

AGENDA

PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING TUESDAY, SEPTEMBER 19, 2023, 6:00 P.M. CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080

NOTICE TO THE PUBLIC

THE PLANNING AND ZONING BOARD HAS ADOPTED THE FOLLOWING PROCEDURE: PERSONS WISHING TO SPEAK ABOUT TOPICS THAT ARE ON THE AGENDA MUST FILL OUT A SPEAKER CARD IN ADVANCE AND GIVE IT TO THE RECORDING SECRETARY. THE CARDS ARE AVAILABLE AT THE BACK OF THE MEETING ROOM. THIS PROCEDURE DOES NOT APPLY TO PERSONS WHO WANT TO SPEAK TO THE BOARD UNDER "PUBLIC COMMENTS."

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. <u>APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF AUGUST 15, 2023</u>
- V. PUBLIC COMMENT
- VI. NEW BUSINESS
 - A. Final/Major Development File No. FD 2023-01, for demolition of the existing 48,555-square-foot Publix grocery store and rebuild to a new 54,964-square-foot Publix grocery store and reconfiguration of the Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant
 - B. First reading of proposed code changes to the City's Land Development Regulations, Section 6.01.04, pertaining to building height measurement, exceptions and applications, and to add Section 6.01.05, pertaining to drainage requirements for new development
 - C. Discussion of proposed code changes to the City's Land Development Regulations, Section 3.02.05, pertaining to regulations for special events for business/promotional/sales permits on privately-owned property in the commercial land use district

- VII. OLD BUSINESS
- VIII. BOARD COMMENT
- IX. <u>ADJOURNMENT</u>

NOTICES TO THE PUBLIC

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In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the City Manager's Office no later than seven days prior to the proceeding at the address provided above, or telephone 904-471-2122, or email sabadmin@cityofsab.org

For more information on any of the above agenda items, please call the City of St. Augustine Beach Building and Zoning Department at 904-471-8758. The agenda material containing background information for this meeting is available on a CD upon request at the City Manager's office for a \$5.00 fee. Adobe Acrobat Reader will be needed to open the file.



MINUTES

PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING TUESDAY, AUGUST 15, 2023, 6:00 P.M.

CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

BOARD MEMBERS PRESENT: Chairperson Kevin Kincaid, Hulsey Bray, Conner Dowling, Larry Einheuser, Victor Sarris, Junior Alternate Rhys Slaughter.

BOARD MEMBERS ABSENT: Vice-Chairperson Chris Pranis, Hester Longstreet, Senior Alternate Gary Smith.

STAFF PRESENT: Building Official Brian Law, City Attorney Jeremiah Blocker, Planner Jennifer Thompson, Recording Secretary Bonnie Miller.

IV. <u>APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF JULY 18, 2023</u>

Motion: to approve the minutes of the Board's meeting of July 18, 2023. **Moved** by Conner Dowling, **seconded** by Larry Einheuser, **passed 6-0** by unanimous voice-vote.

V. PUBLIC COMMENT

There was no public comment pertaining to anything not on the agenda.

VI. <u>NEW BUSINESS</u>

A. Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, Kathleen J. Bice and Marvin D. Krohn, Applicants

Jennifer Thompson: This first order of business is a variance application for 400 E Street. The applicants are requesting a reduction in the front setback from the required 20 feet

to 12 feet, and a reduction of the street side setback, as this is a corner lot, from the required 12 feet to 8 feet. These requested setback reductions are for a proposed 300-square-foot addition for a covered porch and a covered wheelchair-accessible ramp.

Kevin Kincaid: Any questions? Hearing none, may we hear from the applicants, please?

Yuliia Moiseeva, 405 Treaty Oak Lane, St. Augustine, Florida, 32092, Agent for Applicants: I am the agent for the applicants, who are the owners of 400 E Street. We are asking for setback reductions to add a covered porch and handicap-accessible ramp. The covered porch will be a wood-frame structure, and the ramp is for elderly persons in wheelchairs.

Conner Dowling: Will the new porch and ramp be built on the same foundation?

Yuliia Moiseeva: The wooden wheelchair-accessible ramp will be built on the side of the house, and it will be elevated up to the porch addition and made level with the front door, so the elderly persons will have easy wheelchair access from the ramp leading up to the covered front porch and then to the front door of the house. The porch and ramp will be built on a wood pier or post foundation with a wood frame porch structure on top.

Rhys Slaughter: Is there a precedent for doing this under the circumstances that it is only used as a covered porch and a wheelchair ramp, so that moving forward, say in 10 years or so, this won't become a complete remodel with all of this additional square footage converted to enclosed space within the setbacks allowed by this variance, if approved?

