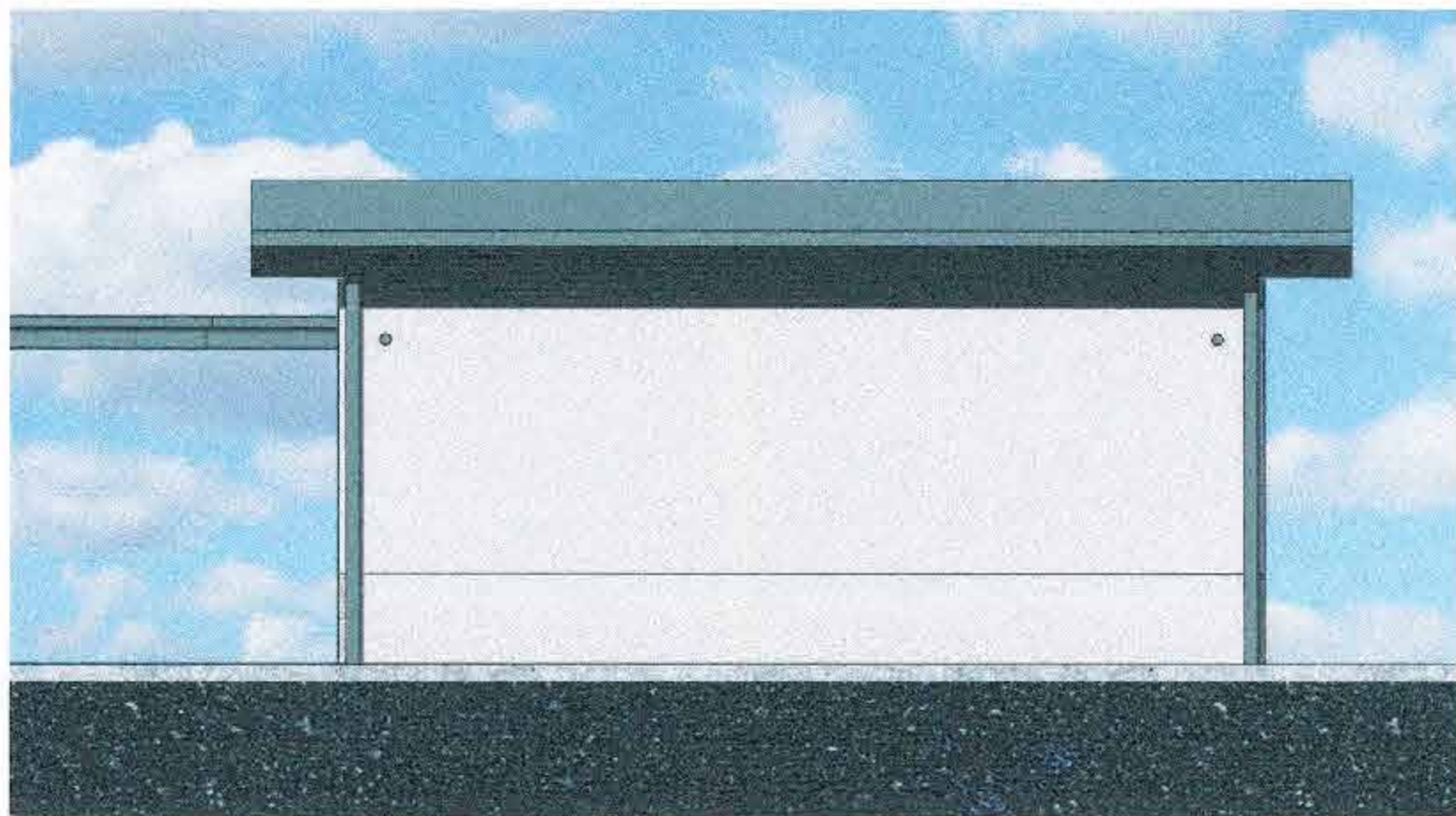
SIGNAGE REQUIREMENTS

PROVIDED: PUBLIX: 187.05 BOXED SF

Frontage	Number	Maximum Square Footage
0—49 feet	3	100
50—100 feet	4	150
Over 100 feet	5	200



KIOSK FRONT ELEVATION



KIOSK REAR ELEVATION

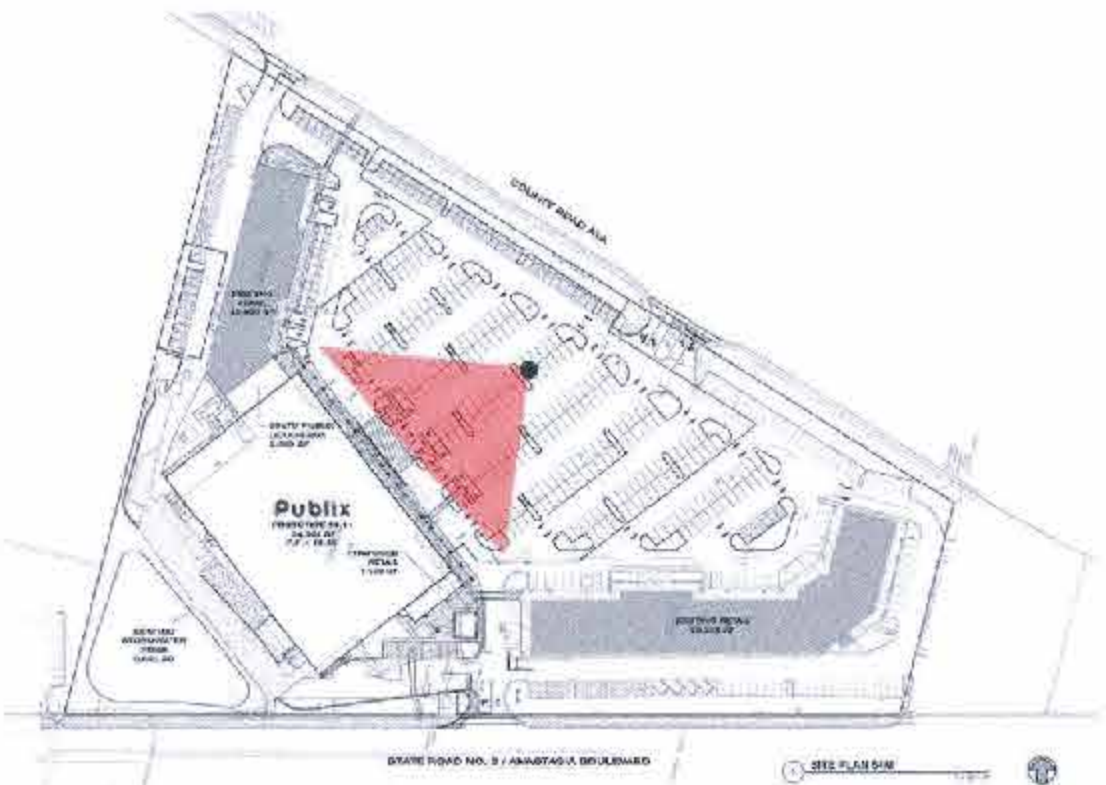


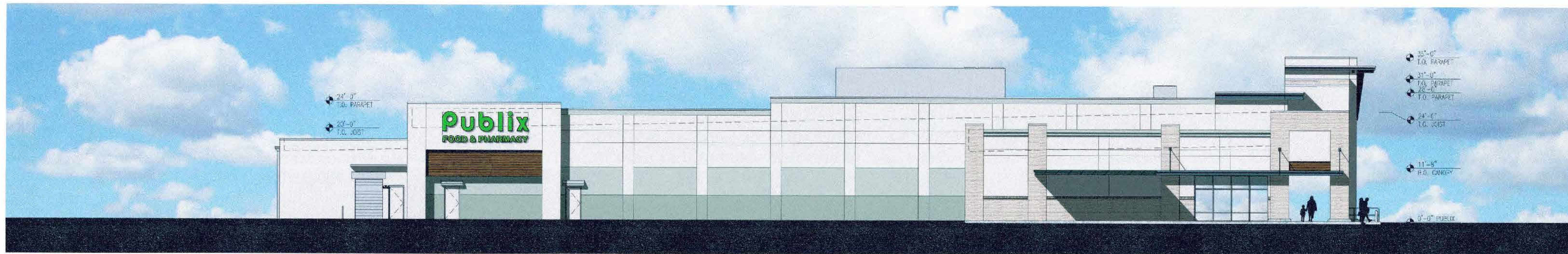
KIOSK RIGHT ELEVATION



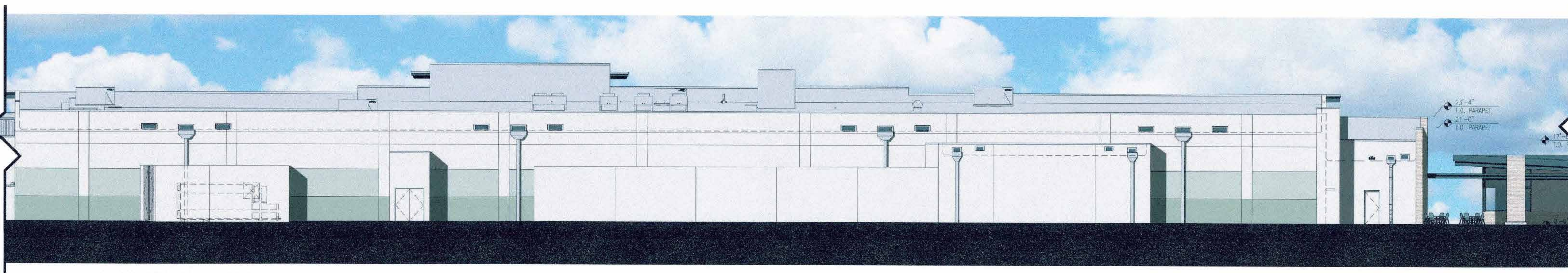
KIOSK LEFT ELEVATION

	PAINT SW 7004 SNOW BOUND		PAINT SW 9548 SWEATER WEATHER		PAINT SW 9553 ALLEGORY		METAL PAC CLAD SLATE GRAY		METAL PAC CLAD MUSKET GRAY		BRICK GLEN GARY CHARLES - TON		WOOD KNOTWOOD CHESTNUT
--	--	--	---	--	-------------------------------------	--	---	--	--	--	---	--	-------------------------------------

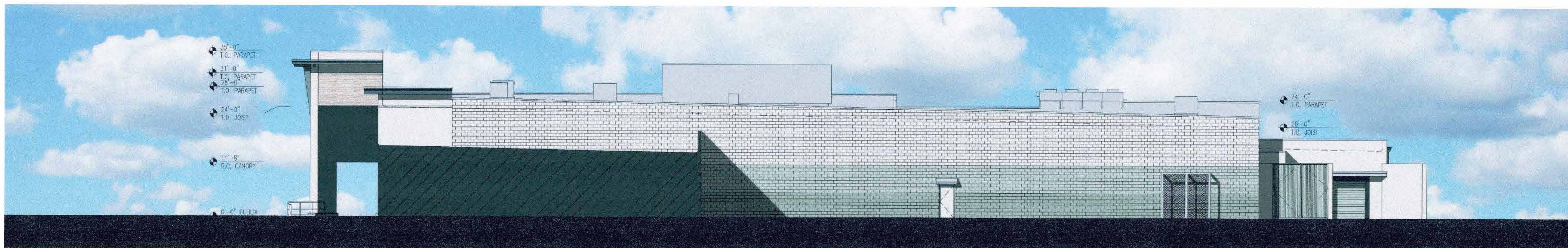




PUBLIX LEFT ELEVATION



PUBLIX REAR ELEVATION



PUBLIX RIGHT ELEVATION

	PAINT		PAINT		PAINT		METAL		METAL		BRICK		WOOD
SW 7004 SNOW BOUND		SW 9548 SWEATER WEATHER		SW 9553 ALLEGORY		PAC CLAD SLATE GRAY		PAC CLAD MUSKET GRAY		GLEN GARY CHARLES - TON		KNOTWOOD CHESTNUT	

ANASTASIA PLAZA PUBLIX
DESIGN DEVELOPMENT



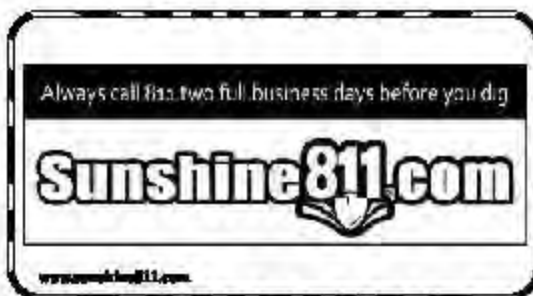
ST. AUGUSTINE, FL

08.18.2023

FISHER
ARCHITECTS
FISHER AND ASSOCIATES, LLC ©2023
AA26001738

CONSTRUCTION PLANS FOR
STASIA PLAZA PUBLIX REBU
 1033 A1A BEACH BLVD ST. AUGUSTINE BEACH FL, 32080
 SECTION 22 - TOWNSHIP 3 NORTH - RANGE 28 EAST

PARCEL ID: 181416 1110

ABBREVIATION/ SIGN LEGEND		CONSULTANTS	UTILITY PROVIDERS	APPROVAL AGENCIES	INDEX OF SHEETS	MAPS
<div> <div> A/C -AIR CONDITIONER APPROX -APPROXIMATE ASPH -ASPHALT AVG -AVERAGE BFP -BACK FLOW PREVENTER BLK -BLOCK BLDG -BUILDING BOC -BACK OF CURB BOW -BACK OF WALL C & O -CURB & GUTTER CE -CONSTRUCTION ENTRANCE CAL -CENTERLINE CMP -CORRUGATED METAL PIPE CO -CLEAN OUT CONC -CONCRETE DEPT -DEPARTMENT DS -DOWN SPOUT ELEC -ELECTRIC EM -ELECTRICAL METER ELEV -ELEVATION EOP -EDGE OF PAVEMENT FDC -FIRE DEPARTMENT CONNECTION FDOT -FLORIDA DEPARTMENT OF TRANSPORTATION FF -FINISH FLOOR FG -FINISH GRADE FH -FIRE HYDRANT FM -FORCE MAIN FOC -FACE OF CURB FR&L -FLORIDA POWER AND LIGHT GOVT -GOVERNMENT HB -HOSE BIB HC -ADA ACCESSIBLE HDPE -HIGH DENSITY POLYETHYLENE PIPE INV -INVERT IRR -IRRIGATION ME -MATCH EXISTING ELEVATION MES -MITERED END SECTION MH -MANHOLE PVC -POLYVINYL CHLORIDE PIPE PYMT -PAVEMENT R -RADIUS RCP -REINFORCED CONCRETE PIPE REV -REVISION RW -RIGHT-OF-WAY SF -SQUARE FEET SW -SIDEWALK TOB -TOP OF BANK TOE -TOE OF SLOPE TW -TOP OF WALL TYP -TYPICAL UNK -UNKNOWN UTL -UNDERGROUND TELEPHONE LINES W -WATER WV -WATER VALVE </div> <div> (B) -BUS STOP (R7-7) (DNE) -DO NOT ENTER (R5-1) (FI) -NO PARKING -FIRE LANE (R7-94) (HC) -HANDICAP (FTP 20-06 & FTP 22-06) (KR) -KEEP RIGHT (R4-7A) (L) -KEEP LEFT (R4-9A) (LT) -LEFT TURN ONLY (R3-5L) (MB) -MEDIAN (R4-7)(R4-8) (ND) -NO DUMPING (NL) -NO LEFT TURN (R3-2) (NLU) -NO LITTERING (NOR) -NO RIGHT TURN (R3-1) (NOT) -NO TRUCKS (R5-2A) (NP) -NO PARKING (R7-1) (OW) -ONE WAY (R6-1L)(R6-1R) (PB) -PEDESTRIAN CROSSING (W11-2) (RT) -RIGHT TURN ONLY (R3-5R) (RN) -ROW NUMBER (SL) -SPEED LIMIT (R2-3) (ST) -STOP (R1-1) (TZ) -TOW AHEAD ZONE (R7-201) (TB) -TRUCK ENTRANCE (WL) -WEIGHT LIMIT (R12-5) (WW) -WRONG WAY (R5-1A) (Y) -YIELD (R1-2) (OT) -RESERVED DRIVE-THRU PARKING </div> </div>		OWNER MCV-RC-FL-ANASTASIA, LLC ONE INDEPENDENT DR, SUITE 114 JACKSONVILLE, FL 32202 ENGINEER CPH, INC. 5200 BELFORD ROAD, SUITE 220 JACKSONVILLE, FLORIDA 32256 ATTN.: WADE P. OLSZEWSKI, P.E. (904) 332-0999 SURVEYOR CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 ATTN.: JEFF PATERSON, PSM (407) 322-6841 LANDSCAPE ARCHITECT CPH, INC. 500 WEST FULTON STREET SANFORD, FLORIDA 32771 ATTN.: GALEN PUGH, RLA (407) 322-6841	ELECTRIC FLORIDA POWER AND LIGHT 303 HASTINGS ROAD ST AUGUSTINE, FL 32084 ATTN.: MICHAEL SPRUIELL (904) 824-7658 WATER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN.: TERI SHOEMAKER, P.E. (904) 209-2652 SEWER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN.: LARRY BLAND, PSM (386) 961-7461 GAS FLORIDA PUBLIC UTILITIES P.O. BOX 418 FERNANDINA BEACH, FLORIDA 32035 (904) 261-3663	CITY OF ST. AUGUSTINE BEACH 2200 STATE ROAD A1A SOUTH ST. AUGUSTINE BEACH, FL 32080 (904) 484-9145 WATER MANAGEMENT DISTRICT ST. JOHNS RIVER WATER MANAGEMENT DISTRICT 7775 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FLORIDA 32256 ATTN.: EVERETT FRYE (904) 448-7913 STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION NORTHEAST DISTRICT 8800 BAYMEADOWS WAY WEST JACKSONVILLE, FLORIDA 32256 ATTN.: REVIEWER (904) 256-1700 FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 2 1109 SOUTH MARION AVENUE LAKE CITY, FLORIDA 32025 ATTN.: LARRY BLAND, PSM (386) 961-7461 ST. JOHNS COUNTY UTILITIES ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS 1205 STATE ROAD 16 ST. AUGUSTINE FL, 32084 ATTN.: TERI SHOEMAKER, P.E. (904) 209-2652	C0.1 COVER SHEET 1 OF 5 TOPOGRAPHIC SURVEY 2 OF 5 TOPOGRAPHIC SURVEY 3 OF 5 TOPOGRAPHIC SURVEY 4 OF 5 TOPOGRAPHIC SURVEY 5 OF 5 TOPOGRAPHIC SURVEY C0.2 GENERAL NOTES C0.3 GENERAL NOTES C0.4 ST. JOHN'S COUNTY UTILITIES GENERAL NOTES C0.5 OVERALL SITE PLAN * C0.6 PHASING PLANS D0.1 DEMOLITION PLAN D0.2 DEMOLITION PLAN C1.1 STORMWATER POLLUTION PREVENTION PLAN C1.2 STORMWATER POLLUTION PREVENTION PLAN C1.3 STORMWATER POLLUTION PREVENTION PLAN C1.4 SITE DIMENSION PLAN C1.5 SITE DIMENSION PLAN * C1.5A TRUCK TURNING PLAN * C1.5B ACCESSIBILITY PLAN * C1.5C TEMPORARY SITE ACCESS AND STAGING PLAN C1.6 GRADING AND STORM DRAINAGE PLAN C1.7 GRADING AND STORM DRAINAGE PLAN C1.8 COMPOSITE UTILITY PLAN C1.9 COMPOSITE UTILITY PLAN C2.0 CONSTRUCTION DETAIL SHEET C2.1 CONSTRUCTION DETAIL SHEET C2.2 CONSTRUCTION DETAIL SHEET C2.3 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.4 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.5 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.6 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.7 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C3.0 PUBLIC DETAILS LP-1 LIGHTING PLAN T1.1 TREE RETENTION PLAN T1.2 TREE RETENTION PLAN L-1 LANDSCAPE PLAN L-2 LANDSCAPE PLAN L5.0 LANDSCAPE NOTES AND DETAILS * NOT INCLUDED IN THIS SET	 VICINITY MAP SCALE: 1" = 2,000'  LOCATION MAP SCALE: 1" = 500' 
						<div> <div> Designed: W. Olszewski Drawn: D. Schneider Checked: W. Olszewski Job No.: R9123 Date: 6/05/23 </div> <div> © 2023 </div> </div>
						<div> COVER SHEET </div> <div> regency centers CITY OF ST. AUGUSTINE BEACH, FLORIDA </div>
						<div> Sheet No. C0.1 </div>
						<div> VERTICAL DATUM: NAVD88 </div>
						<div> THE SIZE OF THESE PLANS MAY HAVE BEEN SLIGHTLY ALTERED BY REPRODUCTION PROCESSES, THIS MUST BE CONSIDERED WHEN SCALING ANY REPRODUCED PLANS FOR THE PURPOSE OF COLLECTING DATA. </div>

A vicinity map of the project area in St. Augustine Beach, St. Johns County, Florida. The map shows the project location (SITE) relative to major roads (US 1, US 90, US 17, US 19) and the Atlantic Ocean. A north arrow is included.

1. "SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
2. "ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES."
3. THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.
4. THE LAST DAY FIELD WORK WAS PERFORMED WAS 2/1/18; ALL BOUNDARY CORNERS WERE RECOVERED OR SET AS NOTED HEREON.
5. THE "LEGAL DESCRIPTION" HEREON IS BASED ON INFORMATION CONTAINED IN THE PROPERTY INFORMATION REPORT BY TITELINK NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER: 6713739, REPORT DATE DECEMBER 30, 2017 AT 5:00 P.M. AND WAS PROVIDED BY THE CLIENT.
6. BEARINGS SHOWN HEREON ARE RELATIVE TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY A-1-A (S.R. NO. 3), ACCORDING TO THE DEED AS RECORDED IN OFFICIAL RECORDS BOOK 3587, PAGE 882 OF THE OFFICIAL RECORDS OF ST. JOHNS COUNTY, FLORIDA, AS BEING S 13°06'00" E.
7. HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12105033849, CITY OF ST. AUGUSTINE BEACH, ST. JOHNS COUNTY, REVISED DATE SEPTEMBER 2, 2004, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE X SHAPED WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, NAVD 88, THIS DETERMINATION WAS BASED ON GEOSPATIAL DATA DOWNLOADED FROM WWW.FEMA.GOV AND THE SHAPE FILE DISPLAYED HEREON WAS REFERENCED TO ABOVE GROUND IMPROVEMENTS. THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION AND SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.
8. THE APPARENT USE OF THE LAND, AS CLASSIFIED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FS 472.027, ESTABLISHES THAT THE MINIMUM RELATIVE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY MEET THE HORIZONTAL CONTROL ACCURACY OF 1"/10,000 FEET FOR THE COMMERCIAL RISK SURVEY. THE MEASUREMENTS AND CALCULATIONS OF THE CLOSED GEOMETRIC FIGURES WERE MADE TO MEET THIS ACCURACY REQUIREMENT. THE EQUIPMENT USED TO VERIFY THE HORIZONTAL CONTROL ON THE SUBJECT SURVEY WAS A TOPCON TOTAL STATION MODEL# GPT-3005W, AND A TOPCON GPS HIP PRO.
9. HORIZONTAL WELL-IDENTIFIED FEATURES IN THIS SURVEY MAP AND HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.05 (FT). THE EQUIPMENT USED TO LOCATE THE FEATURES WAS A TOPCON TOTAL STATION MODEL# GPT-3005W, AND A TOPCON GPS HIPER PRO.
10. UNLESS OTHERWISE NOTED, ALL RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION CONTAINED IN THE PROPERTY INFORMATION REPORT BY TITELINK NATIONAL TITLE INSURANCE COMPANY, REPORT NO. 6713739, REPORT DATE DECEMBER 30, 2017 AT 5:00 P.M., AND WAS PROVIDED BY THE CLIENT.

11. NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
12. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES.
13. FENCES EXISTING ON, OVER OR ADJACENT TO SUBJECT PROPERTY, ARE DISPLAYED HEREON; OWNERSHIP WHETHER SINGLE OR JOINT WAS NOT DETERMINED BY THIS SURVEY.
14. VERTICAL FEATURE ACCURACY: "ELEVATIONS OF WELL-IDENTIFIED FEATURES CONTAINED IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.05 (FT)."
15. DIMENSIONS ARE SHOWN RELATIVE TO UNITED STATES STANDARD FEET AND DECIMALS THEREOF, UNLESS THE OBJECT SHOWN IS COMMONLY IDENTIFIED IN INCHES, I.E. TREE DIAMETERS, PIPE DIAMETERS, ETC. TREES DEPICTED ARE COMMON NAMES AND MEASURED AND LABELED AS DIAMETER AT BREAST HEIGHT IN INCHES.
16. CERTAIN INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR AS NOTED OR DISPLAYED HEREON.
17. THE UNDERGROUND UTILITIES DEPICTED BY PIPE UNSETS ARE APPROXIMATE IN NATURE BASED UPON AN INSPECTION OF THE MARINE, GRATE, ETC. OF EACH FACILITY. EXISTING PIPES WERE NOT LAMPED OR REMOTELY VIEWED FOR DIRECTION, OBSTRUCTIONS OR CONNECTIVITY.

STANDARD SPACES =	452
ACCESSIBLE HANDICAP SPACES =	16
<hr/>	
TOTAL SPACES =	468

'NSPS LAND TITLE SURVEY (COVER SHEET)
'NSPS LAND TITLE SURVEY (COVER SHEET)
'NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY)
'NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY)

Certified to: 2391 PARTNES, LLC AND CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1-5, 6-9 and 13 of Table A thereof.

The field work was completed on February 1, 2018.

Also

I hereby certify that the attached "ALTA/NSPS Land Title Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on February 1, 2018. I further certify that this "Boundary & Easement" Survey meets the standards and practice set forth in Rule Chapter 3J-17 of the Florida Administrative Code, pursuant to FS 472.027.

For the Firm By: Jeffrey W. Patterson
Professional Surveyor and Mapper
Florida Registration No. 6384

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BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)

REGENCY CENTERS
1001 A1A (BEACH BOULEVARD)
SECTION 19-TOWNSHIP 30 SOUTH-RANGE 30 EAST
CITY OF ST. AUGUSTINE, ST. JOHNS COUNTY, FLORIDA

Sheet No.
1
of 4

Abbreviation Legend:		Line Legend:	
(A)	= ACTUAL	— 1 —	= 1 FOOT CONTOURS
A/C	= AIR CONDITIONER	— 3 —	= 3 FOOT CONTOURS
ACSM	= AMERICAN CONGRESS ON SURVEYING & MAPPING	— A —	= ADJOINER PROPERTY LINES
ADA	= AMERICANS WITH DISABILITIES ACT	— X —	= BARBED WIRE FENCE
ALTA	= AMERICAN LAND TITLE ASSOCIATION	— B —	= BROKEN LINE
APPROX	= APPROXIMATE	— C —	= BURIED CABLE
ARV	= AIR RELEASE VALVE	— CTV —	= BURIED CABLE TELEVISION
AVE	= AVENUE	— E —	= BURIED ELECTRIC
AVG	= AVERAGE	— F —	= BURIED FIBER OPTICS
(BB)	= BEARING BASIS	— G —	= BURIED GAS
BFP	= BACK FLOW PREVENTER	— H —	= BURIED RECLAIMED WATER LINE
BLK	= BLOCK	— SAN —	= BURIED SANITARY LINES
BLDG	= BUILDING	— SEW —	= BURIED SANITARY SEWER FORCE MAIN LINE
BLVD	= BOULEVARD	— TC —	= BURIED TRAFFIC CONTROL
BM	= BENCH MARK	— TEL —	= BURIED TELEPHONE LINE
BOC	= BACK OF CURB	— U —	= BURIED WATER LINES
BOW	= BACK OF WALK	— C —	= CENTER LINE R/W
BSL	= BUILDING SETBACK LINE	— L —	= CHAIN LINK FENCE
BWF	= BARBED WIRE FENCE	— E —	= EASEMENT LINES (EXISTING)
C-X	= DENOTES SHEET NUMBERING FOR ENGINEERING PLANS	— P —	= EASEMENT LINES (PROPOSED)
(C)	= CALCULATED	— D —	= EXISTING DRAINAGE PIPES
CATV	= CABLE TELEVISION RISER	— D —	= EXISTING DRAINAGE PIPES (OUTFALL NOT LOCATED)
CB	= CHORD BEARING	— F —	= FIRE WATER MAIN LINES
CBS	= CONCRETE BLOCK STRUCTURE	— H —	= HOT WATER SUPPLY LINES
C.C.R.	= CERTIFIED CORNER RECORD	— I —	= IRRIGATION LINES
C&G	= CURB & GUTTER	— O —	= OVERHEAD TRAFFIC LINES
C/L	= CENTERLINE	— U —	= OVERHEAD UTILITY LINES
C/LF	= CHAIN LINK FENCE	— R —	= RAILROAD TRACKS
CM	= CONCRETE MONUMENT	— R —	= RIGHT-OF-WAY LINES
CMP	= CORRUGATED METAL PIPE	— S —	= SECTION LINES
CO	= CEMENT	— SW —	= STONE WALL LINES
CONC	= CONCRETE	— T —	= TOP OF BANK LINES
COR	= CORNER	— TS —	= TOP OF SLOPE LINES
CORRP	= CORRUGATED PLASTIC PIPE	— T —	= TREE LINES
CUE	= COUNTY UTILITY EASEMENT	— TR —	= TRAVERSE LINES
CWS	= CROSSWALK SIGNAL	— U —	= UNKNOWN BURIED LINES
(D)	= DESCRIPTION	— V —	= VINYL FENCE
DB	= DEED BOOK	— W —	= WOOD FENCE
DBH	= DIAMETER AT BREAST HEIGHT IN INCHES	— W —	= WETLAND LINE
DE	= DRAINAGE EASEMENT	— O —	= ORANGE PAINT LINE
DEPT	= DEPARTMENT	— G —	= GREEN PAINT LINE
DIP	= DUCTILE IRON PIPE	— R —	= RED PAINT LINE
DRIVE	= DRIVE	— W —	= WHITE PAINT LINE
D/U	= DRAINAGE AND UTILITY EASEMENT	— P —	= PURPLE PAINT LINE
(E)	= ENGINEERING PLAN	— B —	= BLUE PAINT LINE
EJB	= ELECTRIC JUNCTION BOX	— Y —	= YELLOW PAINT LINE
EL	= UNDERGROUND ELECTRICAL LINES		
ELEC	= ELECTRIC		
ELEV	= ELEVATION		
ELLIP	= ELLIPTICAL		
EQ	= END OF INFORMATION		
EOP	= EDGE OF PAVEMENT		
FB	= FIELD BOOK		
FLDOT	= FLORIDA DEPARTMENT OF TRANSPORTATION		
FF	= FINISH FLOOR		
FLP	= FLAT GRATE INLET		
FLP	= FIBERGLASS LIGHT POLE		
FHYD	= FIRE HYDRANT		
FM	= FORCE MAIN		
FND	= FOUND		
F&L	= FLORIDA POWER AND LIGHT		
FS	= FLORIDA STATUTES		
(G)	= GRID (STATE PLANE)		
GL	= UNDERGROUND GAS LINES		
GOV/T	= GOVERNMENT		
GPR	= GROUND PENETRATING RADAR		
GTMH	= GREASE TRAP MANHOLE		
GDPE	= HIGH DENSITY POLYETHYLENE PIPE		
HWF	= HOG WIRE FENCE		
ID	= IDENTIFICATION		
ICV	= IRRIGATION CONTROL VALVE		
INFO	= INFORMATION		
INV	= INVERT		
IP	= IRON PIPE		
IP&C	= IRON PIPE & CAP		
IR	= IRON ROD		
IR&C	= IRON REBAR & CAP		
IR	= IRRIGATION		
LR	= ARC LENGTH		
LB#	= LICENSED BUSINESS NUMBER		
LI	= LIGHT POLE		
(M)	= MEASURED		
MB	= MAP BOOK		
MBX	= MAILBOX		
MES	= MITERED END SECTION		
MH	= MANHOLE		
MLP	= METAL LIGHT POLE		
MPH	= MILES PER HOUR		
MPP	= METAL POWER POLE		
N/A	= NOT APPLICABLE		
NAVD	= NORTH AMERICAN VERTICAL DATUM		
NAD	= NORTH AMERICAN DATUM		
NG	= NATURAL GROUND		
NOS	= NATIONAL GEODETIC SURVEY		
NGVD	= NATIONAL GEODETIC VERTICAL DATUM		
N & D	= NAIL AND DISK		
NO	= NUMBER		
NR	= NON-RADIAL		
NSPS	= NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS		
NT	= NOT-TANGENT		
NTS	= NOT TO SCALE		
OD	= OUTSIDE DIAMETER		
ORB	= OFFICIAL RECORDS BOOK		
OR	= OFFICIAL RECORDS		
OUL	= OVERHEAD UTILITY LINES		
OTL	= OVERHEAD TRAFFIC LINES		
PL	= PLAT		
PC	= PLAT BOOK		
PC	= POINT OF CURVATURE		
PCD	= POINT OF COMPOUND CURVATURE		
PCT	= PERMANENT CONTROL POINT		
PPF	= PROPOSED FINISHED FLOOR		
PG	= PAGE		
PGS	= PAGES		
PIV	= POINT OF INTERSECTION		
PIV	= POST INDICATOR VALVE		
PK	= PARKER KATLON		

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1. LIMITED WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 675. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
2. PARTNERSHIP AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 678. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
3. CERTIFICATE OF MERGER RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 681. (NOT A SURVEY MATTER)
4. TRUSTEE'S AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 684. (DOCUMENTATION MISSING) (NO DETERMINATION)
5. MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 1869, PAGE 1000. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
6. LLC AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1899. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
7. MORTGAGE AND SECURITY AGREEMENT DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1704. SECURING THE ORIGINAL PRINCIPAL AMOUNT OF \$4,480,000.00. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
8. ASSIGNMENT OF LEASES AND RENTS DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1741. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
9. UCC-1 FINANCING STATEMENT LISTING MCW-RC FL-ANASTASIA, LLC, AS DEBTOR AND DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, AS SECURED PARTY AND RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1753. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
10. SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
11. AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 1969, PAGE 1687. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
12. ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2001, PAGE 1591. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
13. ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 476. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
14. CORRECTED ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 481. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
15. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2013, PAGE 746. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
16. RE-RECORDED ASSIGNMENT OF LEASES AND RENT RECORDED IN OFFICIAL RECORDS BOOK 2014, PAGE 1410. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
17. CORRECTED AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 467. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
18. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2112, PAGE 759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
19. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 2175, PAGE 1179. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
20. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2329, PAGE 1831. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
21. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2458, PAGE 886. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
22. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2458, PAGE 887. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
23. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2485, PAGE 1416. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
24. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2543, PAGE 1869. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
25. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2584, PAGE 308. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
26. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2637, PAGE 443. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
27. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2659, PAGE 1227. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
28. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2696, PAGE 293. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
29. ASSIGNMENT OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 2783, PAGE 1166. (NOT A SURVEY MATTER)
30. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2953, PAGE 1779. (NOT A SURVEY MATTER)
31. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2973, PAGE 432. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
32. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2976, PAGE 603. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
33. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 2983, PAGE 545. (NOT A SURVEY MATTER)
34. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3009, PAGE 40. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
35. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3042, PAGE 1293. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

72. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4151, PAGE 684. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

73. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4157, PAGE 479. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

74. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 4232, PAGE 1732. (NOT A SURVEY MATTER)

75. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 4407, PAGE 390. (NOT A SURVEY MATTER)

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Drawn by:	B.B.	<input checked="" type="checkbox"/>
Checked by:	R.L.R.	<input checked="" type="checkbox"/>
Approved by:	J.W.P.	<input checked="" type="checkbox"/>
Scale:	1"=30'	<input checked="" type="checkbox"/>
Date:	02/01/18	<input checked="" type="checkbox"/>
Job No.:	R9714.1	<input checked="" type="checkbox"/>
Filter: R9714.1.dwg	© 2023	
	Revision	By

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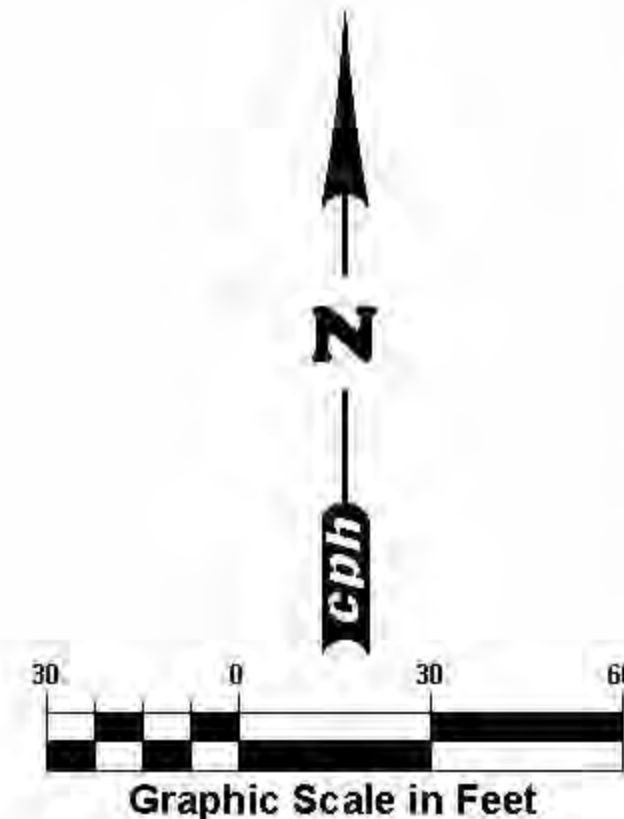
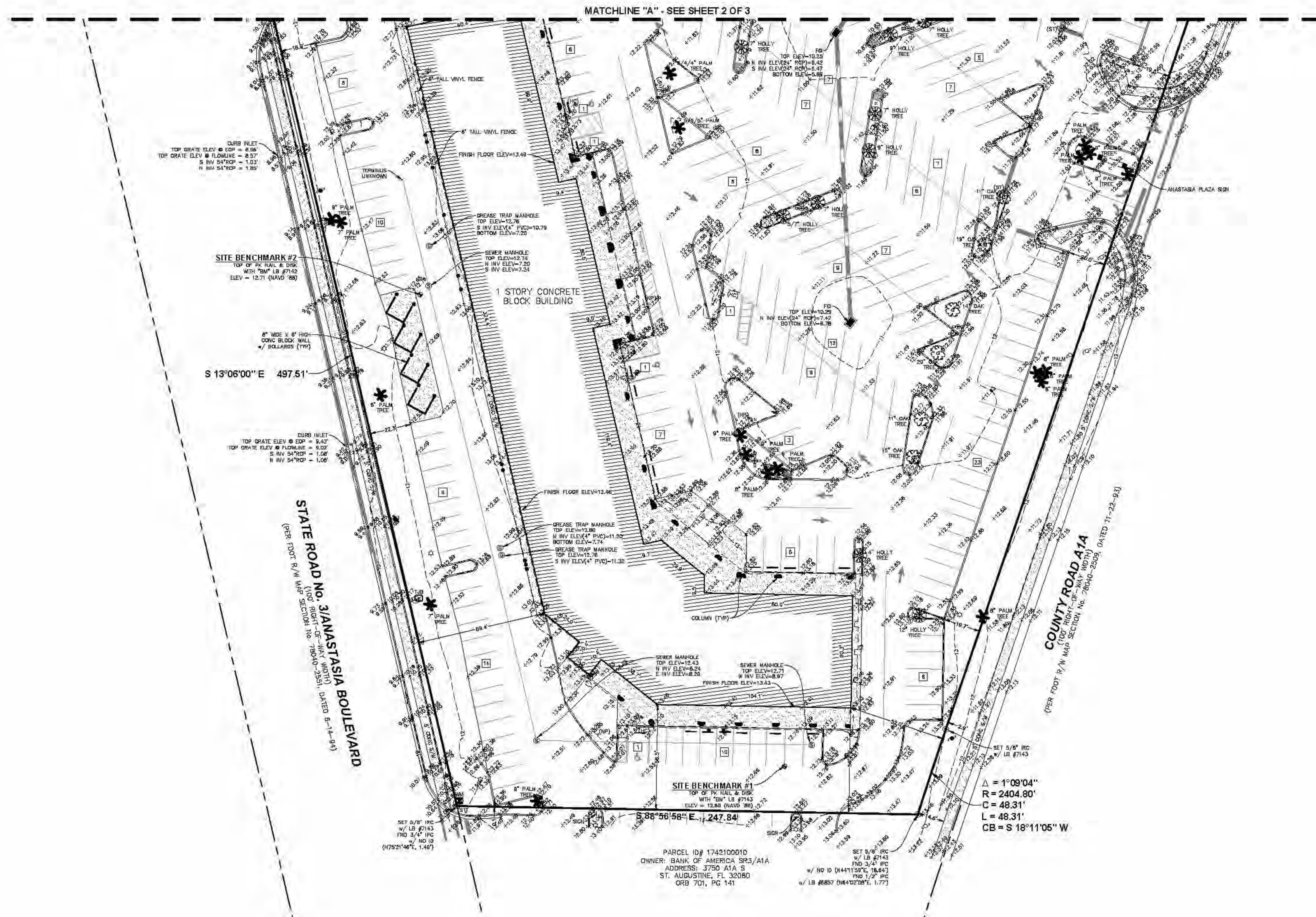
BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)

REGENCY CENTERS
001 A1A (BEACH BOULEVARD)
CON 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST

CITY OF ST. AUGUSTINE, ST. JOHNS COUNTY, FLORIDA

Sheet No.

4
of 4



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10. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
11. ALL MANHOLES AND CLEAN OUTS CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS AND COVERS.
12. MANHOLE COATINGS AND FINISHES SHALL BE:
 - A. SANITARY SEWER MANHOLE INTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.
 - B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE MAIN DISCHARGE - INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, FIBERGLASS LINER - LINER THICKNESS TO BE IN ACCORDANCE WITH THE DRAWINGS.
 - C. EXTERIOR - BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.

1. REINFORCE CONCRETE PIPE (RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND RUBBER GASKETS SHALL COMPLY WITH FDOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE, INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.
2. RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN COMPLETED.
3. UNDERDRAIN PIPE SHALL BE PERFORMED POLYVINYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3IN ACCORDANCE WITH SPECIFICATIONS IN SECTION 985.
4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 139, TYPE D-3, A.O.S. 70-100. INSTALL IN ACCORDANCE WITH FDOT STANDARD PLANS IN ADDITION 430-001. PROVIDE MINIMUM 12" OVERLAP.
5. INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTM D2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES: MINIMUM COVER SHALL BE 36 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER; B) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED OR AGGREGATES CLASS 1A OR 1B AS DEFINED IN ASTM D2321: MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.
6. INSTALL UNDERDRAINS IN ACCORDANCE WITH FDOT SPECIFICATION SECTION 440. INST ALL CLEANOUTS AS SHOWN ON THE DRAWINGS.
7. PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" x 4") RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FOOT STANDARD PLANS IDE 706-001.
3. PARKING STRIP ALL PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATION SECTION 971. NON-REFLECTIVE WHITE TRAFFIC PAINT, TWO COATS.
4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN THREE-INCH LETTERS.
5. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION.
7. CONTRACTOR SHALL PROVIDE AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WIRING, ETC.
8. ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION.
9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEKCURE TIME OF THE ASPHALT IS REQUIRED.

1. STEEL CASING PIPE SHALL CONFORM TO ASTM A319, GRADE "B" WITH MINIMUM YIELD STRENGTH OF 35,000 PSI. INTERIOR LINING OF PIPE SHALL BE A COAL TAR LINING CONFORMING TO AMMA C203. EXTERIOR COATING OF PIPE SHALL BE MULTIPLE COATS OF HEAVY DUTY COAL TAR BASE COATING BUILT UP TO 30 MILS TOTAL DRY THICKNESS AND APPLIED IN ACCORDANCE WITH THE COATING MANUFACTURER'S RECOMMENDATIONS.
2. EACH SPACER SHALL BE 1/2 INCHES WIDE AND MANUFACTURED OF MINIMUM 14 GAUGE TYPE 304 STAINLESS STEEL OR 14 GAUGE TYPE 316 STAINLESS STEEL. EACH SPACER SHALL BE LINED WITH A 90 MIL PVC LINER. ALL NUTS AND BOLTS SHALL BE 1-304 STAINLESS STEEL. EACH SPACER SHALL HAVE A MINIMUM OF 4 RUNNER SUPPORTS MANUFACTURED OF AROMATIC MOLECULAR WEIGHT POLYMER PLASTIC. THE RUNNER SUPPORTS SHALL BE 1/4" STAINLESS STEEL, MINIMUM 10 GAUGE, OF ADEQUATE HEIGHT TO POSITION THE CARRIER PIPE IN THE CENTER OF CASING WITH A MINIMUM TOP CLEARANCE OF 0.5 INCHES.
3. ADD ON SECTIONS OF CASINO PIPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATER-TIGHT TO THE PRECEDING JOINTS. ALL WELDING OF CASINO PIPE SHALL BE DONE BY COMPETENT, EXPERIENCED WELDERS. WELDING SHALL BE DONE IN ACCORDANCE WITH AMMA C203.
4. CASING PIPE WALL MINIMUM WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 24" = 0.250; 30" = 0.312; 36" = 0.375; 42" AND 48" = 0.500. AT RAILROAD CROSSINGS, CASING PIPE WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 18" = 0.250; 20" = 0.281; 24" = 0.312; 30" = 0.406; 36" = 0.469. UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS, THE MINIMUM CASING PIPE DIAMETER SHALL BE BASED ON THE SIZE OF THE CARRIER PIPE NOMINAL DIAMETER AS FOLLOWS: WHERE CARRIER IS 8", THEN MINIMUM CASING IS 16"; WHERE CARRIER IS 8", THEN MINIMUM CASING IS 20"; WHERE CARRIER IS 12", THEN MINIMUM CASING IS 24"; WHERE CARRIER IS 12" OR 16", THEN MINIMUM CASING IS 30"; WHERE CARRIER IS 20", THEN MINIMUM CASING IS 36".
5. BORED INSTALLATIONS SHALL HAVE A HOLE DIAMETER WHICH SHALL NOT EXCEED THE O.D. OF THE CASINO PIPE (INCLUDING COATING) BY MORE THAN ONE INCH. WHERE UNSTABLE SOIL CONDITIONS ARE FOUND TO EXIST, BORING OPERATIONS SHALL BE CONDUCTED IN SUCH MANNER AS NOT TO BE DETRIMENTAL TO THE FACILITY BEING CROSSED. IF EXCESSIVE VOIDS OR TOO LARGE A BORED HOLE RESULTS, OR IT IS NECESSARY TO ABANDON A BORED HOLE, PROPER REMEDIAL MEASURES SHALL BE TAKEN BY THE CONTRACTOR, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CONTROLLING AGENCY OF THE FACILITY BEING CROSSED.
6. CORRECT LINE AND GRADE SHALL BE MAINTAINED. ADD ON SECTIONS OF CASINO PIPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATER-TIGHT JOINT. PIPE STRENGTH JOINTS, FOLLOWING PLACEMENT OF THE CARRIER PIPE, MASONRY PLUGS SHALL BE INSTALLED AT EACH OPEN END, WITH A WEEP HOLE INSTALLED NEAR THE BOTTOM OF THE PLUG.
7. UNLESS OTHERWISE SHOWN ON THE PLANS, INSTALL CASINO AT MINIMUM OF 36-INCH COVER.
8. CARRIER PIPES INSIDE OF STEEL CASING PIPE SHALL BE SUPPORTED BY CASING SPACERS. CARRIER PIPE JOINTS INSIDE OF STEEL CASING PIPE SHALL BE RESTRAINED.
9. SPACERS ALONG DUCTILE IRON CARRIER PIPE SHALL BE PLACED NO MORE THAN 2 FEET FROM THE END OF THE CASING, WITH SUBSEQUENT SPACER PLACEMENT AT INTERVALS OF NO MORE THAN 10 FEET.
10. SPACERS ALONG PVC CARRIER PIPE SHALL BE PLACED NEAR THE SPIGOT END OR EACH SEGMENT OF PIPE, WHEN THE JOINT IS COMPLETE, THE SPACER SHALL BE IN CONTACT WITH THE JOINT RESTRAINT ASSEMBLY SO THAT THE SPACER PUSHES THE JOINT RESTRAINT ASSEMBLY. SUBSEQUENT SPACER PLACEMENT ALONG PVC PIPE SHALL BE AT INTERVALS OF NO MORE THAN 8 FEET.
11. THE USE OF WOOD SKIDS IN LIEU OF SPACERS IS NOT ALLOWED.
12. THE CARRIER MAY BE PUSHED OR PULLED (DEPENDS UPON PIPING MATERIAL, JOINT TYPE AND METHOD OF PIPE SUPPORT). INTO THE CASING AS PIPE LENGTHS ARE ASSEMBLED. THE CARRIER SHALL BE ADEQUATELY OILCOATED ALL AROUND TO PREVENT ANY MOISTURE FROM GETTING TO THE SPECIFIED AREA FOR GRAVITY LINES. THE PROPOSED METHOD OF CARRIER PIPE INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO STARTING THE CROSSING.

1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.
3. SIDEWALKS SHALL BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.
4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. ALL CURBS SHALL HAVE SAW CUT CONSTRUCTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
5. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAL FEET OF PAVING PER 24 FT WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE, WHERE LESS THAN 300 LINEAL FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN. OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DETERMINED BY THE ENGINEER. ASPHALT EXTRACTION GRAVIMETER SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONE PER DAY).

1. ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 21" IN DIAMETER OR LESS. INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED.
2. BASES SHALL BE ONE-PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INLET INVERTS WITH GASKETS TO MATCH THE PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STEPS WITH JOINTS TO MATCH THE PIPE.
3. RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER UNLESS OTHERWISE INDICATED, AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES.
4. GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942.2, UNLESS OTHERWISE INDICATED.
5. UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24-INCH DIAMETER OPENING, UNLESS OTHERWISE INDICATED.
6. PROVIDE A FLEXIBLE WATER TIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL BE MADE WITH WATER TIGHT CONNECTION PER ASTM C822. WHERE CONNECTORS ARE USED, THEY SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS PROHIBITED.
7. FRAMES AND COVERS SHALL BE GREY/IRON PER ASTM A46, CLASS 300 AND SHALL BE U.S. FOUNDRY TYPE 227AS; TRAFFIC BARS SHALL BE 3/8" X 3/4" X 12" UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BUSTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM," "SEWER," OR AS DETAILLED ON THE DRAWINGS.
8. PROVIDE INLETS, FRAMES, AND GRATES IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL.
9. ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYE BOLT TO THE TOP OF THE STRUCTURE.