Brian Law: If this variance is granted, the approval will be very specific to what the applicants are requesting to build per the variance application. If the property is sold down the road, the new owners would not be able to enclose the porch without a permit, and ideally, as part of their due diligence, zoning would look at that for assessment of an impact fee adjustment for new conditioned space, and there would be a record of how the porch and wheelchair ramp were allowed to be built, per the variance application and approval. This doesn't mean current or future owners couldn't apply to build something else down the road, but to do so, they would have to go through the variance process to change anything not specifically allowed per the approval of this current variance request.

Kevin Kincaid: So, this does not give current or future owners an automatic right to build anything they want within the setback reductions that would be granted by this variance. The variance, if granted, would be specifically limited to what the applicants are requesting to build per the submitted variance application and accompanying plans.

Brian Law: Yes. If the Board decides to grant this variance, I recommend the motion to approve include language stating construction shall be in accordance with the submitted plans, or something of that magnitude. Keep in mind, if the house is destroyed by a natural disaster, terrorist act, or something like that, this variance would no longer exist.

Conner Dowling: What will happen to the little porch currently located at the entrance to the house on the E Street side? This little porch is not raised up but is built at grade.

Yuliia Moiseeva: The porch itself is no longer there, but the concrete slab is still there.

Conner Dowling: I was just curious, as I saw that an enclosed porch not elevated to the level of the house used to be there. It appears, without a graphic scale in my hand, that the new addition will extend slightly beyond the area where that porch slab is, correct?

Yuliia Moiseeva: Yes, the covered porch addition will extend a little further out and to the west of this slab.

Kevin Kincaid: I saw a significant number of names on the petition in support of this variance included in the variance application submittal. I assume nothing has been submitted opposing the variance, as we have nothing in our packets in opposition to this.

Jennifer Thompson: No. We have not received anything in opposition to this.

Kevin Kincaid: I went by and looked at this property, and it looks like the proposed porch and handicap ramp would fit fine in the location the applicants are asking to build them.

Brian Law: Going backwards a little bit, I would like to ask the applicants or their agent to state on the record that they have no intention of doing anything aside from what has been submitted and requested in the variance application and accompanying documents, and that there will be no future enclosures or anything of that nature.

Kevin Kincaid: Okay. Could you state on the record that you have no intention of creating anything different from what is shown on the submitted plans for the variance request?

Yuliia Moiseeva: I would like to ask my clients this, if I may. After checking with them, they have no other plans for this addition aside from what is shown in the application.

Victor Sarris: And just so we don't get ourselves into any trouble, this hardship that is defined in item number one of the considerations for the granting of a variance, as stated on page four of the application, meets the City's criteria for hardships, right?

Brian Law: Only the Board can answer that question.

Kevin Kincaid: I actually had a problem with the hardship, and the way it was written in the application, because the hardship can't be the rule. It's like, if I get a speeding ticket, the hardship can't be the speed limit. Elsewhere in the application, however, it states the proposed addition is for wheelchair access for occupants who are 85 and 95 years old, so I was able to pull that over to the hardship, and for myself, it met my criteria for a hardship. However, one of the first things I noticed in this variance application was the way the hardship stated the setback rules won't allow the porch and handicap-accessible ramp addition that the applicants want to build, but the hardship cannot be the rule.

Yuliia Moiseeva: The hardship is wheelchair access as stated by the Americans with Disabilities Act (ADA), that every person in a wheelchair must have an access.

Jeremiah Blocker: The ADA would not apply here, because the property is not a public facility, and it doesn't meet the threshold for ADA accessibility. I think the premise, and you have already gotten there, is that you have elderly people needing wheelchair access. The ADA would not apply in these circumstances, but we still want to make sure, when the Board puts the reasoning behind its decision on the record, that the hardship is legally sufficient. It has already been stated that it is for wheelchair access for elderly persons.

Kevin Kincaid: The Board has been careful about this in the past, because if we approve this variance, we are approving something that goes on in perpetuity, whereas the people requesting the variance may not. We have declined, in the past, to use medical conditions strictly as a hardship, because medical conditions don't last, but once a variance is approved, the building goes on and the variance lasts for however long the building exists.

Jeremiah Blocker: The Board can deviate, and rely on the humanitarian impacts, but the applicants are not running a business here, so do not rely on the ADA for your decision.

Victor Sarris: So, are we saying that this isn't specific to a medical condition?

Kevin Kincaid: I think the medical condition contributes to it, along with the ability of the occupants to fully utilize their property.

Victor Sarris: Is the medical condition the hardship then?

Kevin Kincaid: Probably, yes, the age and medical conditions of the elderly persons.

Conner Dowling: I would also see the property site and the constraints of this corner lot as a hardship. There are obviously good reasons for the corner street side setbacks, but if this wasn't a corner lot, the side setbacks would be 7.5 feet each, based on the City's current Land Development Regulations (LDRs), and the applicants would not need a variance for a reduction of the required 12-foot street side yard setback to 8 feet.