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ST. JOHNS COUNTY UTILITY DEPARTMENT (SJCUD) GENERAL NOTES

24. FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 16 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FDOT OR RAILROAD RIGHTS-OF-WAY. FOR MAINS 12 INCHES OR GREATER, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS WILL BE MADE FOR CONFLICTS.
25. WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY THE MANUFACTURER.
26. FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
27. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH SUCUD DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE LOCATE MARKERS.
28. CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
29. CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SUCUD PRIOR TO SCHEDULING THE FINAL INSPECTION.

WASTEWATER SYSTEM NOTES:

- ### AS-BUILTS:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
2. "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA, TO DETERMINE ALL "AS-BUILT" INFORMATION, UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER.
3. A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2) SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
4. THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSING AND PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET. IN ADDITION, THE CENTERLINE OF 18" VERTICAL LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON THE DRAWINGS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.
5. AFTER SJCD HAS APPROVED PRELIMINARY "AS BUILT", THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJCD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

**STANDARD WATER/ SEWER/ RECLAIMED
WATER SEPARATION STATEMENT:**

THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC, BELOW. THE CONTRACTOR SHALL NOTIFY SUCRD IN ANY INSTANCE WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE.

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS.

(A) THE LOCATION OF THE SECTION, SUBSECTION, WATERMAINS SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER, FIRE HYDRANT LEADS, AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER. UNDER CHAPTER 62-810, F.S.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

- (C) NEW OR RELOCATED, UNDERGROUND WATERMANS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-810, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATERMANS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATERMAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATERMANS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

- (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER UTILITY PIPELINES. AT HIGH CROSSINGS, THE JOINTS SHALL BE ARRANGED SO THAT ALL WATERMAIN JOINTS ARE AT LEAST ONE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER CHAPTERS 62-1510, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN FORCE-MAIN TYPE PRESSURIZED WATER MAINS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART 62-1510, F.A.C. OF CHAPTER 62-1510, F.A.C.

(3.) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORMEANS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORMEAN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY OR PRESSURE-TYPE SANITARY SEWER; WASTEWATER FORMEAN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(5)(2), F.S., AND RULE 64E-6.002, F.A.C.

(5) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;
2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE; OR
3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

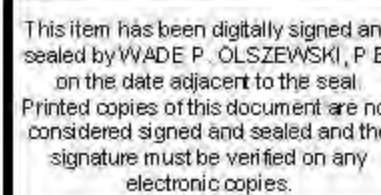
1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND
2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER."

1. AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACKFILLED, THE NEWLY Laid PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE SJCD MUST BE NOTIFIED AT LEAST 72 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD C805. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATERTIGHT. THE TEST SHALL BE LIMITED TO THE MAXIMUM SET FORTH IN SECTION 01520 OF AWWA STANDARD C800 LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GAUGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGIC TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.



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Plans Prepared By:
CPH, Inc.
State of Florida Licenses:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA26008926



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Designed: W. Olszewski

Drawn: D. Schneider

Job No.: R9123

Date: 6/05/23 © 2023

**ST. JOHNS COUNTY UTILITIES
GENERAL NOTES**

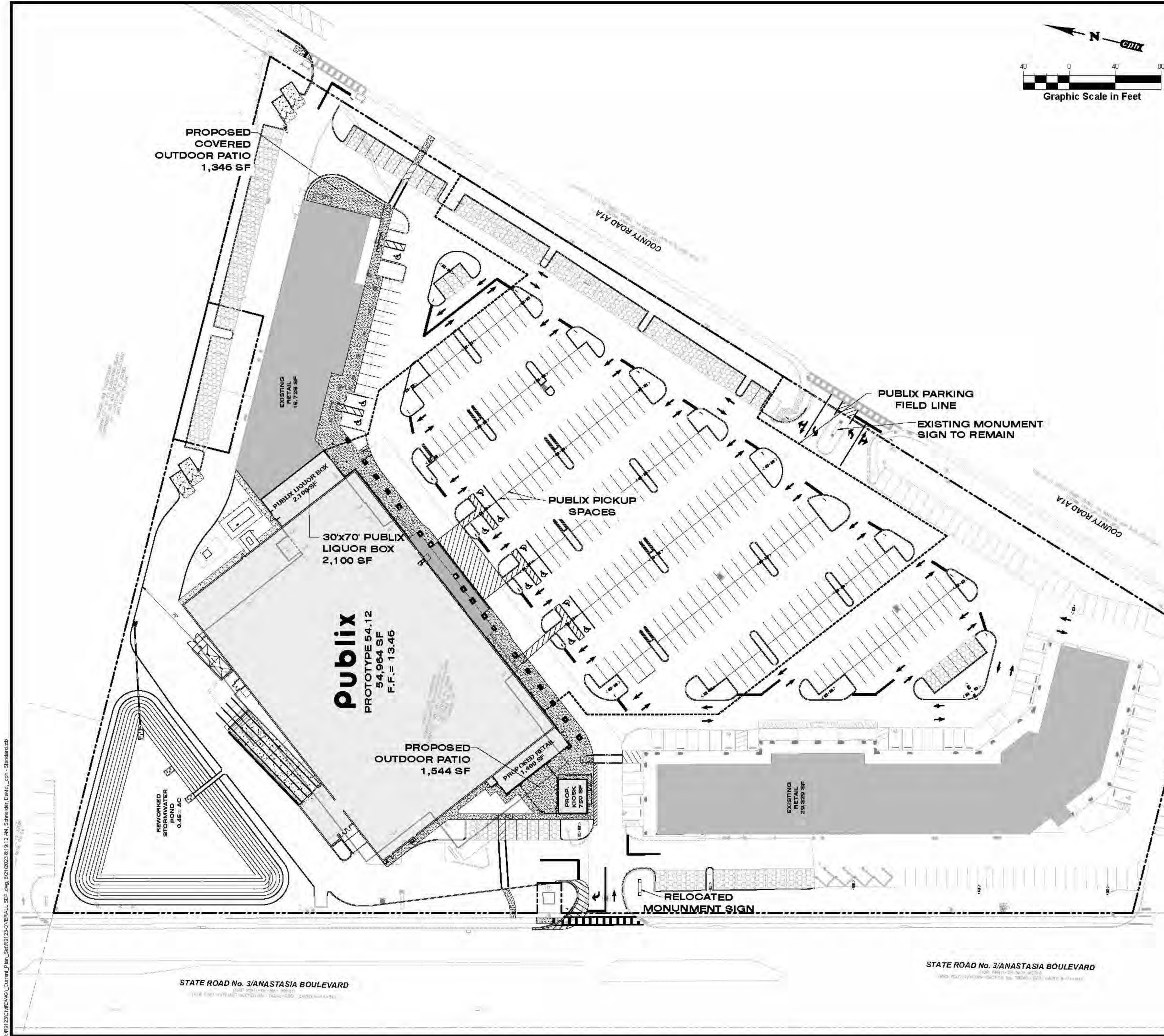
ST. JOHNS COUNTY UTILITIES
GENERAL NOTES

CITY OF ST. AUGUSTINE BEACH, FLORIDA

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SITE DATA

REAL ESTATE NO: 1742000020
PARCEL AREA: 10.62 AC

EXISTING PARKING CALCULATION

PUBLIX AREA = 48,555 SF
RETAIL AREA = 55,663 SF
TOTAL AREA = 104,218 SF

EXISTING PARKING = 468 PARKING SPACES
EXISTING PARKING RATIO =
468 SPACES / 104,218 SF = 4.49 SPACES / 1,000 SF

PROPOSED PARKING CALCULATION

PUBLIX AREA = 54,964 SF
RETAIL AREA = 48,761 SF
TOTAL AREA = 103,725 SF

PROPOSED PARKING = 481 PARKING SPACES
PROPOSED PARKING RATIO =
481 SPACES / 103,725 SF = 4.64 SPACES / 1,000 SF

REQUIRED PARKING - SHOPPING CENTER

1 SPACE PER 250 SF GFA
103,725 / 250 = 415 SPACES REQUIRED

PERVIOUS PARKING/PAVERS
100% CREDIT IMPERVIOUS

PERVIOUS / IMPERVIOUS AREAS:

PRE DEVELOPMENT:			
PERVIOUS AREA:	88,186 S.F.	(2.02 A.C.)	(19.06%)
IMPERVIOUS AREA:	374,469 S.F.	(8.60 A.C.)	(80.94%)
TOTAL SITE AREA:	462,655 S.F.	(10.62 A.C.)	(100.00%)
POST DEVELOPMENT:			
PERVIOUS AREA:	98,963 S.F.	(2.27 A.C.)	(21.37%)
GRASS	81,102 S.F.	(1.86 A.C.)	(17.51%)
PERVIOUS PAVERS	17,961 S.F.	(0.41 A.C.)	(3.86%)
IMPERVIOUS AREA:	363,672 S.F.	(8.35 A.C.)	(78.63%)
TOTAL SITE AREA:	462,635 S.F.	(10.62 A.C.)	(100.00%)

cph

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Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7143
Architect No. AA2600026
Landscape No. LC000298



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Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

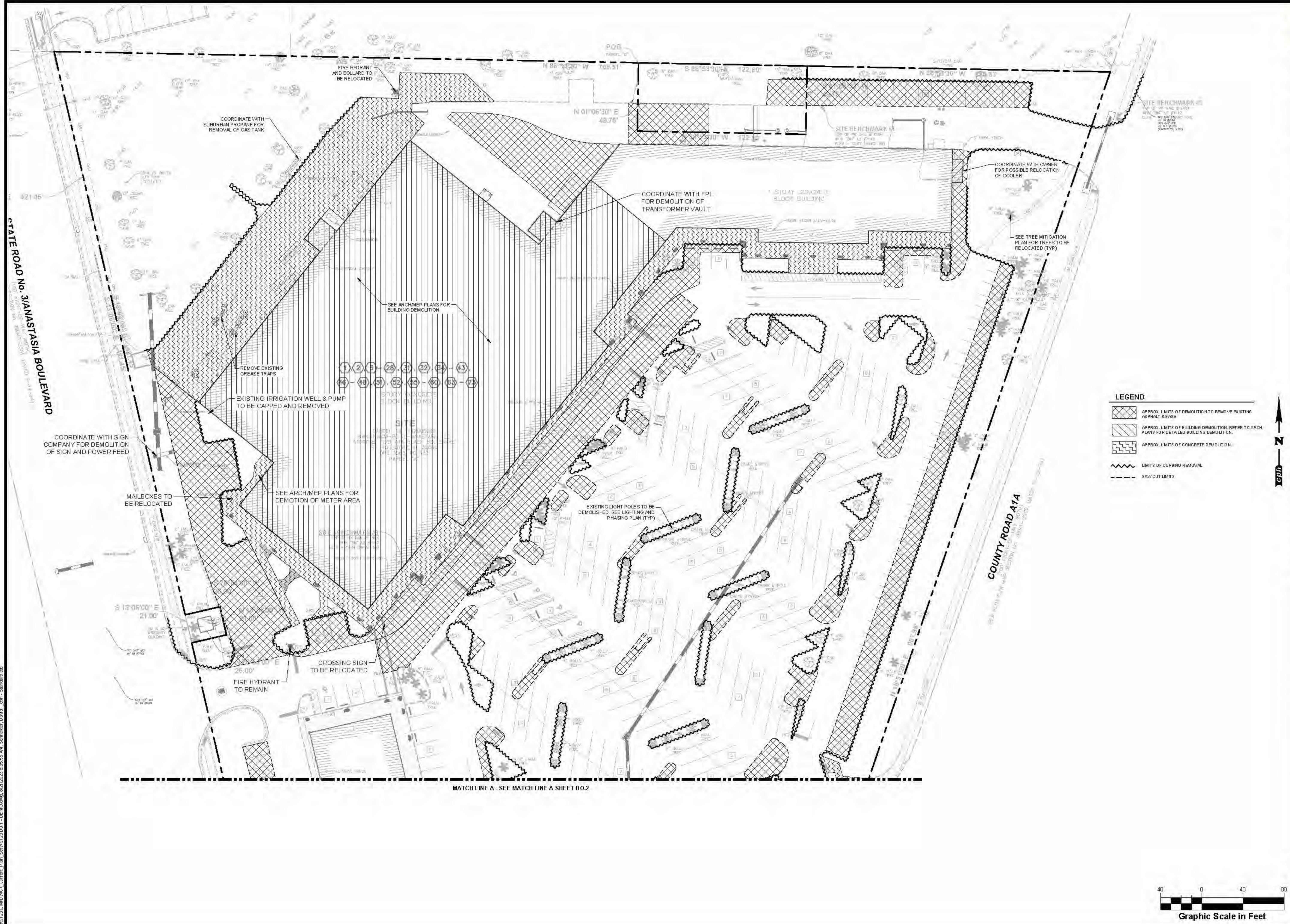
OVERALL SITE PLAN - EXHIBIT A

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

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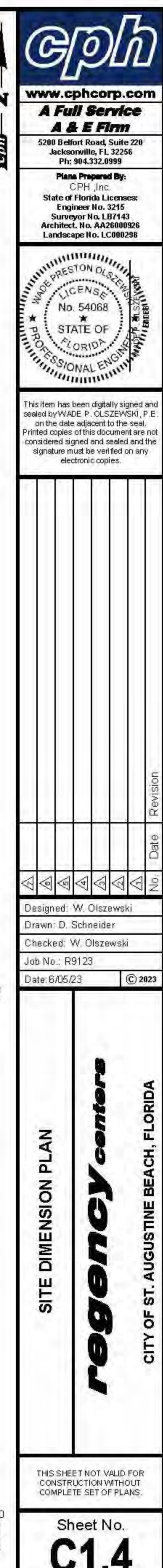
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DEMOLITION PLAN
regency centers
CITY OF ST. AUGUSTINE BEACH, FLORIDA

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NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING
CONDITIONS, ITEMS SHOWN BOLD REPRESENT
PROPOSED CONDITIONS.

PIPE MATERIALS:

STORMWATER PIPE

RCP 15" PIPE SHALL COMPLY WITH ASTM C76
ERCP 15" PIPE SHALL COMPLY WITH ASTM C507
HDPE 15" PIPE SHALL COMPLY WITH ASTM D3350
PVC PIPE SHALL COMPLY WITH ASTM D3034, SDR 35

GRADING NOTES:

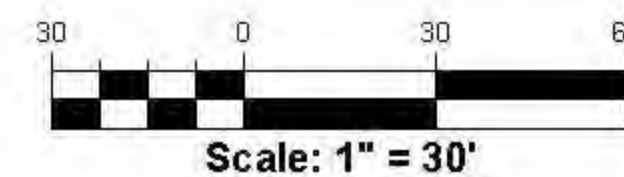
1. GRADING SHOWN ON THESE PLANS IS PROVIDED TO THE CONTRACTOR TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL BE EXPECTED TO GRADE THE ENTIRE SITE TO ENSURE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. THE FOLLOWING MINIMUM SLOPES SHALL BE PROVIDED BY THE CONTRACTOR:

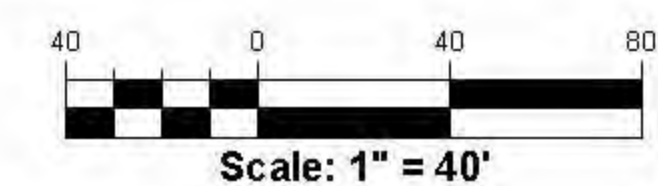
a. ASPHALT PAVEMENT, MIN. 1% SLOPE
b. CONCRETE PAVEMENT, MIN. 1% SLOPE
c. GUTTERS, MIN. 0.5%

2. STRUCTURE BOTTOMS SHALL BE TYPE "P" BOTTOMS PER FDOT REQUIREMENTS, UNLESS PIPE SIZES AND LOCATION REQUIRE A TYPE "V" BOTTOM. CONTRACTOR SHALL REVIEW DESIGN AND PROVIDE APPROPRIATELY SIZED BOTTOMS PER FDOT REQUIREMENTS.

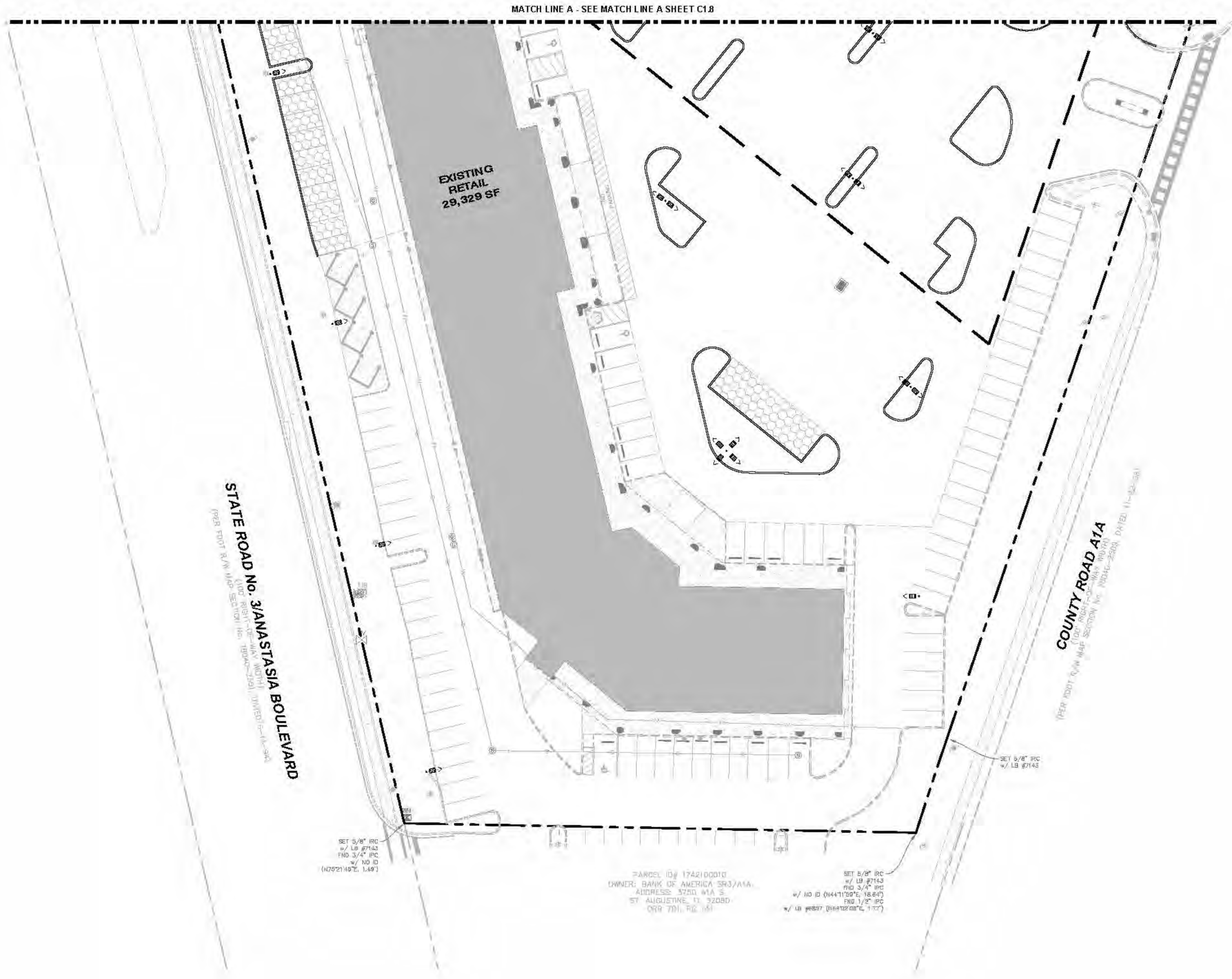
3. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ADA AREAS ARE CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION. IF THE CONTRACTOR DETERMINES THAT ANY INFORMATION SHOWN ON THESE PLANS MAY NOT BE IN COMPLIANCE, THEY SHALL NOTIFY THE ENGINEER PRIOR TO THE WORK BEING COMPLETED.

STORM STRUCTURE SCHEDULE	
STRUCTURE NUMBER	TYPE
S-1	TRUCKWELL SUMP PUMP. SEE DETAIL SHEET C_
S-2	TYPE 'C' INLET, TOP EL = 11.5, WINV =
S-3	18" STORM PIP @ 0.5%
S-4	18" M.E.S. INV = 5.0



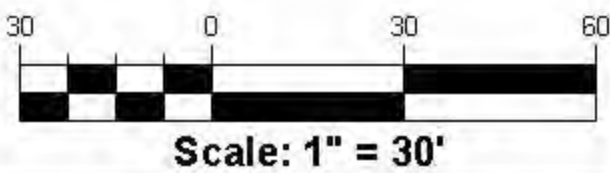


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NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING
CONDITIONS. ITEMS SHOWN BOLD REPRESENT
PROPOSED CONDITIONS.

CONTRACTOR SHALL PROVIDE
FREEZE PROTECTION ON
BACKFLOW PREVENTERS PER
PUBLIC SPECIFICATIONS



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Job No.: R9123
Date: 6/05/23 © 2023

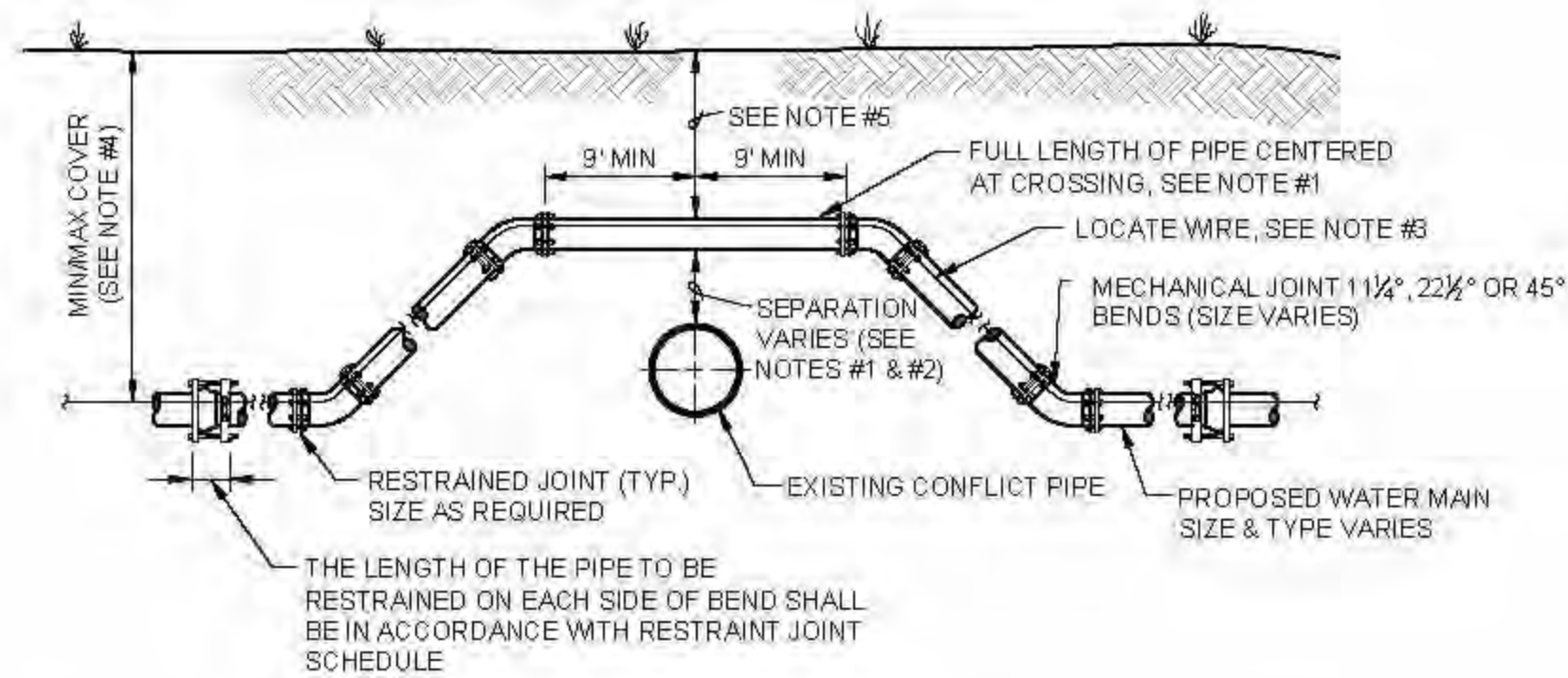
COMPOSITE UTILITY PLAN

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR
CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

Sheet No.
C1.9

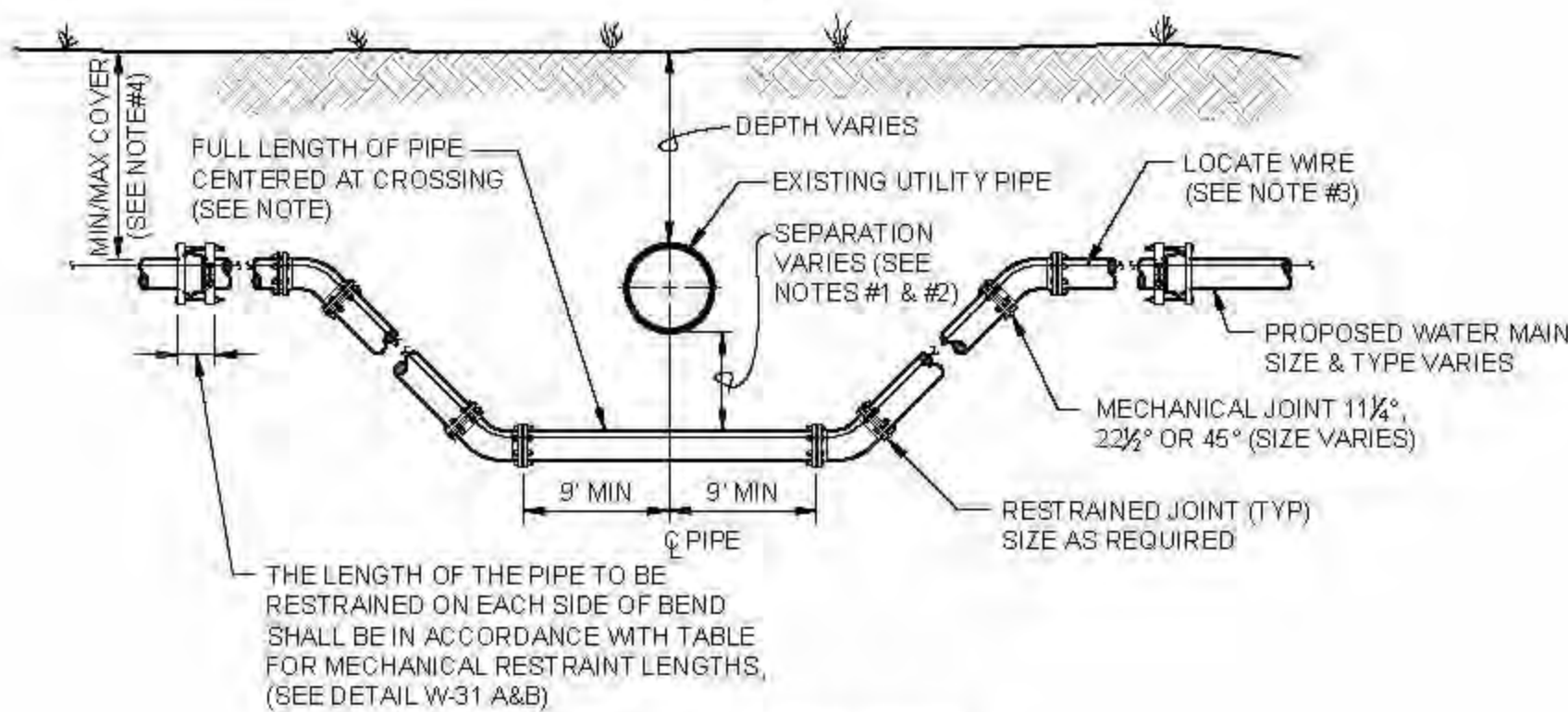


CASE "A" CROSSING

NOTES:

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
2. LOCATING WIRE REQUIRED
3. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.
4. IF UTILITY CONFLICT IS LOCATED IN A NON-TRAFFIC AREA (NO TRAFFIC LOADS) AND THE NEW PIPE IS D.I.P., THEN THE MINIMUM COVER MAY BE REDUCED TO 24 INCHES (ONLY) IN THE AREA OF THE CONFLICT.

**ADJUSTMENT OVER EXISTING UTILITIES
MECHANICAL RESTRAINTS**

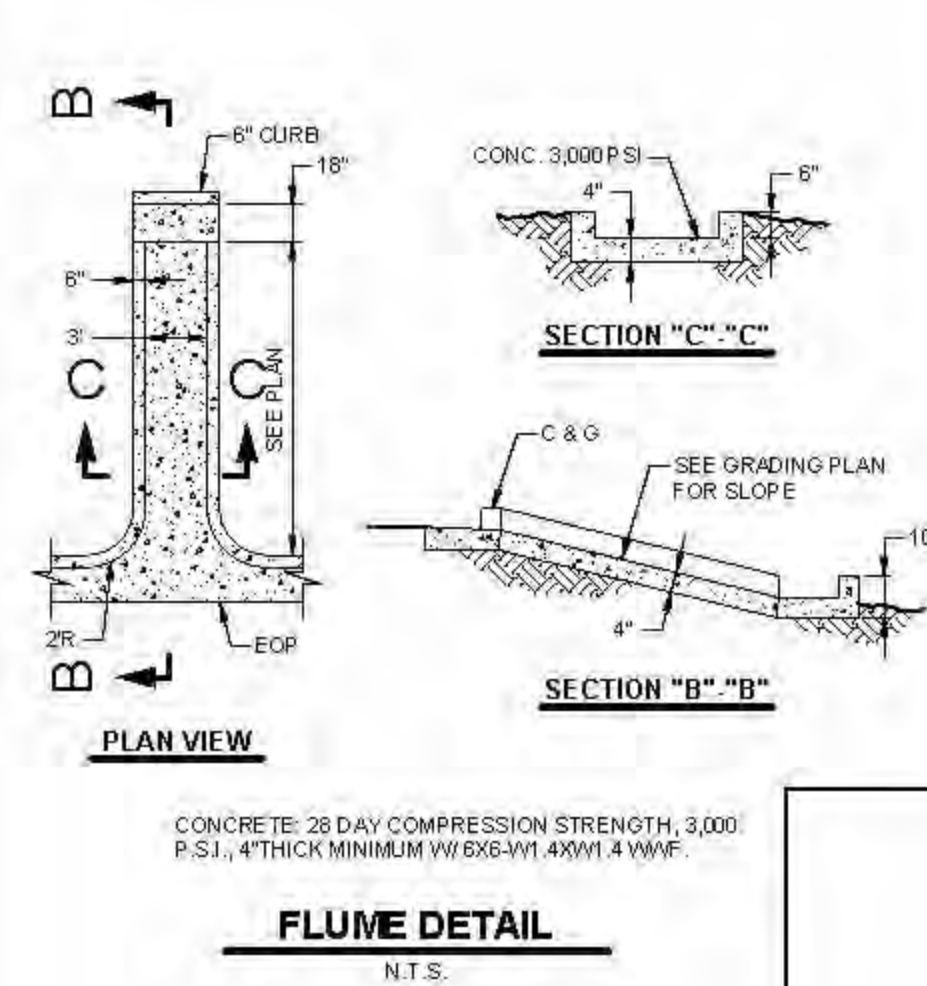
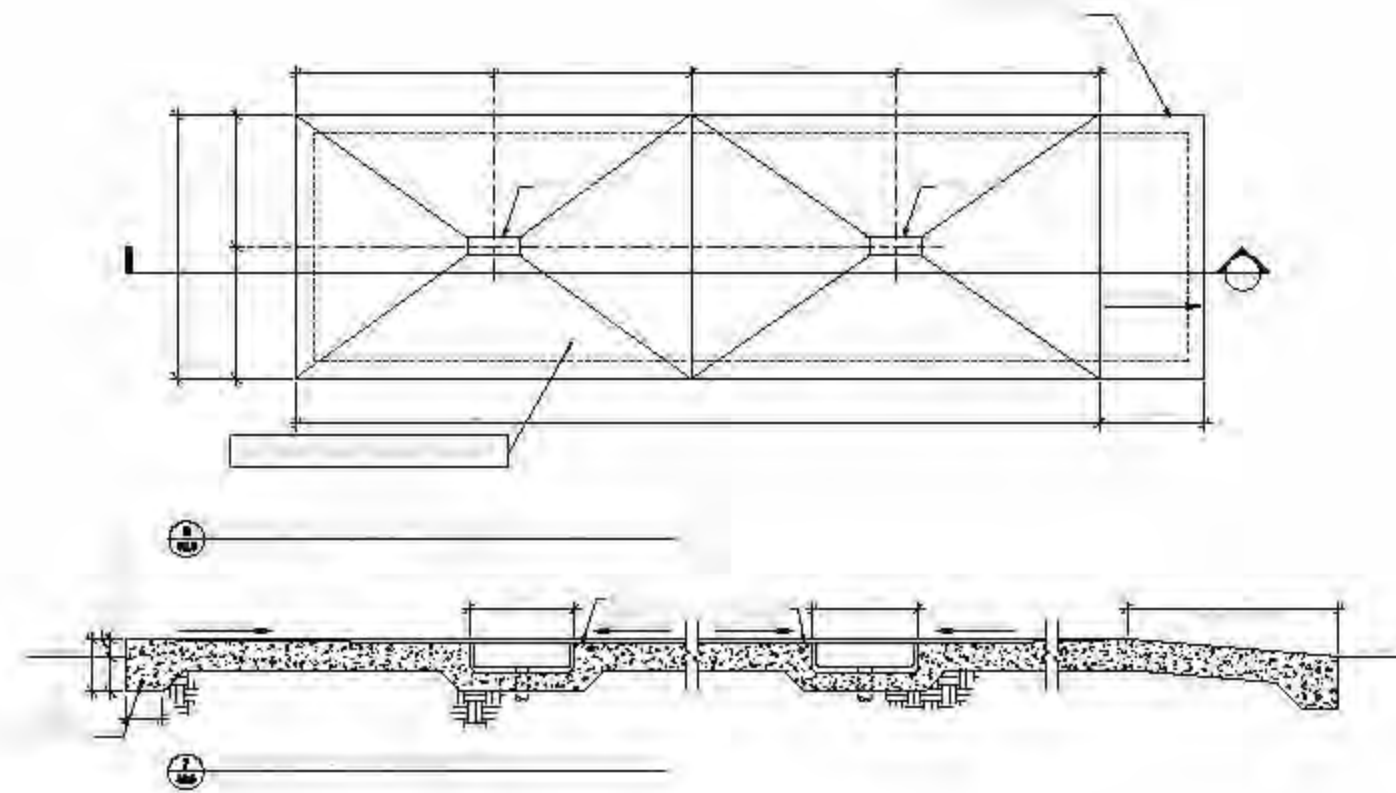


CASE "B" CROSSING

NOTES:

1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
2. LOCATING WIRE REQUIRED
3. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREA, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.

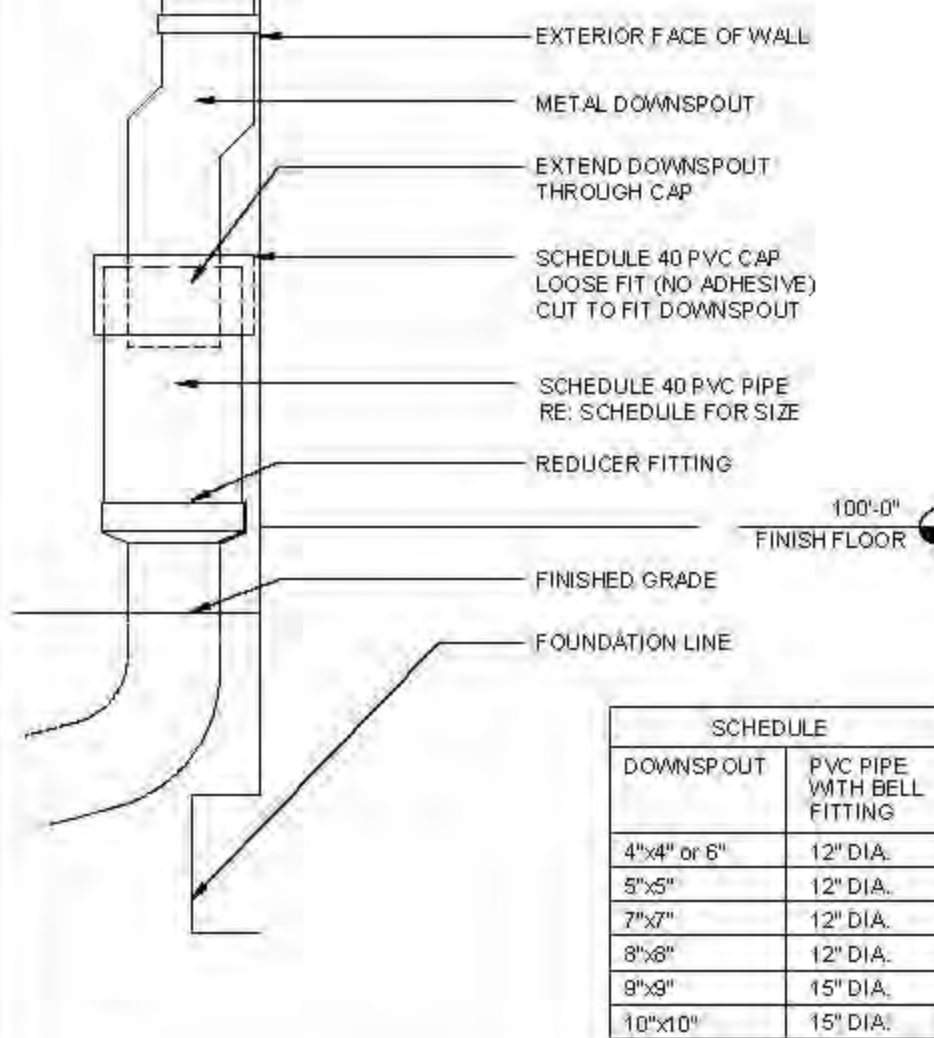
**ADJUSTMENT UNDER EXISTING UTILITIES
MECHANICAL RESTRAINTS**



SIGNS USED AS PER FLORIDA STATUTES
F.T.P. 25 PER FS 310.1995, FS 810.1995

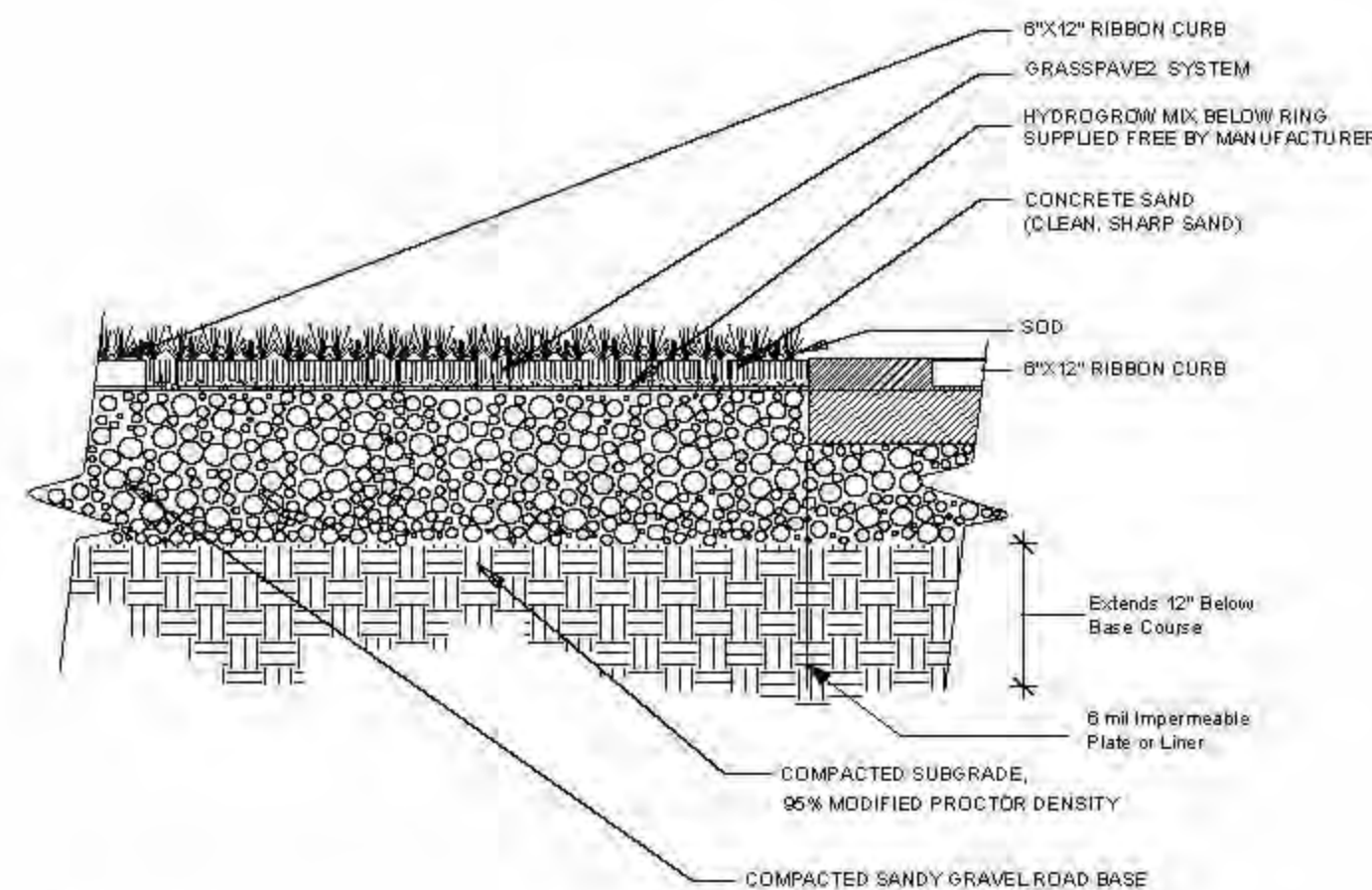
1. ALL LETTERS ARE 1" SERIES "C" PER MUTCD
2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER
4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER
5. ONE (1) SIGN REQUIRED FOR EACH PARKING SPACE
6. INSTALLATION HEIGHT OF LOWEST SIGN SHALL HAVE A MINIMUM OF 7'-0" CLEARANCE TO FINISH GRADE

TYPICAL HANDICAP SIGN
N.T.S.



EXTERIOR DOWNSPOUT COLLECTOR
N.T.S.

SCHEDULE	
DOWNSPOUT	PVC PIPE WITH BELL FITTING
4" x 4" or 6"	12" DIA.
5" x 5"	12" DIA.
7" x 7"	12" DIA.
8" x 8"	12" DIA.
9" x 9"	15" DIA.
10" x 10"	15" DIA.



NOTE: GRASS PLANT TYPES SHALL BE SPECIFIED BY A LANDSCAPE ARCHITECT OR LANDSCAPE DESIGNER

GRASSPAVE2
N.T.S.

NOTE: SCALE
1/8" = 1'-0"
STRUCTURAL, INC.
www.structured.com

1600 JACKSON ST., SUITE 310
GOLDEN, COLORADO 80401
800-333-1110 OR 303-233-4379
FAX: 303-233-1022 OR 303-233-2202
www.structured.com
REV. 02/04

No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23
© 2023

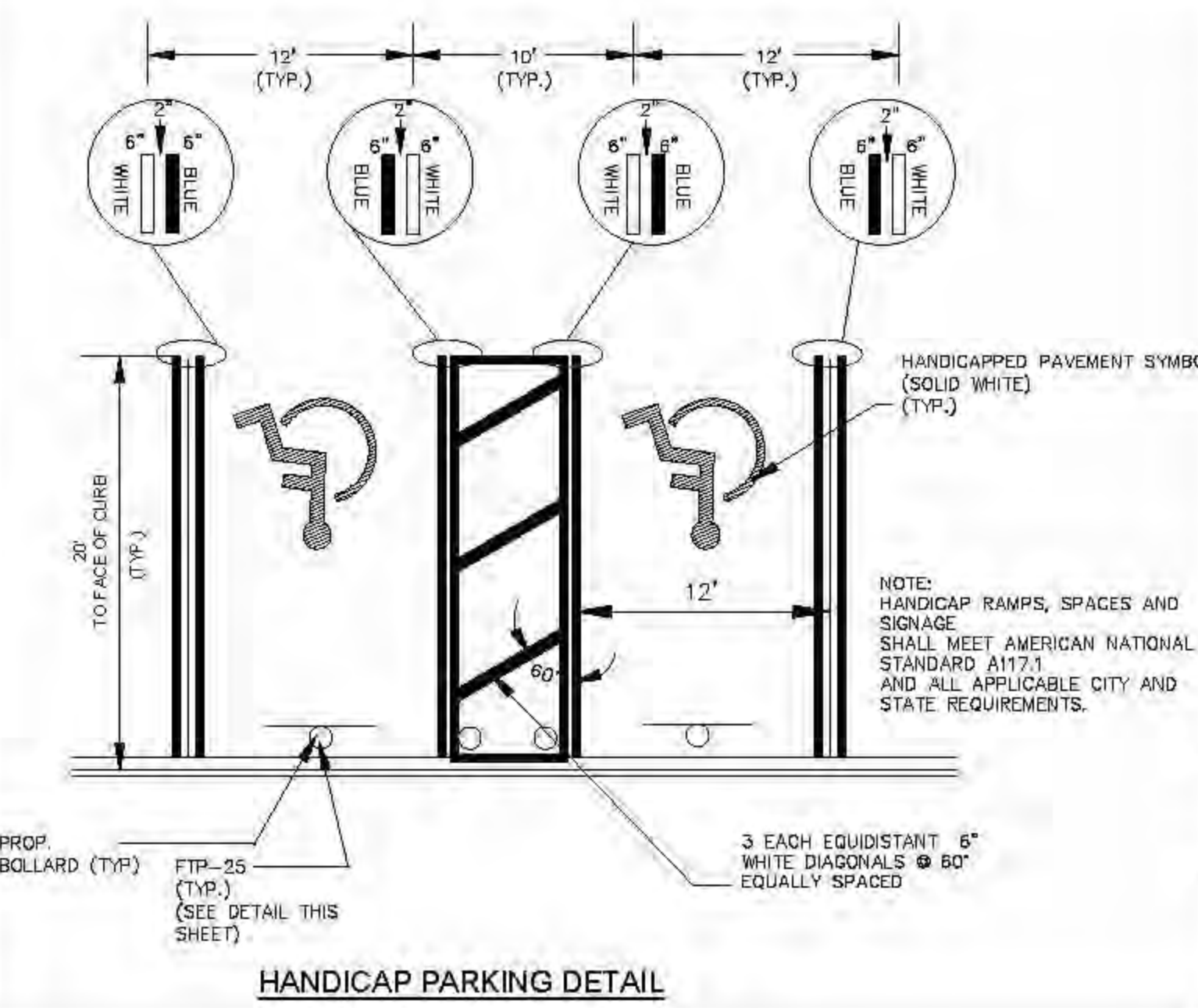
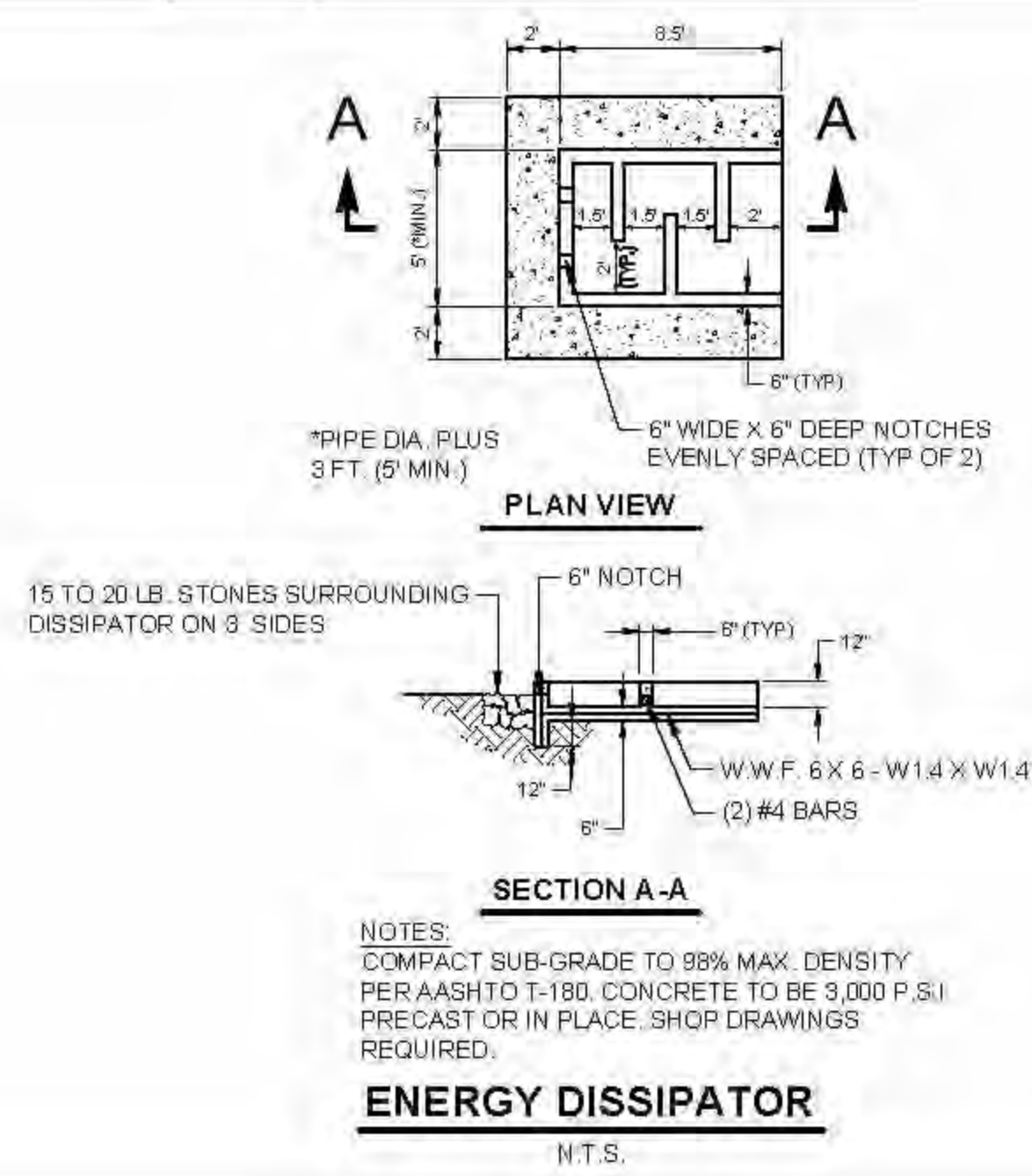
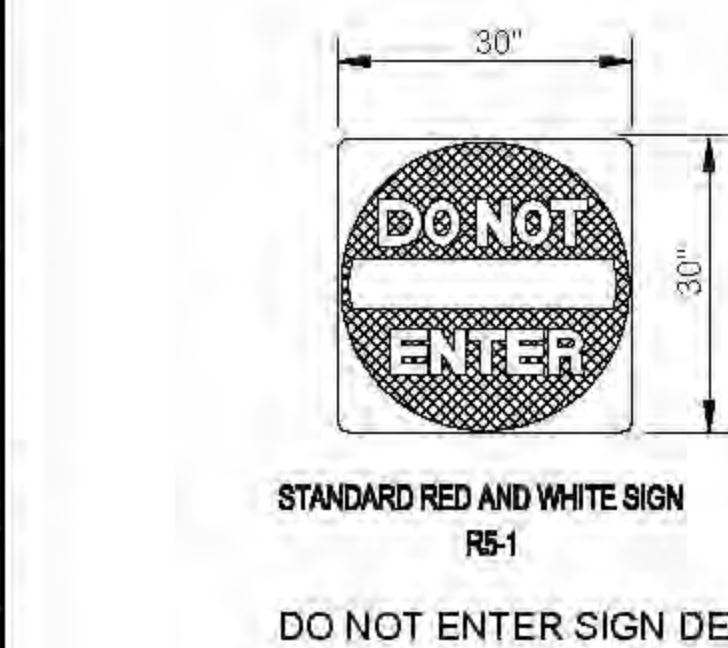
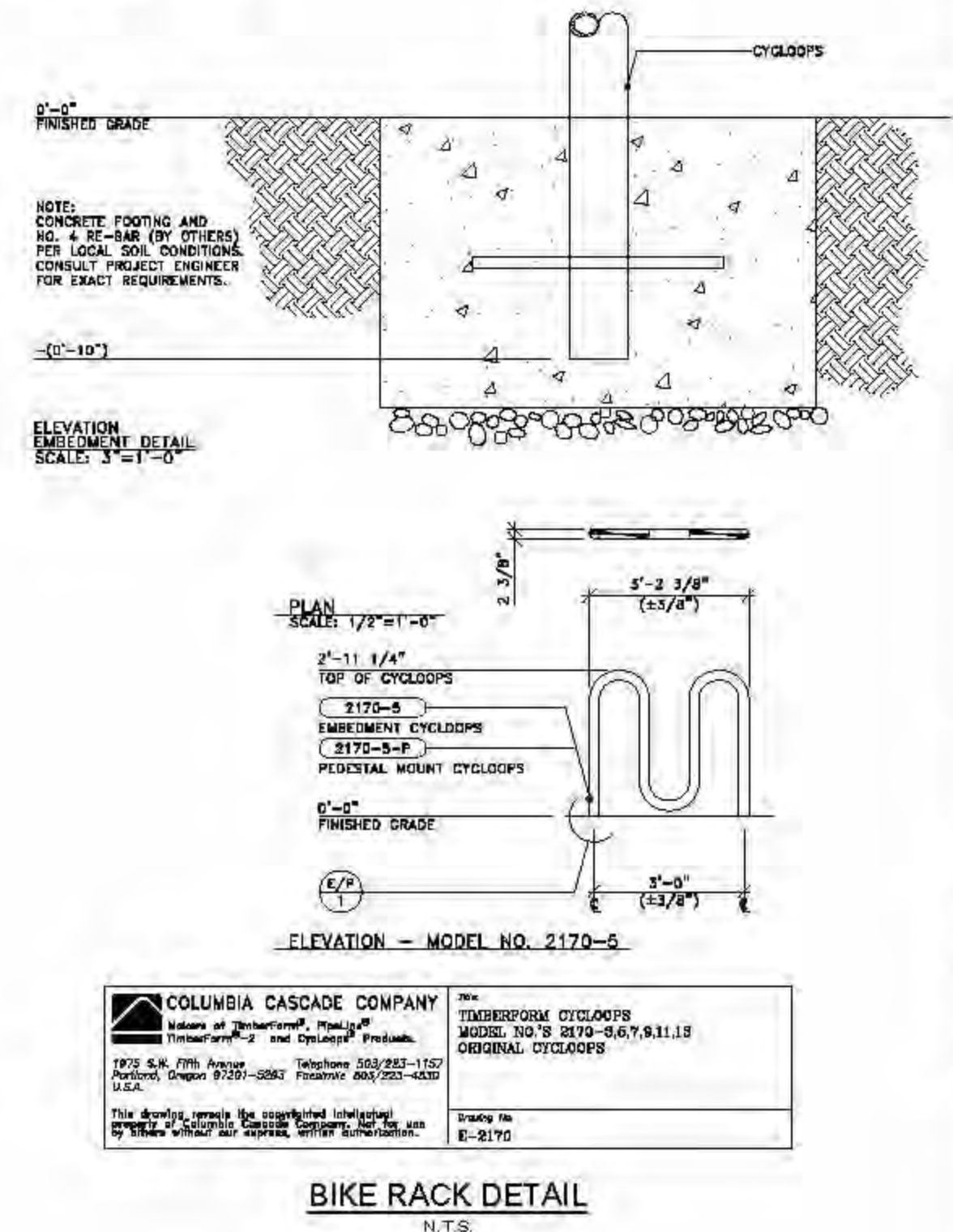
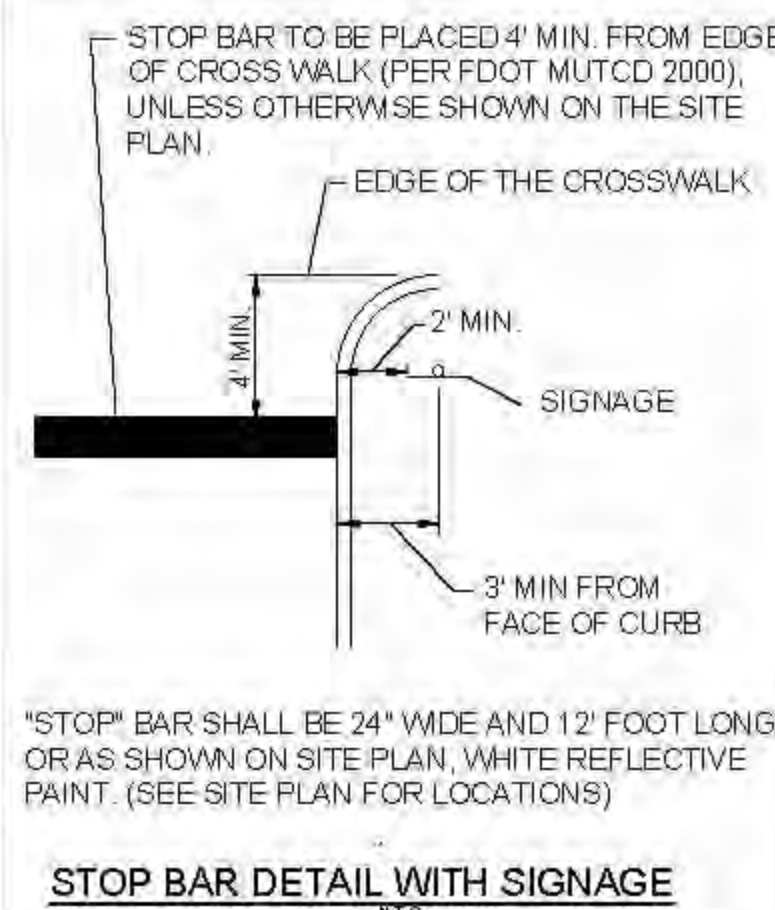
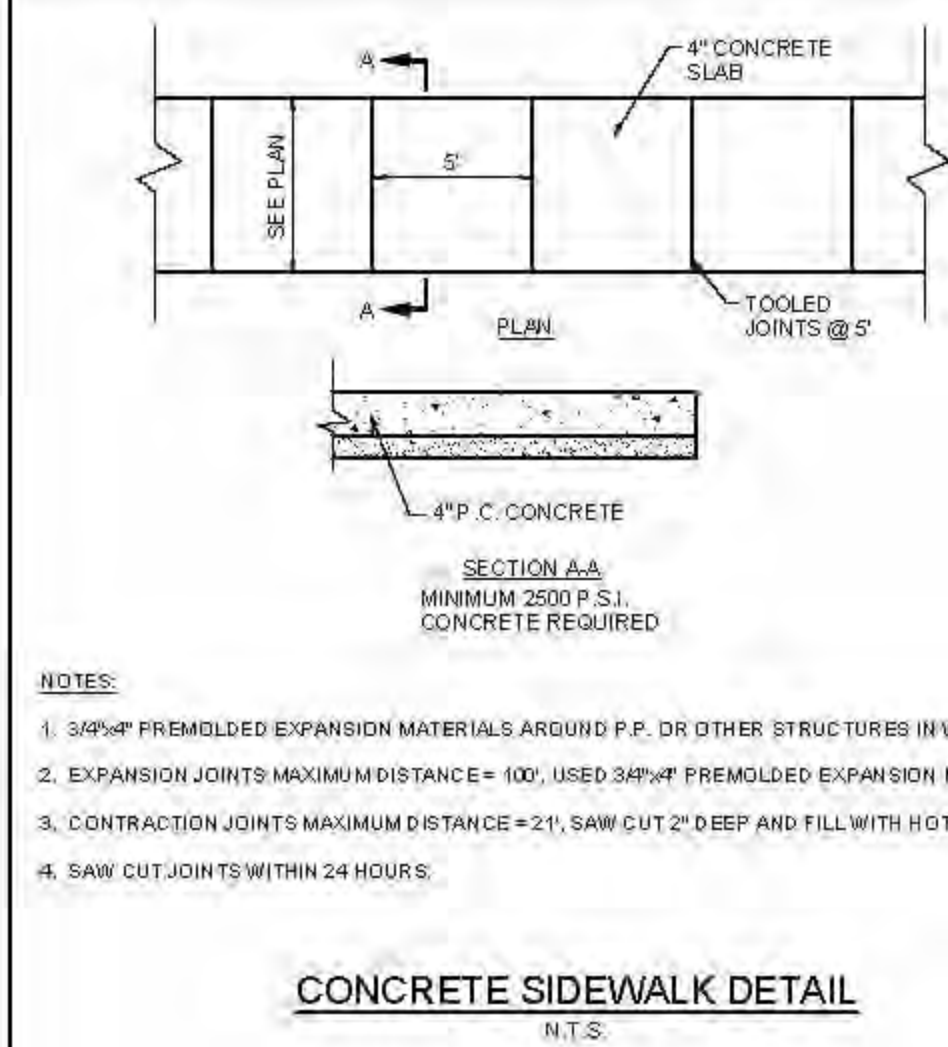
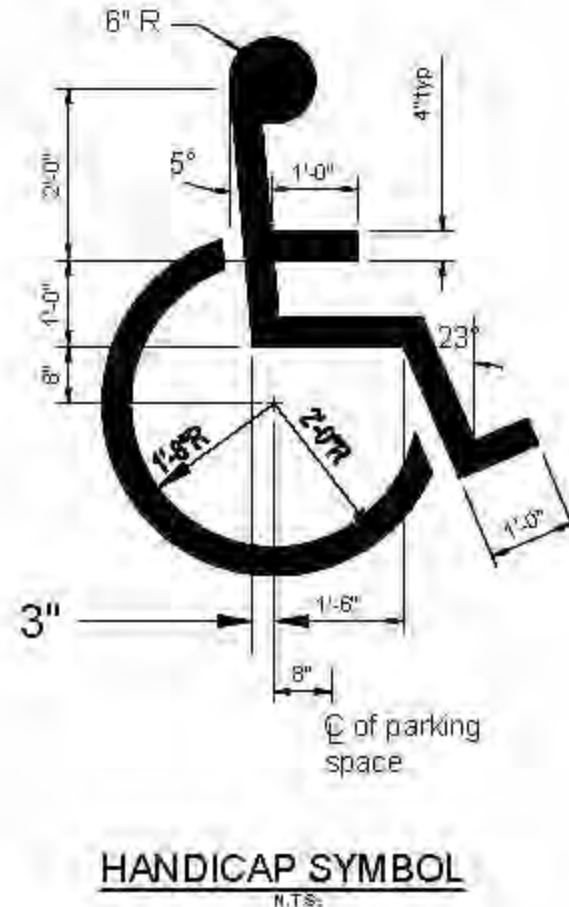
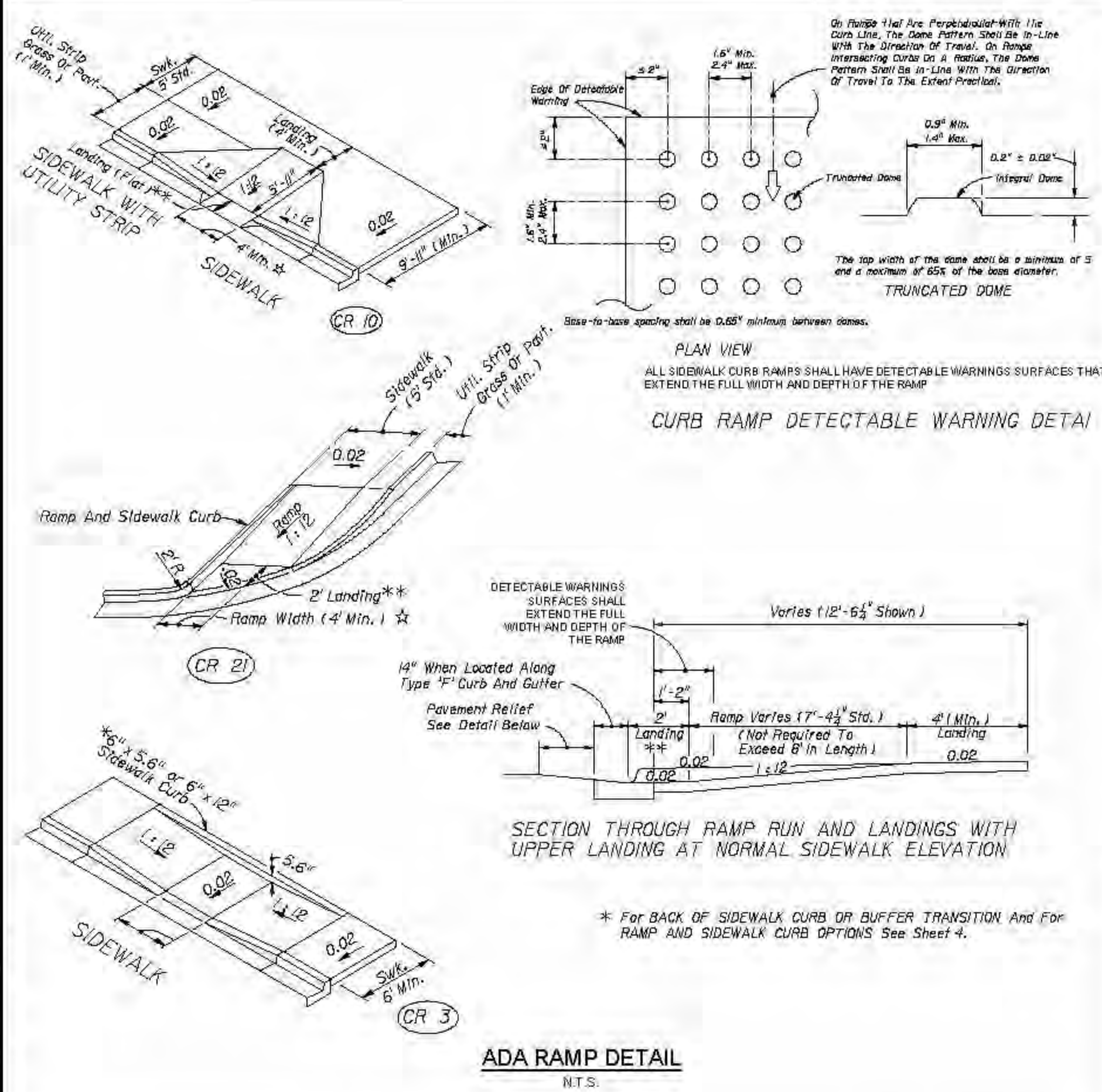
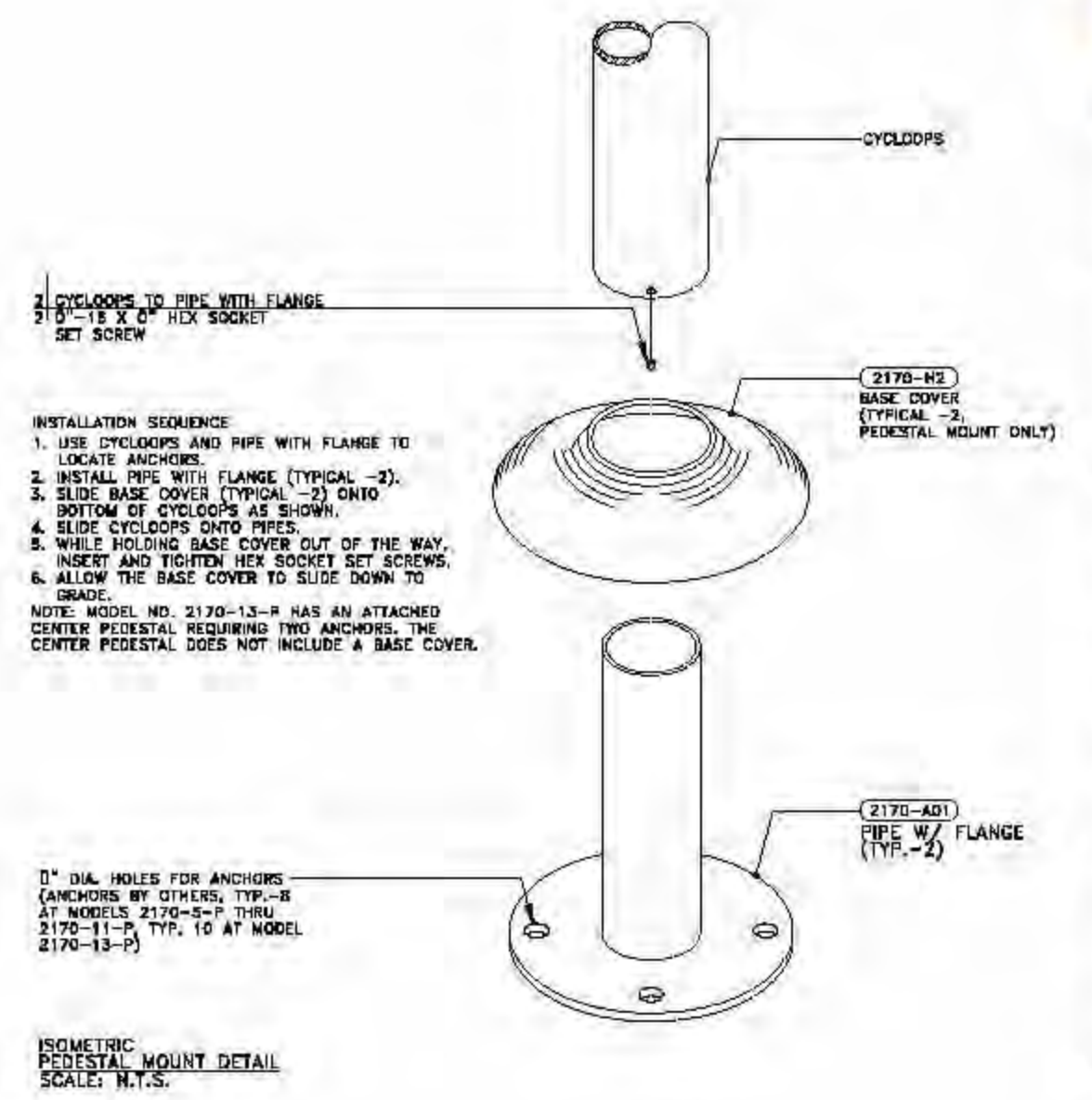
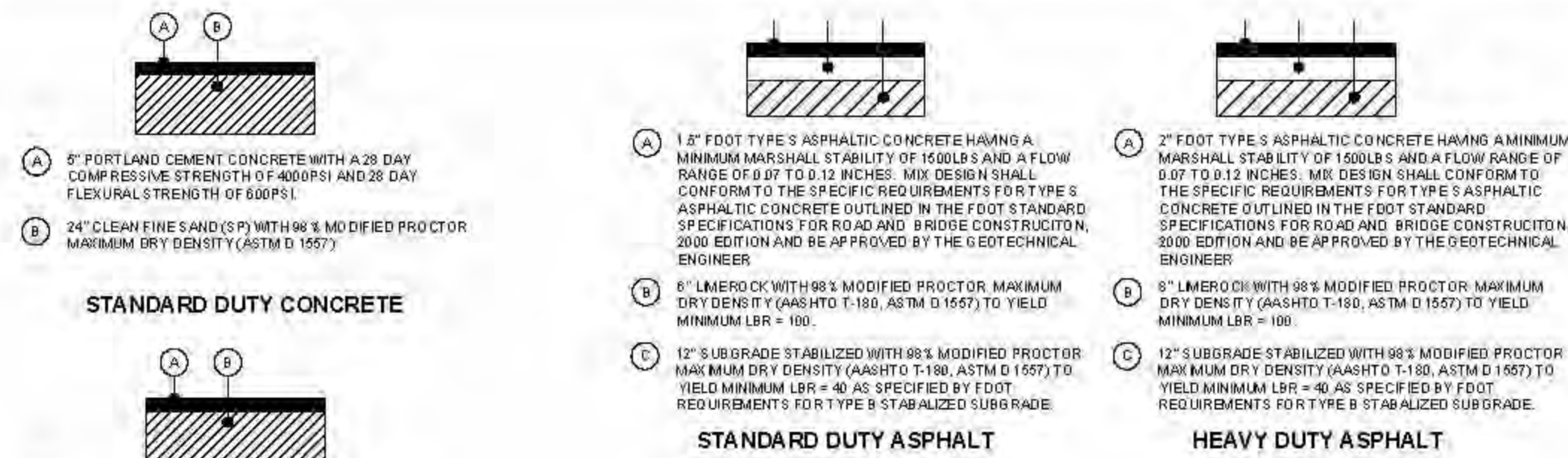
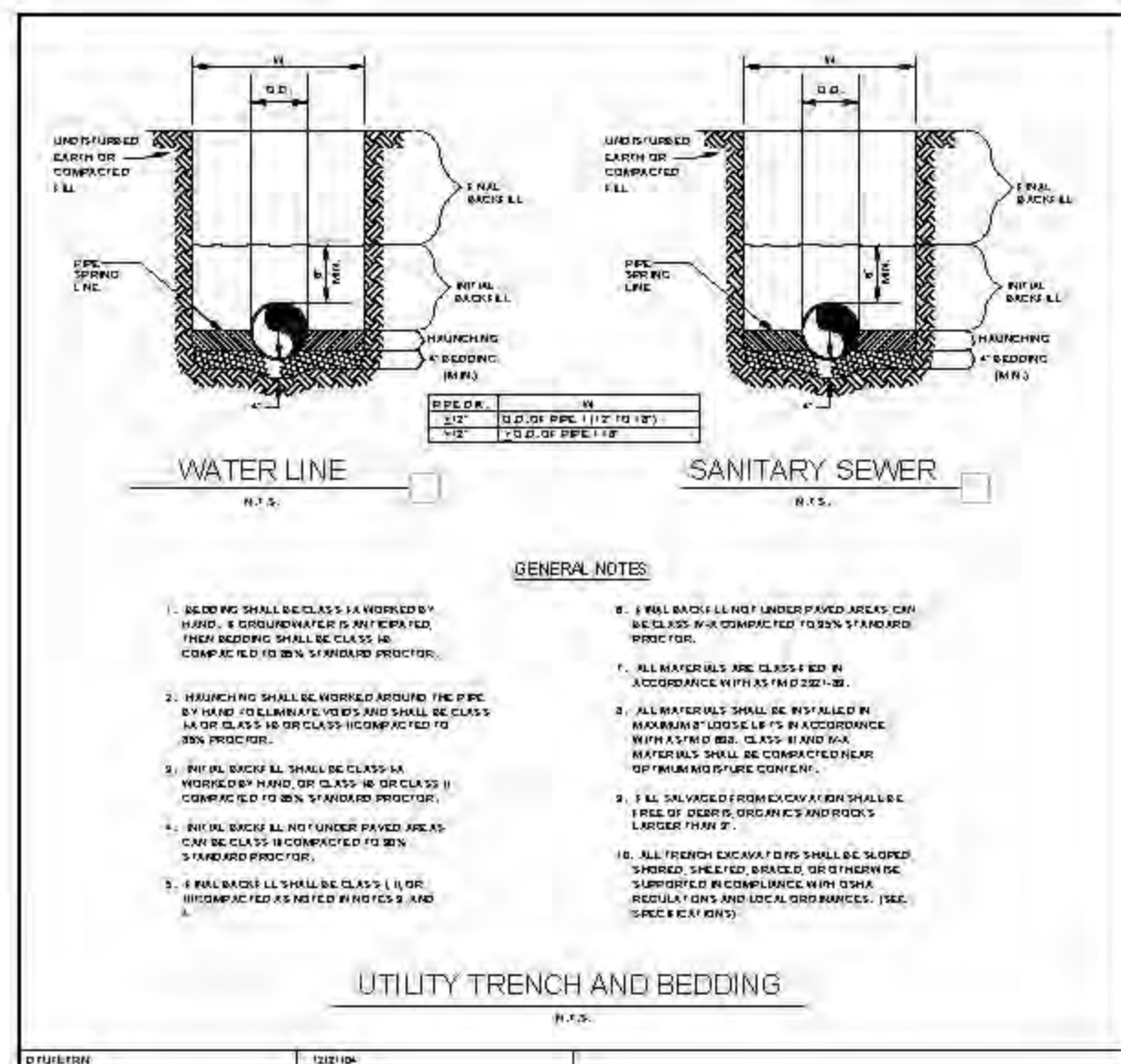
CONSTRUCTION DETAILS SHEET

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.
C2.1



cph
www.cphcorp.com
A Full Service A & E Firm
5200 E. 1st Road, Suite 220
Jacksonville, FL 32216
Ph: 904.332.8999
Plans Prepared By:
CPH, Inc.
State of Florida License:
Engineer No. 3215
Surveyor No. LB7443
Architect No. AA26000526
Landscape No. LC000298

PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 54068
W. OLSZEWSKI

This item has been digitally signed and sealed by W. OLSZEWSKI, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

No.	Date	Revision
1		
2		
3		
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6		
7		
8		
9		
10		

Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

CONSTRUCTION DETAILS SHEET

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

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Sheet No.
C2.2



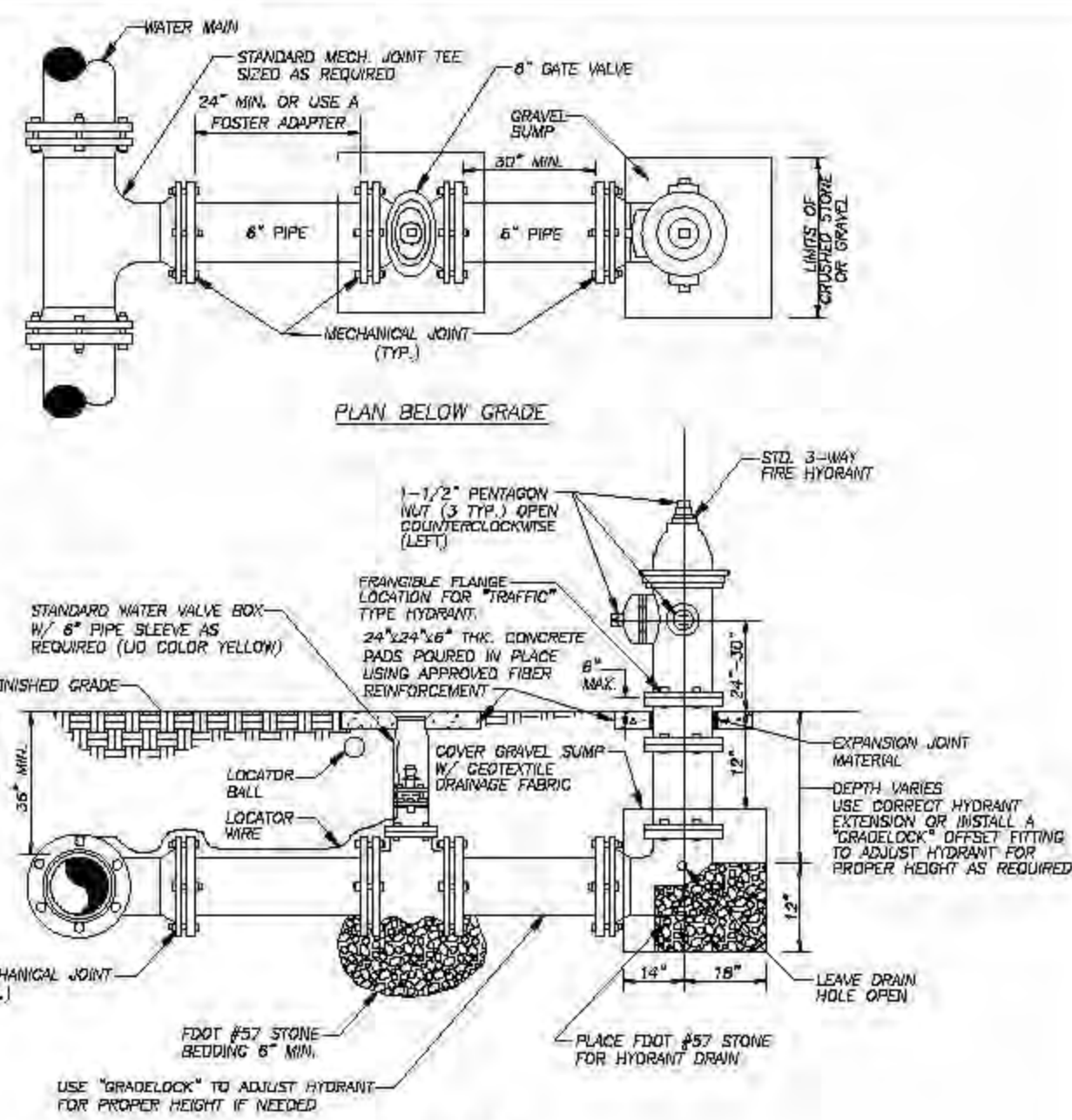
No.	Date	Revision
1		
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5		
6		
7		
8		
9		
10		

Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

ST. JOHN'S COUNTY UTILITY
regency centers
CITY OF ST. AUGUSTINE BEACH, FLORIDA

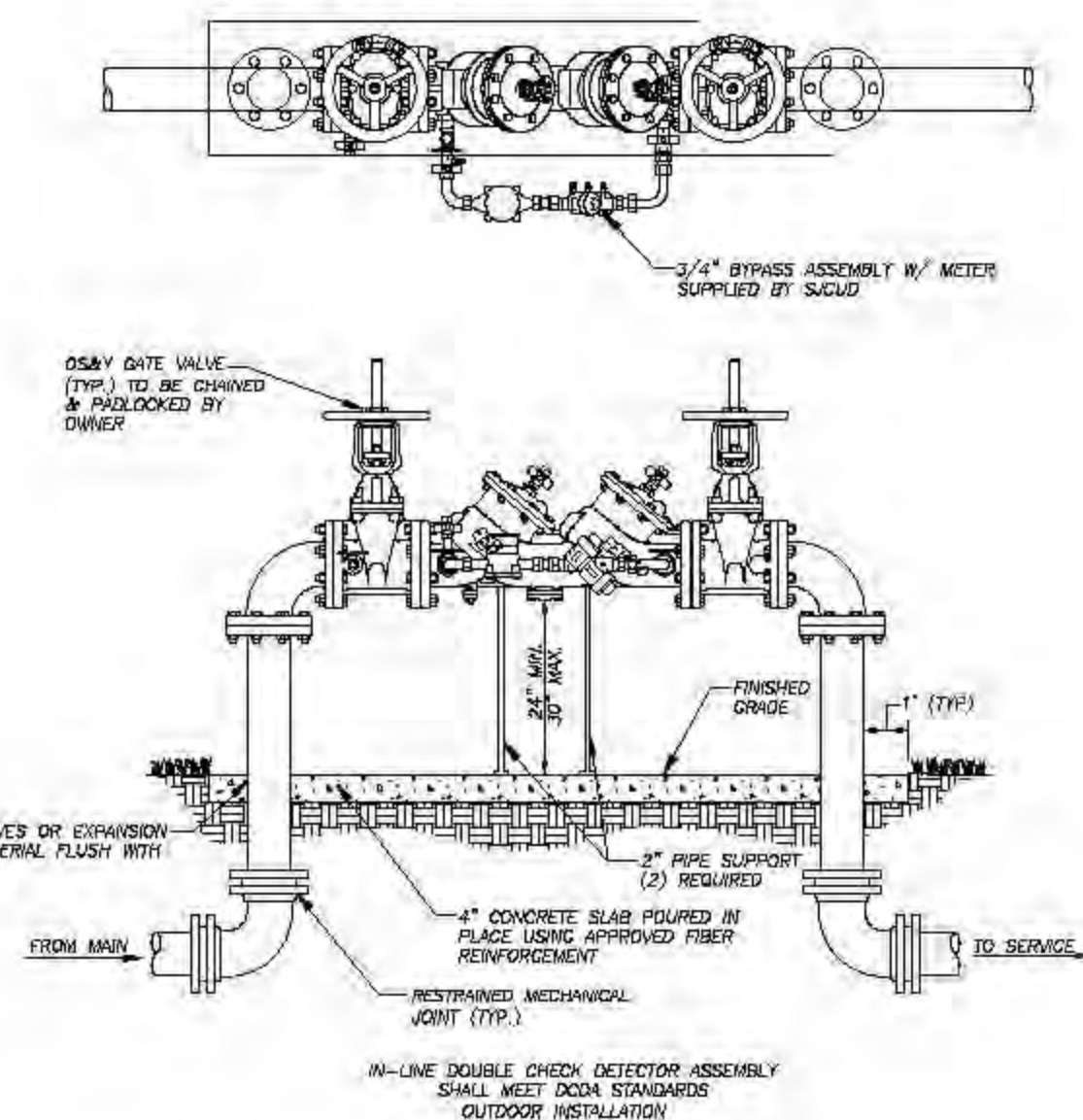
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CONSTRUCTION WITHOUT
COMPLETE SET OF PLANS.

Sheet No.
C2.4

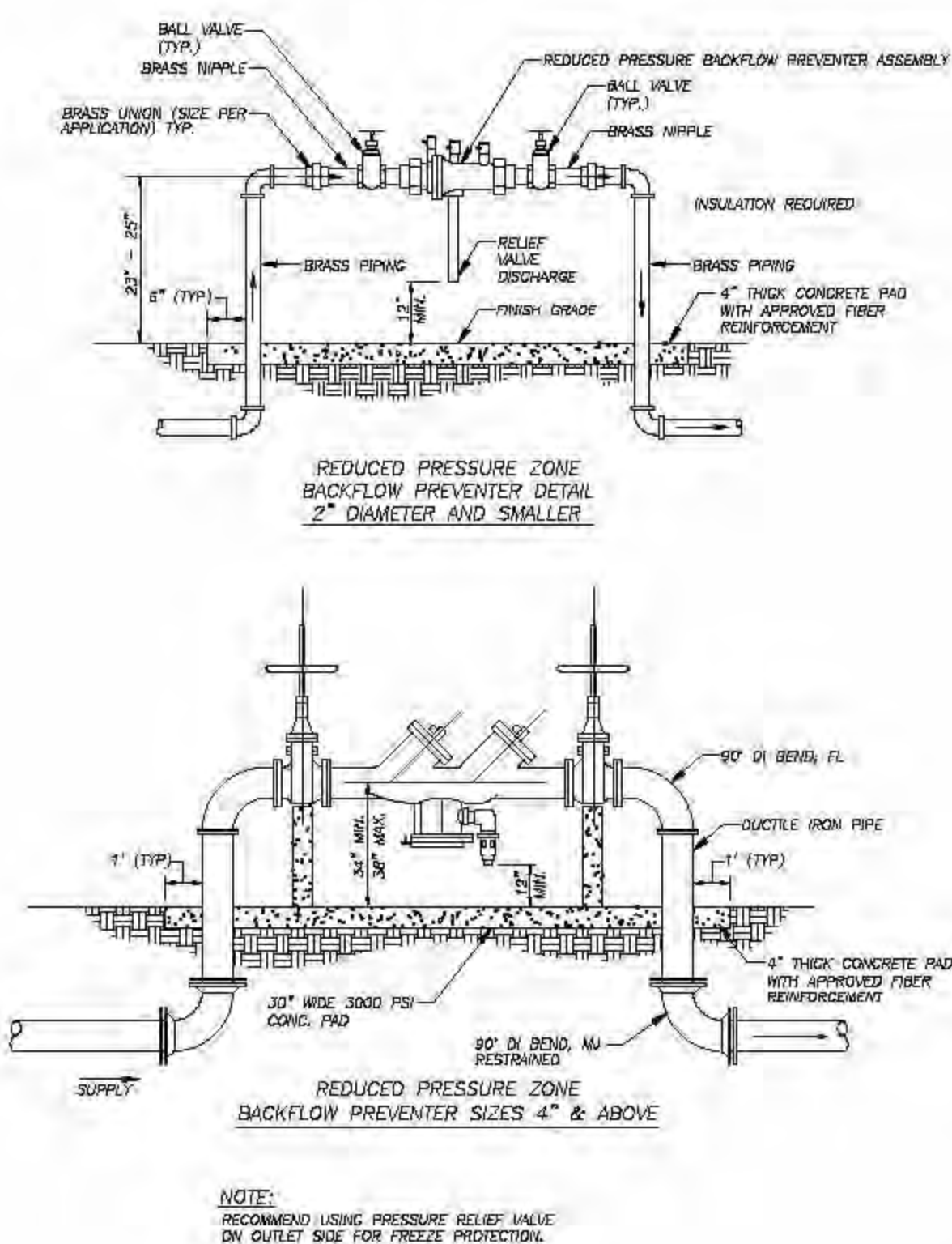


- NOTES:**
1. FIRE HYDRANTS SHALL HAVE 5 1/4" VALVE OPENING AND SHALL BE PER SUGD APPROVED MATERIALS.
 2. FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW IN ACCORDANCE WITH CURRENT ST. JOHNS COUNTY LAND DEVELOPMENT CODE.
 3. INSTALL BLUE TRAFFIC SPOTTERS AS PER LOCAL FIRE CODE REQUIREMENTS.
 4. FIRE HYDRANTS TO BE 3'-8" FROM THE BACK OF CURB. IF NO CURB, FIRE HYDRANTS SHALL BE 6'-0" FROM THE EDGE OF PAVEMENT (SEE LOC SECTION 6.03.03, C.2 AND 3) OR CONTACT THE FIRE MARSHAL'S OFFICE AT (904) 208-1740.
 5. NO FIRE HYDRANTS SHALL BE LOCATED AT STREET CORNERS.
 6. HYDRANTS IN SUBDIVISIONS SHOULD BE LOCATED ON LOT LINES.

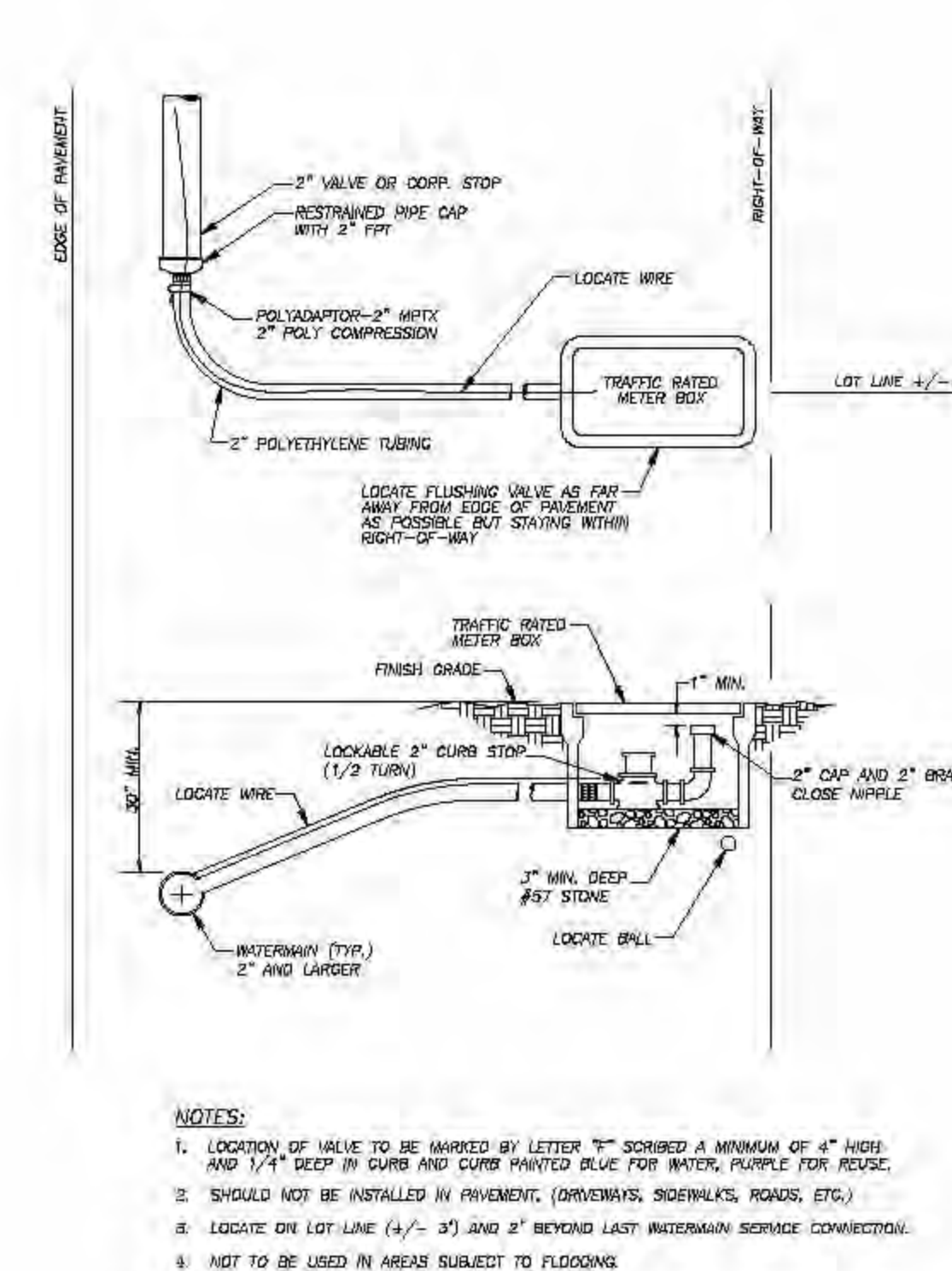
REVISIONS	ST. JOHNS COUNTY UTILITY DEPARTMENT	FIRE HYDRANT INSTALLATION USING MECHANICAL JOINT TEE
Date	Comments	
2020	REVISION 1	SCALE: N.T.S.



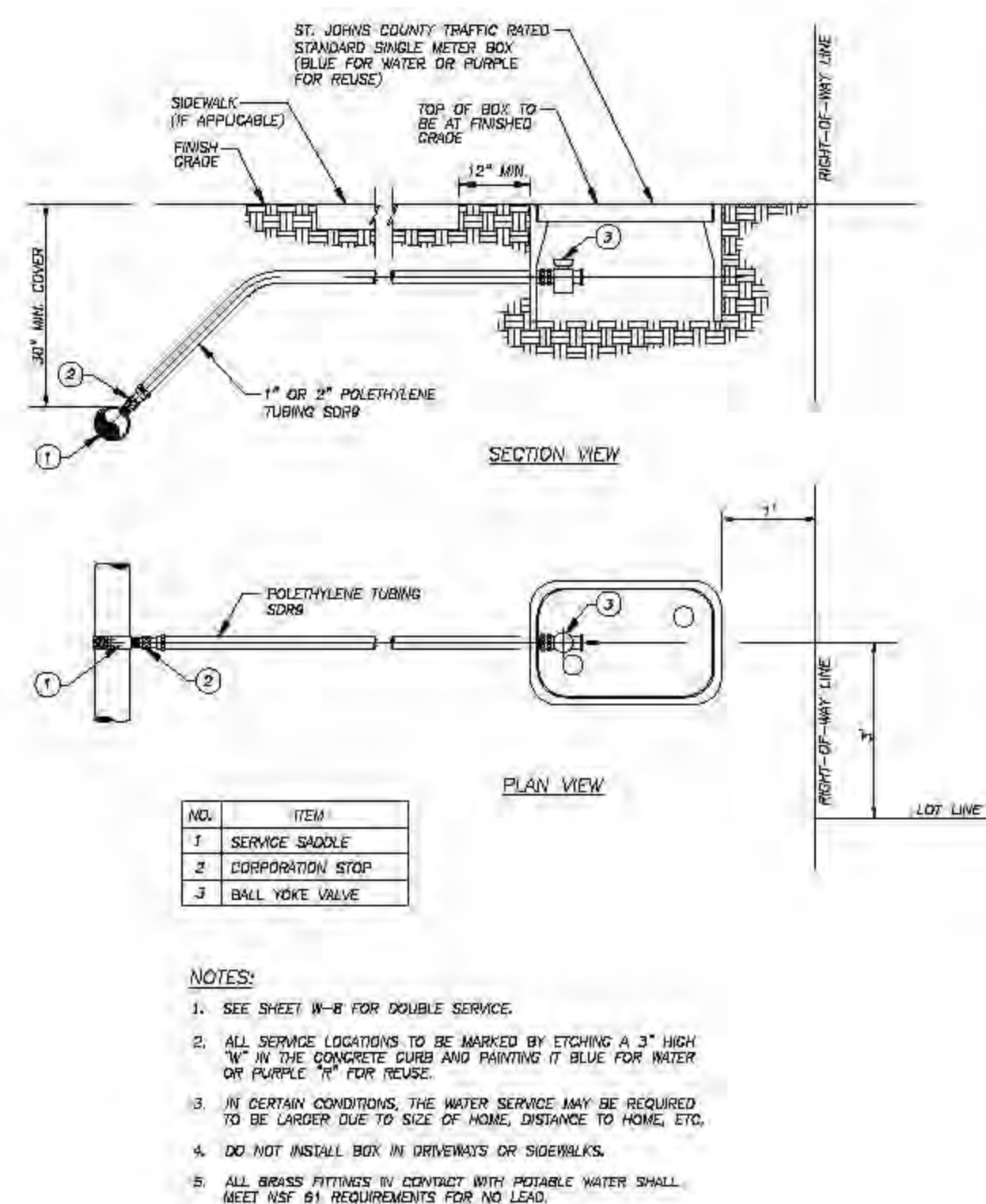
REVISIONS	ST. JOHNS COUNTY UTILITY DEPARTMENT	DOUBLE CHECK DETECTOR ASSEMBLY
Date	Comments	
2020	REVISION 1	SCALE: N.T.S.




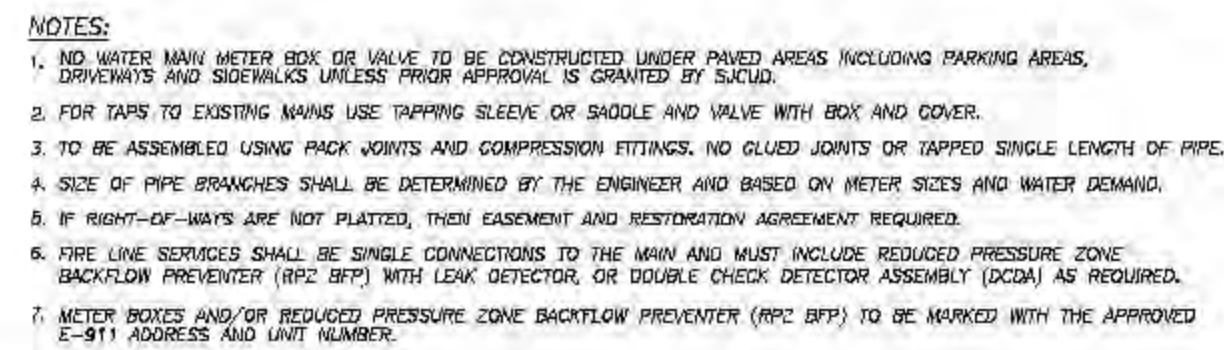
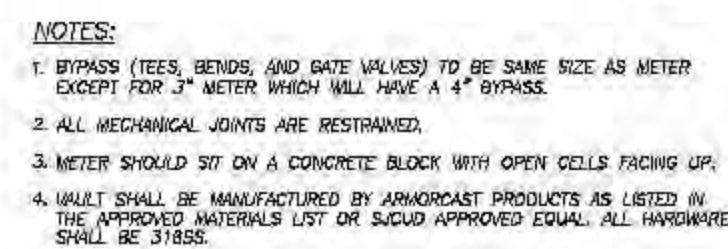
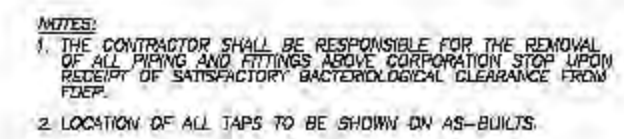
REVISIONS	ST. JOHNS COUNTY UTILITY DEPARTMENT	TYPICAL REDUCED PRESSURE ZONE ASSEMBLY
Date	Comments	
2020	REVISION 1	SCALE: N.T.S.



REVISIONS	ST. JOHNS COUNTY UTILITY DEPARTMENT	2" FLUSHING VALVE BELOW GRADE TYPE
Date	Comments	
2020	REVISION 1	SCALE: N.T.S.




REVISIONS	ST. JOHNS COUNTY UTILITY DEPARTMENT	WATER SERVICES SINGLE SERVICE
Date	Comments	
2020	REVISION 1	SCALE: N.T.S.



**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1905 SPATE ROAD 18
ST. AUGUSTINE, FLORIDA 32084
Phone (904) 206-2700 • Fax: (904) 206-2662




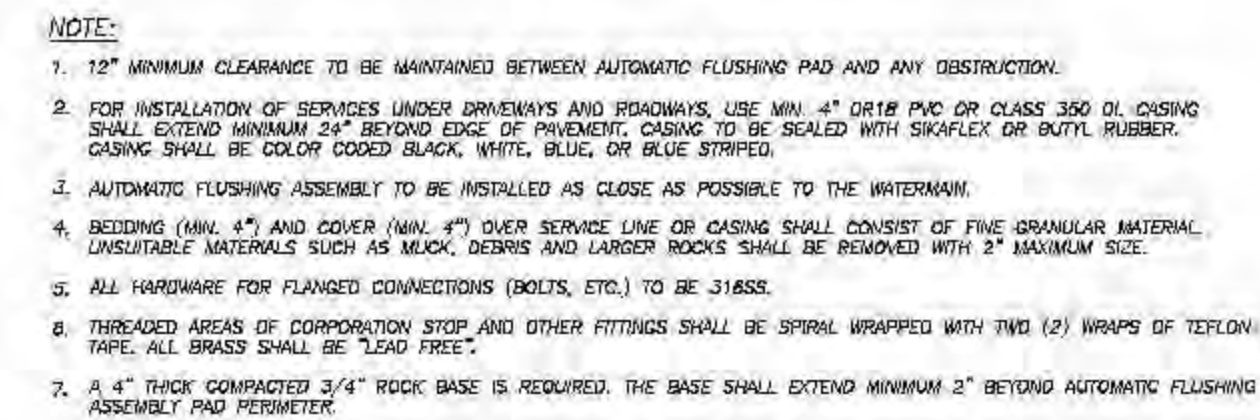
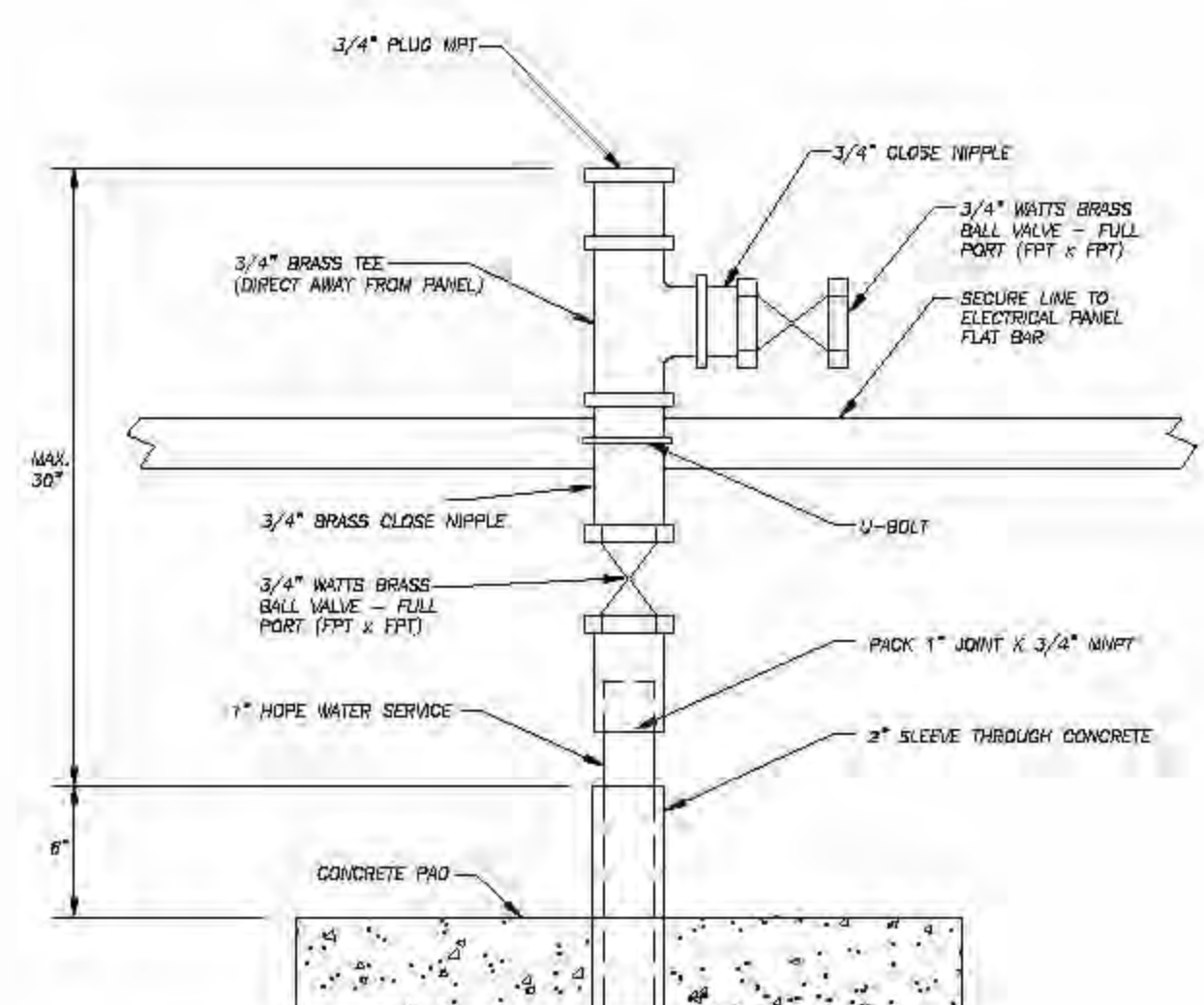
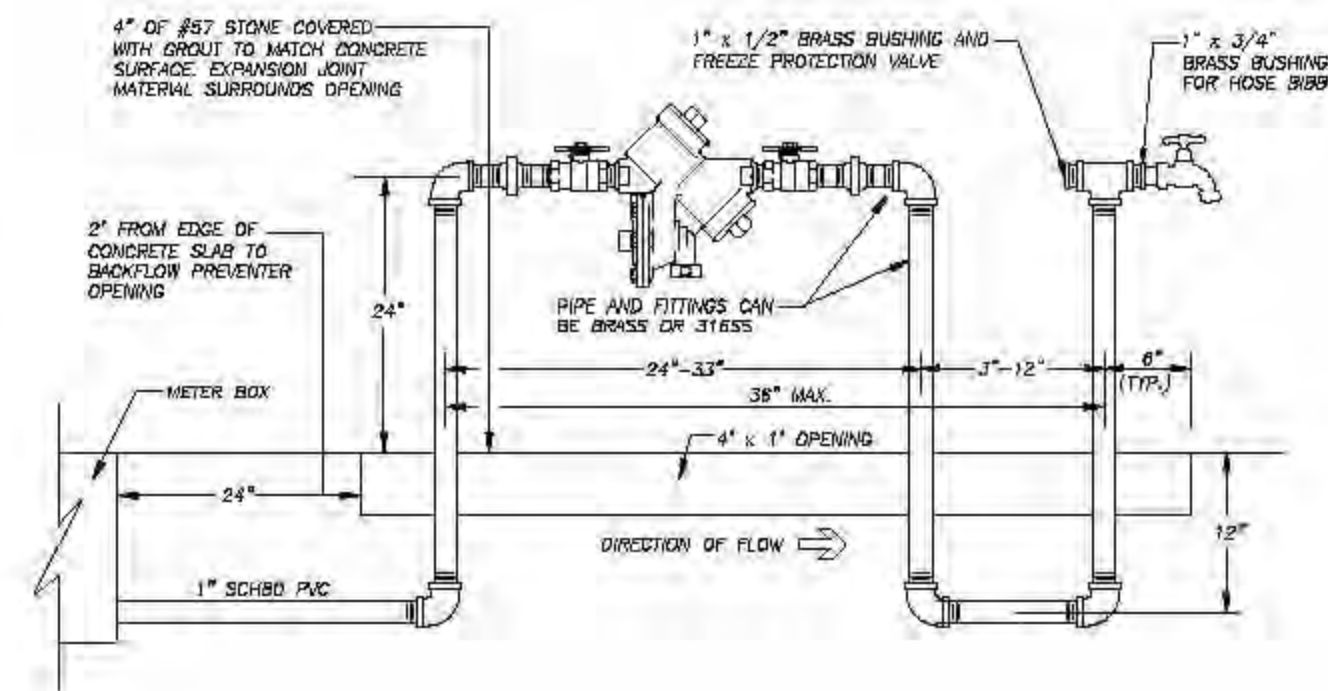
**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1885 SPATE ROAD (S)
ST AUGUSTINE, FLORIDA 32084
Phone: (904) 265-9700 • Fax: (904) 265-2828




**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1806 STATE ROAD 18
ST AUGUSTINE, FLORIDA 32084
Phone (904) 929-5700 • Fax: (904) 922-5800




**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

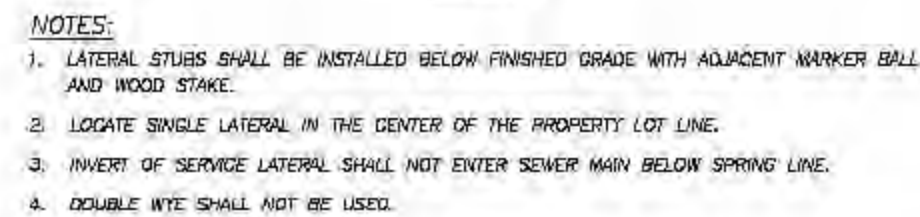
1225 STATE ROAD 18
ST AUGUSTINE, FLORIDA 32084
Phone (904) 208-2750 • Fax: (904) 208-2852





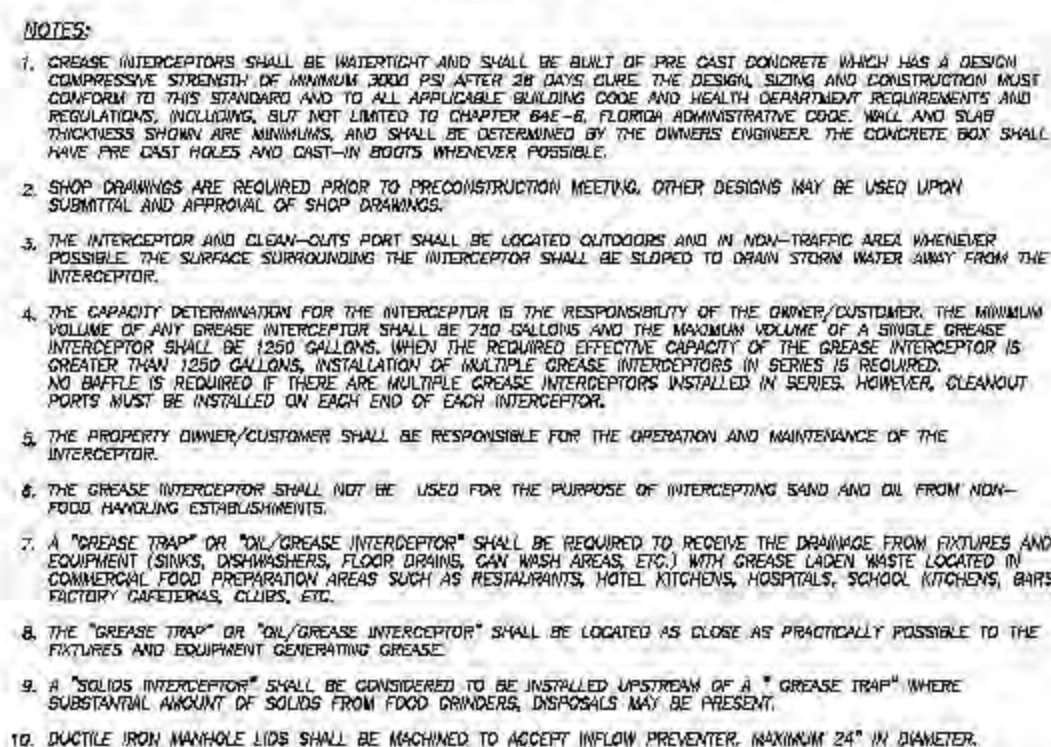
**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1280 STATE ROAD 18
ST. AUGUSTINE, FLORIDA 32084
Phone (904) 268-2700 • Fax: (904) 208-2832

 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1206 STATE ROAD 15
ST AUGUSTINE, FLORIDA 32084
Phone (904) 208-2700 • Fax: (904) 208-2800



 **ST. JOHNS COUNTY
UTILITY DEPARTMENT**
1205 SPANWY ROAD 18
ST AUGUSTINE, FLORIDA 32084
Phone (904) 308-8730 • Fax: (904) 308-8562




**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1205 STATE ROAD 16
ST. AUGUSTINE, FLORIDA 32084
Phone (904) 208-5700 • Fax: (904) 208-2852

OIL/SAND/WATER SEPARATOR(S) SIZING FORMULA

$$\frac{45 \text{ } 1^{\text{st}} 100 \text{ ft}^2 \text{ OF DRAINAGE AREA}}{7.5 \text{ PER ADD'L } 100 \text{ ft}^2 \text{ OF DRAINAGE AREA}} \times \text{ADD'L } 100 \text{ ft}^2 \text{ OVER } 1^{\text{st}} 100 \text{ ft}^2 = \text{SIZE MIN. GALLON S}$$

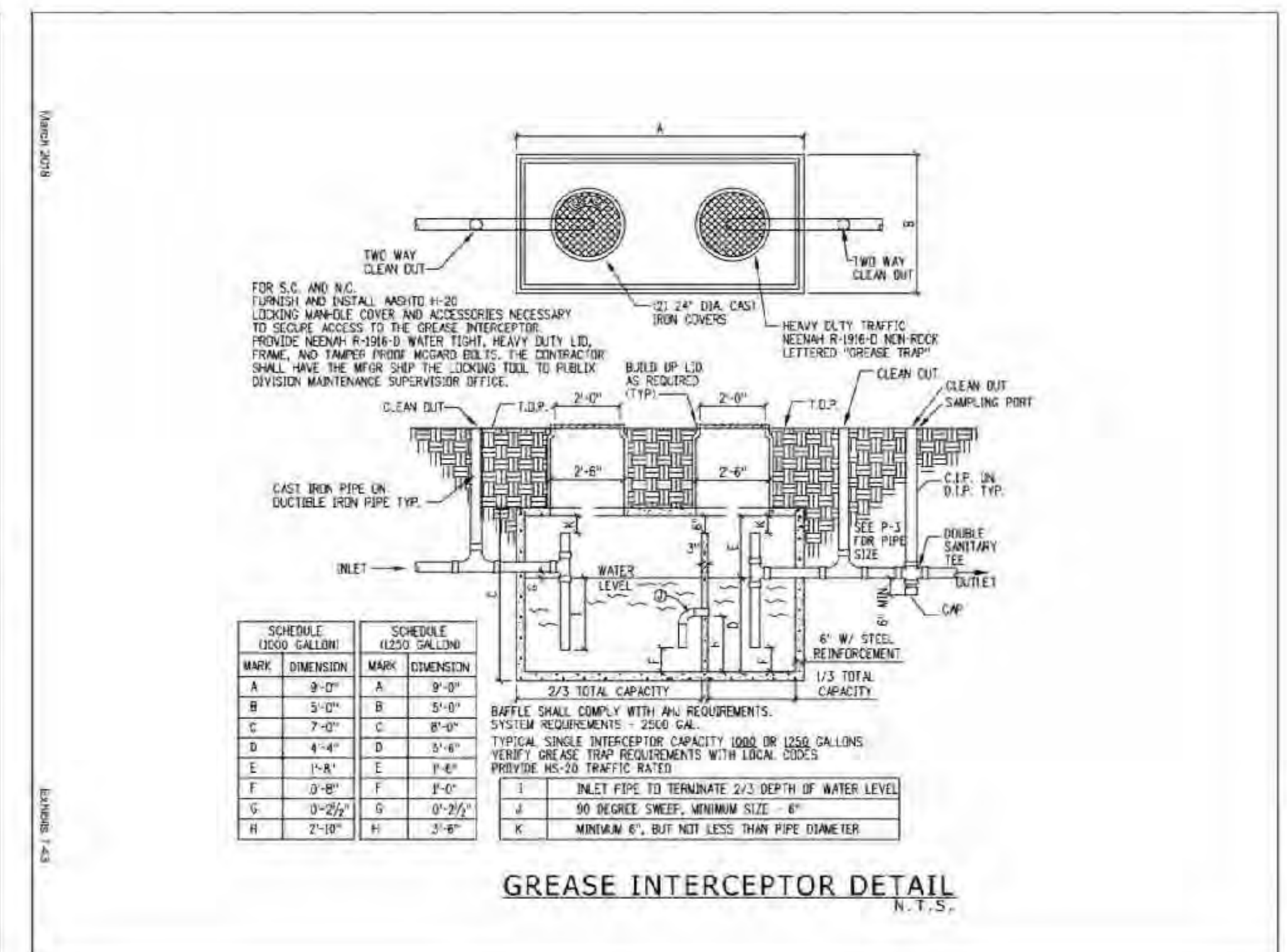
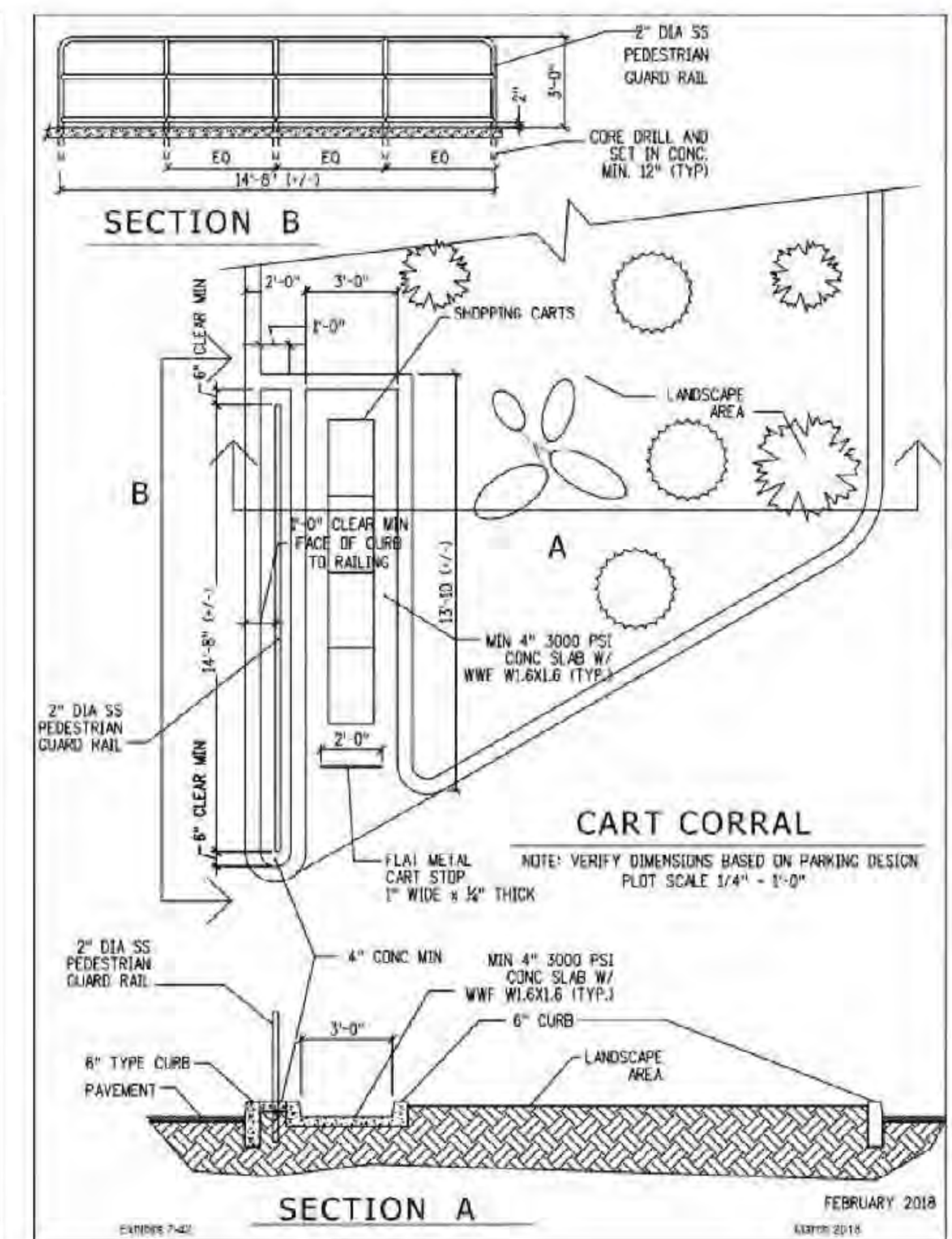
PER:
STATE OF FLORIDA
DEPARTMENT OF HEALTH
CHAPTER 64E-6.013, FLORIDA ADMINISTRATIVE CODE
STANDARDS FOR ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS

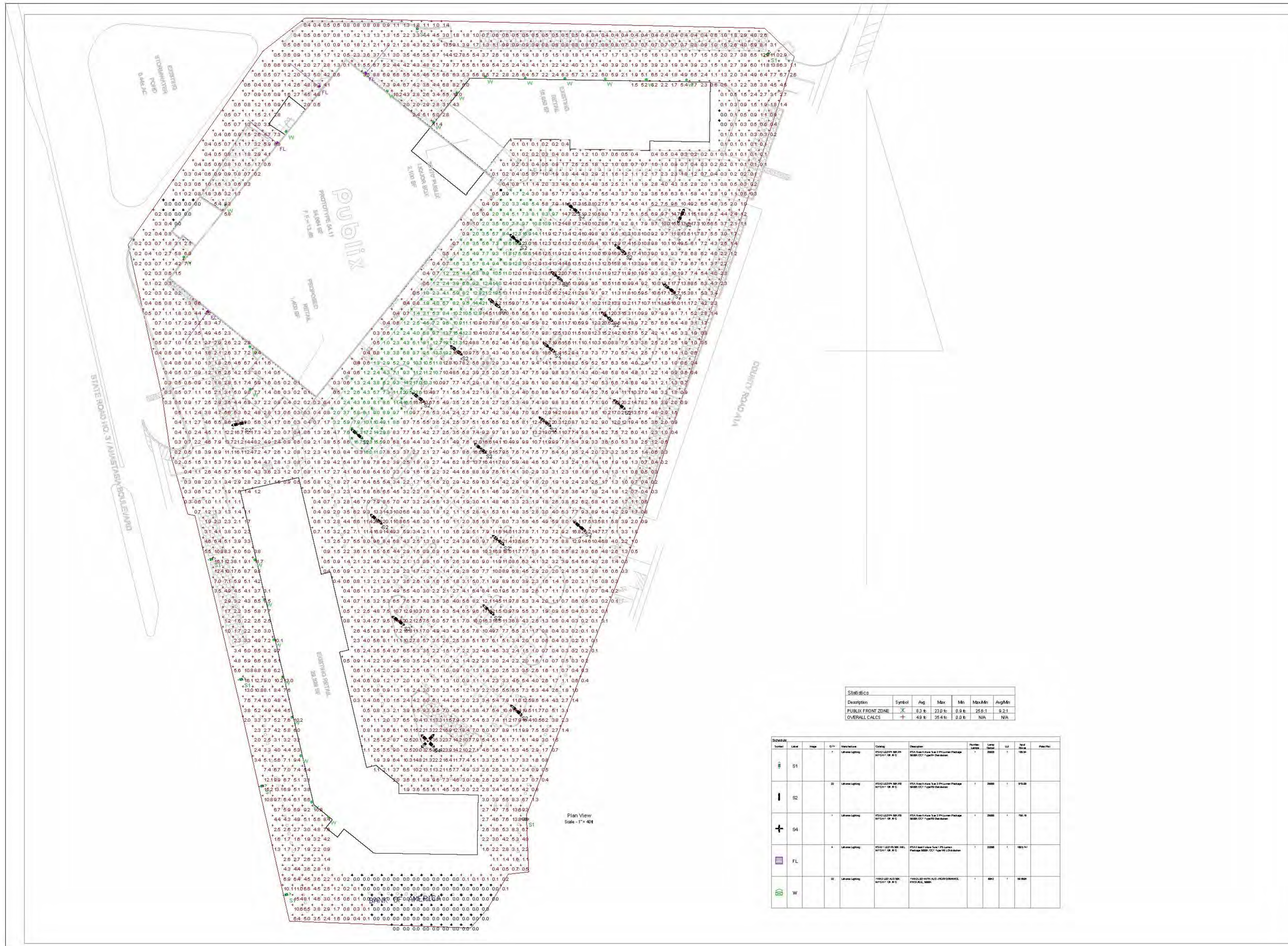


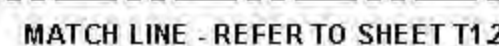
**ST. JOHNS COUNTY
UTILITY DEPARTMENT**

1200 STATE ROAD 16
ST AUGUSTINE, FLORIDA 32084
Phone (904) 286-2700 - Fax: (904) 286-2822

OIL/GREASE-SAND/OIL
INTERCEPTOR
SIZING TABLE







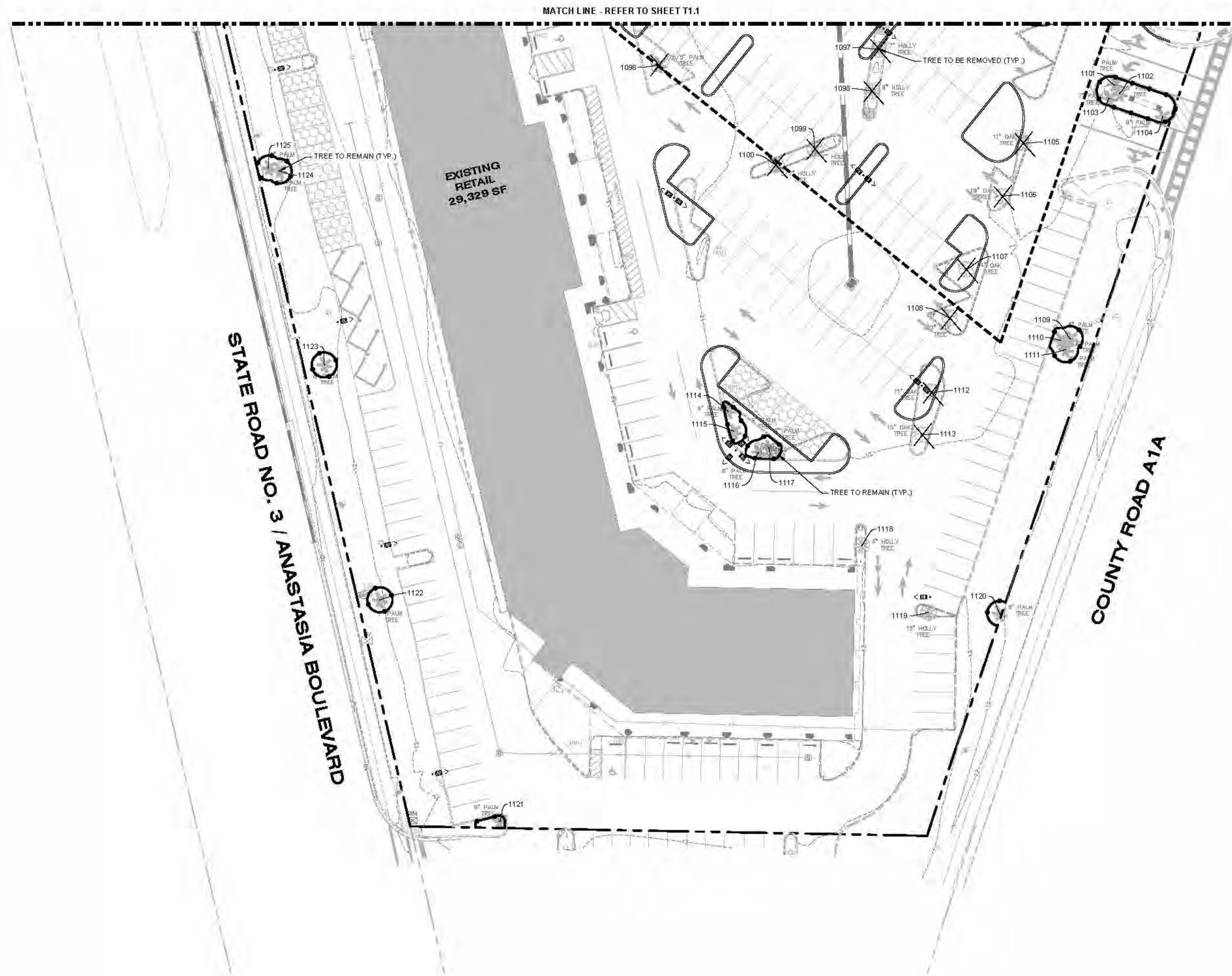
www.sunshine811.com

Scale: 1" = 30'

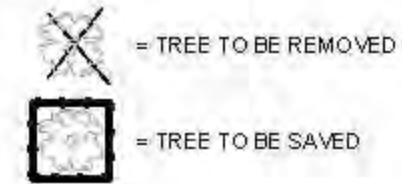
Sheet No.
T1.1

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J:\09123\Landscaping\09123-TPP.dwg, 8/18/2023 3:33:48 PM, Crouch, Nathan, cph - Standard.dwg



TREE LEGEND



TREE #	DBH	SPECIES	DISPOSITION
1001	14	OAK	REMOVED
1002	11	OAK	REMOVED
1003	7	OAK	REMOVED
1004	10	CEDAR	REMOVED
1005	7	OAK	REMOVED
1006	8	OAK	REMOVED
1007	14	OAK	REMOVED
1008	14	OAK	REMOVED
1009	19	OAK	REMOVED
1010	22	OAK	REMOVED
1011	7	OAK	REMOVED
1012	16	OAK	REMOVED
1013	17	OAK	REMOVED
1014	12	OAK	REMOVED
1015	9	OAK	REMOVED
1016	21	OAK	REMOVED
1017	14	CEDAR	REMAIN
1018	8	OAK	REMAIN
1019	7	OAK	REMAIN
1020	8	OAK	REMAIN
1021	7	OAK	REMAIN
1022	9	OAK	REMOVED
1023	10	OAK	REMOVED
1024	7	OAK	REMAIN
1025	16	OAK	REMOVED
1026	18	OAK	REMOVED
1027	11	OAK	REMOVED
1028	9	OAK	REMOVED
1029	5, 12, 24	OAK	REMOVED
1030	12	OAK	REMOVED
1031	10	PALM	REMOVED
1032	9	PALM	REMOVED
1033	8	PALM	REMOVED
1034	8	PALM	REMOVED
1035	7	PALM	REMOVED
1036	7	PALM	REMOVED
1037	7	PALM	REMOVED
1038	7	OAK	REMAIN
1039	6, 7, 8	OAK	REMAIN
1040	9	PALM	REMAIN
1041	9	PALM	REMAIN
1042	8	PALM	REMAIN
1043	17	OAK	REMAIN
1044	8	PALM	REMOVED
1045	9	PALM	REMOVED
1046	6	HOLLY	REMOVED
1047	8	PALM	REMOVED
1048	8	PALM	REMOVED
1049	10	PALM	REMOVED
1050	10	PALM	REMOVED
1051	7	PALM	REMOVED
1052	7	PALM	REMOVED
1053	10	PALM	REMOVED
1054	8	PALM	REMOVED
1055	8	PALM	REMOVED
1056	8	PALM	REMAIN
1057	8	PALM	REMAIN
1058	8	PALM	REMAIN
1059	9	PALM	REMAIN
1060	6	PALM	REMAIN
1061	7	PALM	REMAIN
1062	8	PALM	REMAIN
1063	8	PALM	REMAIN

SEC. 5.01.02 C6 REMOVAL

10% OF PALMS MAY BE REMOVED WITH OUT MITIGATION
23 PALMS x .10 = 2.3

SEC. 5.01.03 MITIGATION

REQUIRED: 1:1
6" - 25.5" \$50.00 / DBH INCH
> 30" \$100.00 / DBH INCH

PALMS: 1 PALM FOR 1 PALM OR (1) 3" TREE MAY REPLACE A PALM
\$30.00 OF CLEAR TRUNK REMOVED

PROPOSED: 114" - (41" APPLY TO TREE #1029) = 73"
REQUEST PAYMENT INTO FUND FOR REMAINING INCHES
613" - 73" = 540"
540" x \$50.00 = \$27,000.00

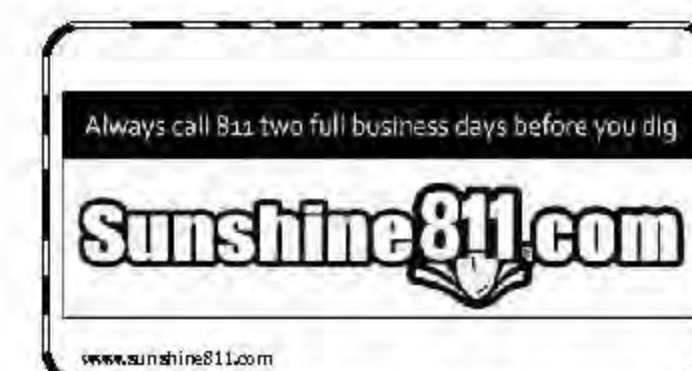
PALMS: 23

TREE #	DBH	SPECIES	DISPOSITION
1064	7	PALM	REMAIN
1065	6	PALM	REMAIN
1066	5, 4, 4	PALM	REMOVED
1067	7	HOLLY	REMOVED
1068	7	HOLLY	REMOVED
1069	6	HOLLY	REMOVED
1070	7	HOLLY	REMOVED
1071	-	CRAPPE	REMOVED
1072	-	CRAPPE	REMOVED
1073	-	CRAPPE	REMOVED
1074	-	CRAPPE	REMOVED
1075	-	CRAPPE	REMOVED
1076	-	CRAPPE	REMOVED
1077	6	HOLLY	REMOVED
1078	5, 7	HOLLY	REMOVED
1079	8	OAK	REMOVED
1080	6	PALM	REMOVED
1081	6	PALM	REMOVED
1082	6	PALM	REMOVED
1083	9	OAK	REMOVED
1084	12	OAK	REMOVED
1085	11	OAK	REMOVED
1086	11	OAK	REMOVED
1087	-	CRAPPE	REMOVED
1088	-	CRAPPE	REMOVED
1089	6	PALM	REMAIN
1090	7	PALM	REMAIN
1091	14	OAK	REMOVED
1092	12	OAK	REMOVED
1093	10	OAK	REMOVED
1094	7	HOLLY	REMOVED
1095	9	HOLLY	REMOVED
1096	5, 5, 5	PALM	REMOVED
1097	7	HOLLY	REMOVED
1098	9	HOLLY	REMOVED
1099	7	HOLLY	REMOVED
1100	5, 7	HOLLY	REMOVED
1101	7	PALM	REMAIN
1102	9	PALM	REMAIN
1103	7	PALM	REMAIN
1104	9	PALM	REMAIN
1105	11	OAK	REMOVED
1106	19	OAK	REMOVED
1107	14	OAK	REMOVED
1108	20	OAK	REMOVED
1109	8	PALM	REMAIN
1110	8	PALM	REMAIN
1111	8	PALM	REMAIN
1112	11	OAK	REMOVED
1113	15	OAK	REMOVED
1114	9	PALM	REMAIN
1115	9	PALM	REMAIN
1116	8	PALM	REMAIN
1117	9	PALM	REMAIN
1118	4	HOLLY	REMAIN
1119	12	HOLLY	REMAIN
1120	8	PALM	REMAIN
1121	9	PALM	REMAIN
1122	7	PALM	REMAIN
1123	8	PALM	REMAIN
1124	7	PALM	REMAIN
1125	9	PALM	REMAIN

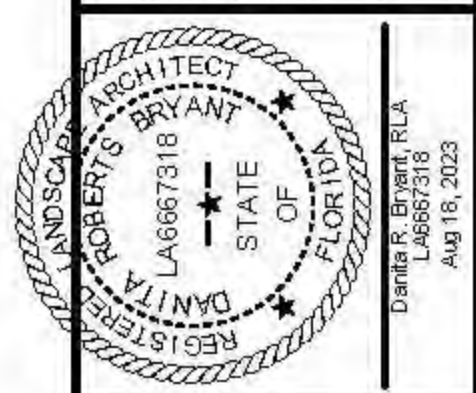
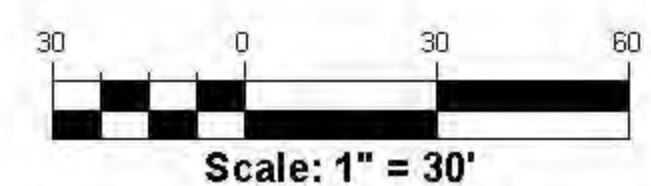
TREE AND PALM DATA:

TOTAL TREE INCHES: 726"
TOTAL TREE REMAINING: 113"
TOTAL TREE REMOVED: 613"

PALMS 1:1
TOTAL PALMS REMOVED: 23



THIS SHEET NOT VALID FOR
CONSTRUCTION UNLESS
STAMPED APPROVED



This item has been digitally signed
and sealed by Darius R. Bryant on
the date adjacent to the seal.
Printed copies of this document
are not considered signed and
sealed and the signature must be
verified on any electronic copies

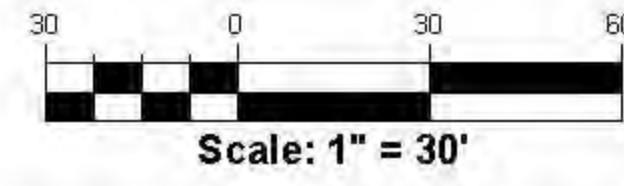
No.	Date	Revision
1		
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Designed: D. Bryant
Drawn: N. Crouch
Checked: D. Bryant
Job No.: R9123
Date: 6/05/23 © 2023

TREE RETENTION PLAN

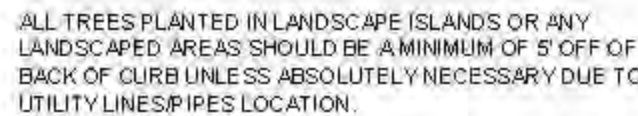
regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA



\\P9123\Landscapes\DWG\PreliminaryDesign\Plans\P9123-LSP.dwg, 8/18/2023 3:34:03 PM, Crouch, Nathan cph - Standard.stb

1. The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plan list and the plans, the plan shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
2. The Landscape Contractor shall review architectural and engineering plans and become thoroughly familiar with surface and subsurface utilities.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor (1) to verify the locations of utility lines and adjacent to the work area (2) to protect all utility lines during the construction period (3) to repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the construction (4) to field adjust the location of proposed trees and plants 10' of the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
4. The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation lines and plants.
5. Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and large shrub locations to avoid any such obstructions.
6. Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
7. All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
8. All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.



NOTES

NOTES:
INSTALL HEDGE ALONG PARKING BAYS A MINIMUM OF 30" BEHIND BACK OF CURB TO
ALLOW FOR 24" VEHICULAR OVERHANG. AT TIME OF INSTALLATION, HEDGE SHALL
SCREEN A MINIMUM OF 30" ABOVE FINISH GRADE OF PARKING STALLS.

N.T.S.

10

CA	CRINUM LILY	CRINUM AUGUSTUM	15 GAL., 4" HT., FULL, S.O.C.	20	A, FF
LS	SUNSHINE LIGULSTUM	LIGULSTUM SINENSE	3 GAL., 8" HT., 6" SPRD., 24" O.C.	161	H, A
PO	PRINGLES PODOCARPUS	PODOCARPUS MACROPHYLLUS "PRINGLES"	3 GAL., 12" HT., 8" SPRD., 15" O.C.	269	A, FF
PO1	MAKI PODOCARPUS	PODOCARPUS MACROPHYLLUS "MAKI"	3 GAL., 24" HT., 8" SPRD., 24" O.C.	754	H, FF

GROUND COVER

HD	DUNE SUNFLOWER	HELIANTHUS DEBILIS	1 GAL., 12" HT., 10" SPRD., 24" O.C.	-	G, FF
JV	DWARF YALPON HOLLY	ILEX YOMITORIA NANA	3 GAL., 12" HT., 12" SPRD., 24" O.C.	-	H, FF
TC	BLUE PACIFIC JUNIPER	JUNIPERUS CONFERTA BLUE PACIFIC	1 GAL., 3" HT., 8" SPRD., 18" O.C.	-	G, FF
LM	EMERALD GODDESS LIRIOPE	LIRIOPE MUSCARI 'EMERALD GODDESS'	1 GAL., 6" HT., 8" SPRD., 18" O.C.	-	G, FF
TF	DWARF FACAHATACHEE GRASS	TRIPSACON FLORIDANA	3 GAL., 15" HT., 10" SPRD., 30" O.C.	-	G, FF
ZP	COONTIE	ZAMIA PUMILA	3 GAL., 15" HT., 10" SPRD., 30" O.C.	-	G, FF

(A) ACCENT

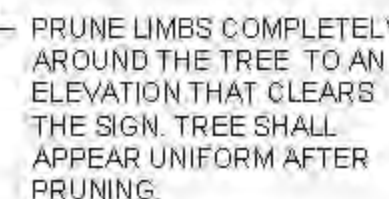
(D): DECIDUOUS
(E): EVERGREEN
(FF): FLORIDAFRIENDLY
(G): GROUND COVER
(H): HEDGE
(N): NATIVE

NOTE

1. PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION LISTED, IT WILL NOT BE ACCEPTED.
2. IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.
3. ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SOODED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.
4. ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.
5. CONTRACTOR TO MODIFY EXISTING IRRIGATION SYSTEM TO ENSURE ADEQUATE IRRIGATION FOR ALL NEW PLANT MATERIAL.
6. CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.
7. REMOVE COMPACTED MATERIAL FROM ALL PLANT BEDS.



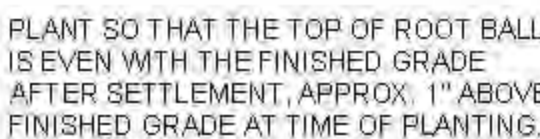
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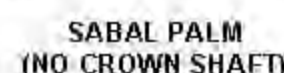
N.I.S.



N.T.S.



N.T.S.



† ALL PALMS TO HAVE CLEAR WOOD INDICATED ABOVE UNLESS OTHERWISE SPECIFIED.

D.P.I. PALM INSPECTION NOTE:
ALL PALMS SHALL HAVE A VAUD AND
CURRENT STATE OF FLORIDA,
DIVISION OF PLANT INDUSTRY (DPI)
INSPECTION CERTIFICATION PRIOR TO
BEING TRANSPORTED TO THE
CONSTRUCTION SITE. THE DPI
CERTIFICATION MUST BE SUBMITTED
TO CPH AND A COPY OF THIS
CERTIFICATION MUST BE PROVIDED
TO THE GENERAL CONTRACTOR AND
MAINTAINED WITH THE
CONSTRUCTION RECORDS.

D.P.I. INSPECTION OF ALL PLANT MATERIAL:
ALL TREES, SHRUBS AND SOD WILL HAVE A VALID AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.

OVERALL HEIGHT(OT):
HIGHEST POINT IN THE CANOPY
MEASURED FROM THE SOIL LINE TO
THE NATURAL POSITION OF THE LAST
FULLY EXPANDED LEAF, UNLESS
SPECIFIED DIFFERENTLY, THE TERM
HEIGHT, OR HEIGHT MEASUREMENTS
SPECIFIED, WILL BE CONSIDERED
OVERALL HEIGHT.

CLEAR TRUNK(CT):
A MEASUREMENT FROM THE SOIL LINE
TO A POINT IN THE CANOPY WHERE
THE TRUNK CALIPER BEGINS TO
TAPER ABRUPTLY. ON MANY PALMS,
THIS POINT WILL LIE AT THE BASE OF
THE PETIOLE OF THE THIRD OR
FOURTH YOUNGEST BUT FULLY
EXPANDED LEAF.

TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT. IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR WOOD.



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Proposed Code Changes Sections 6.01.04 & 6.01.05

Section 6.01.04 b. of the City's Land Development Regulations currently allows for specific architectural features on buildings to exceed 10 feet above the building height limit of 35 feet. The new proposed code change would alter the code to only allow this for commercial occupancies not including transient rentals. This would prevent a residential building from exceeding 35 feet in height.

Section 6.01.05 is a new proposed section, which includes drainage requirements for new development which may include gutters, retaining walls, underdrains, swales, or any other methods deemed necessary by the Building Official or designee.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

ORDINANCE NO: 23-XX

AN ORDINANCE OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA, RELATING TO BUILDING HEIGHT MEASUREMENT & DRAINAGE REQUIREMENTS FOR NEW DEVELOPMENT; AMENDING THE CODE OF THE CITY OF ST. AUGUSTINE BEACH, CHAPTER 6, BUILDINGS AND BUILDING REGULATIONS, TO AMEND, REVISE AND RESTATE THE SECTIONS 6-01 OF THE CITY CODE; AND PROVIDING AN EFFECTIVE DATE.

WITNESSETH:

WHEREAS, § 166.041, Florida Statutes, provides for procedures for the adoption of ordinances and resolutions by municipalities; and

WHEREAS, the City Commission for the City of St. Augustine Beach finds that it is in the best interest of public health, safety, and general welfare that the following amendments be adopted consistent with the requirements of Section 166.021 (4), Florida Statutes.

BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA:

SECTION 1. The foregoing recitals are incorporated as legislative findings of fact.

SECTION 2. Amend Chapter 6, Sections 6.01.04 and 6.01.05 of the Code of the City of St. Augustine Beach be, and the same is, hereby amended, revised and restated to read:

Sec. 6.01.04. Building height measurement, exceptions, and applications.

- b. The building height limitation shall not apply to architectural features or any roof structures for housing elevators, stairways, tanks, mechanical equipment, ventilation fans, solar energy collectors, or similar equipment, not to church spires, steeples, belfries, cupolas, domes, monuments, water towers, skylights, flag poles, chimneys, vents or similar structures, which may be erected above the height limit, nor to fire or parapet walls, provided, however that such features and items shall not extend more than ten (10) feet above the structure for commercial occupancies not including transient rentals.

Sec. 6.01.05. Drainage Requirements for New Development

- A. The Director of Building and Zoning or designee may require construction of retaining walls, roof gutters, underdrains, swales, or any other method deemed necessary to provide adequate drainage.
- B. Roof gutters are required for 2 story or greater buildings.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are repealed to the extent of such conflict.

SECTION 4. If any section, subsection, sentence, clause, phrase, word or provision of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, then said holding shall not be so construed as to render invalid or unconstitutional the remaining provisions of this ordinance.

SECTION 5. This Ordinance shall take effect ten (10) days after passage, pursuant to Section 166.041(4), Florida Statutes

PASSED, APPROVED AND ADOPTED at the regular meeting of the City Commission of the City of Saint Augustine Beach, Florida this ____ day of _____ 2023.

MAYOR

ATTEST:

CITY CLERK

EXAMINED AND APPROVED by me this ____ day of _____, 2023.

MAYOR

Published in the _____ on the _____ day of _____,
2023. Posted on www.staugbch.com on the _____ day of _____, 2023.



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Proposed Land Development Regulations Section 3.02.05

Section 3.02.05 of the City of St. Augustine Beach's Land Development Regulations allows for permits to be issued for special events on privately owned property in the commercial land use district. Section 3.02.05 F requires that all vehicle parking shall be located on site of the business holding the special event and that there must be 25 parking spaces.

Many businesses in the city have parking lots that currently have less parking than 25 spaces. Therefore, businesses with less parking than 25 spaces are not allowed to host special events. Since many areas of our city are walkable and residents and visitors alike can take alternate forms of transportation to special events, the Planning and Zoning Division is suggesting that this code be changed and are asking for input from the Comprehensive Planning and Zoning Board.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

Sec. 3.02.05. Special events—Business/promotional/sales.

- A. The City Manager or his designee shall have the authority to issue permits for special events on privately owned property in the commercial land use district.
- B. No person shall aid, form, stage or conduct any special event, unless the special event occurs on property in the commercial land use district, and with a permit having first been issued.
- C. One (1) location, site, or business may have a promotional sale no more than five (5) times during a calendar year. When more than one (1) business is situated on a parcel, lot, or tract of land, all of the businesses situated on such site, or an association authorized to act on behalf of all of the businesses, shall be required to apply for a special event permit, and no more than five (5) promotional sales per calendar year will be allowed on any such site.
- D. A special event may be held for one (1), two (2), or three (3) consecutive days, but no more than three (3) consecutive days, pursuant to a special event permit issued by the City Manager or designee.
- E. A special event may be held for longer than three (3) consecutive days, but no more than thirty (30) consecutive days, with a conditional use permit. The comprehensive planning and zoning board shall have the authority to grant conditional use permits for special events lasting no more than thirty (30) consecutive days on privately owned land in the commercial land use district, and provided each such special event complies with all other requirements of this section, and applicable city codes. It shall not be necessary for the city commission to approve or confirm the decision of the board in respect to the grant or denial of a conditional use permit for a special event. The procedures and limitations provided under Chapter 10 of this Code shall apply to such conditional use permits, except that any reference to the city commission or commission shall be read as the comprehensive planning and zoning board. An appeal of any decision by the board may be made to the city commission.
- F. All vehicle parking for a special event shall be located on the site of the business holding the special event. There must be at least twenty-five (25) on-site parking spaces available for parking by the public. Parking shall not be allowed on public streets, rights-of-way or off-site locations.
- G. A special event permit shall not be issued unless the special event shall occur within one hundred eight (180) days of the date of issuance of the permit.
- H. The application fee for a special event permit shall be fifty dollars (\$50.00). The application shall be in writing and on a form prescribed by the City Manager or designee. A special event permit from the City Manager or designee shall not be necessary when a conditional use permit for a special event has been issued.
- I. The sale, offer for sale, or display of merchandise, food or beverages may occur outside of an enclosed building or from a vehicle or trailer as part of a special event. Music or entertainment outside of an enclosed building shall not occur between the hours of 9:00 p.m. and 9:00 a.m. the following day during any special event.
- J. The provisions of this section do not affect the regulation of special events occurring on property owned by the City of St. Augustine Beach or St. Johns County.

(Ord. No. 18-07 , § 1(Exh. 1), 5-7-18)