Kevin Kincaid: Correct, they would only need a variance for the front yard setback.

Conner Dowling: There is a great example on the overhead right now of the aerial view of this property and adjacent properties on this block of E Street, where you can see that the fronts of the houses are all consistent and the roofs are all in a line. This develops a street corridor and these types of neighborhood character things. This is not to say that you can't have front porches extending beyond that, but I think keeping the depth of the proposed front porch to a maximum of 8 feet is a good number, as this still allows a comfortable size porch on which you could have a table and chairs. One other thing I saw, from just a streetscape perspective, so that this addition doesn't come across as so glaring and something that needs a variance, is that potentially, completing the gable of the roofline of the new addition could be done as opposed to continuing up to the top of the existing house gable. This would reduce the scale a little bit, and I think this would make the streetscape potentially better. Also, a couple of other things could be done to the design. We are not here to critique the design, but when you are pushing into a setback,

I feel it is the Board's job to think about things like this and how they will affect the street and the neighbors. To me, these are overall small things that could be done while still achieving the square footage needed for the front porch and handicap ramp addition.

Kevin Kincaid: I know we approved another similar variance maybe last year, on F Street?

Brian Law: You actually just approved one even more recently.

Jennifer Thomspon: Yes, this was for 607 11th Street, where a variance was granted to reduce the rear setback from 20 feet to 16 feet, 5 inches for an addition.

Kevin Kincaid: All right, any other questions or comments? Hearing none, do we have a motion?

Rhys Slaughter: I'll motion to approve Land Use Variance File No. VAR 2023-11, as it has been submitted.

Larry Einheuser: I'll second that.

Kevin Kincaid: We have a motion and a second. Any discussion on the motion?

Conner Dowling: I personally would like to see that front addition as an 8-foot-wide porch and the gable roofline changed, for the reasons I stated previously. Otherwise, I would be in favor of approving this.

Kevin Kincaid: My only thought about this is that people will be trying to turn a wheelchair around in this space, and if the applicants are actually going to accomplish what they want and allow people in wheelchairs to use the porch and get around tables and whatever, reducing the width of the porch might make this pretty tight. It would be different if there were complaints from the neighborhood, but the applicants have really made the effort to get the petition in support of this from pretty much everyone around them, and we've heard no opposition to this. I understand what you are saying, but I do not think asking for a front setback reduction to 12 feet for the porch is unreasonable in this case.

Larry Einheuser: I agree.

Yuliia Moiseeva: The proposed additions are designed the way they are because there are electrical wires on the left side, and an electrical pole on the wall. The existing roof is elevated and further extended so as not to interrupt or interfere with any electrical issues.

Conner Dowling: The electrical meter is on the exterior wall in that location?

Yuliia Moiseeva: Yes.

Jeremiah Blocker: Mr. Chair, before the Board votes, I want to make sure we open the floor for public comment.

Kevin Kincaid: Good point. Is there any public comment? Hearing none, we have a motion and a second. Conner, do you want to create an amendment to the motion?

Conner Dowling: Yes, I'll amend the motion to change the roofline, because the issue, to me, is the streetscape and encroachment into the front setback, and seeing that roofline stick out. Reducing the porch depth to 8 feet, which I feel is still acceptable for a porch, and changing the roofline would minimize the impact and visibility of this addition.

Brian Law: There was a motion made and a second to this motion, so that motion needs to run its course, or the motion needs to be withdrawn, and another motion made and seconded, if the original motion on the floor is to be amended.

Jeremiah Blocker: The original maker of the motion would have to agree to amend the motion that was made. This is commonly known as a friendly amendment, and then there would have to be a second to this friendly amendment.

Rhys Slaughter: Perhaps I was the wrong one to make this motion, because honestly, if the applicants were asking for this wheelchair ramp because they have relatives who visit twice a year, I would say yes to it. They should be allowed to have whoever they want, including anyone who is wheelchair-bound, to be able to come into their home, and if this is what they feel is necessary, I just feel like we are not giving up setback areas all the way to the street for a ramp or anything like that. For me personally, it makes sense to move forward on this as requested by the applicants in their variance application. I am not completely disagreeing what you are saying with the proposed amendment to the motion, but I also think it is the applicants' house, and they are the ones who have to look at it every day, and maybe the suggestion itself is enough to motivate them to at least look into what has been suggested in the proposed amendment to the motion. They are the ones who have to deal with wheelchair-bound people in their house every day, and I think they may need a little more space and flexibility to make what they want to do work.

Brian Law: Okay, so we have the original motion that was made and seconded, and the maker of this motion does not seem willing to amend his motion. However, this motion can still run its course, and if the Board's vote is not favorable and the motion does not pass, another motion can be made and seconded and the Board can vote on that. But the original motion must run its course now, and the Board needs to vote on it.

Kevin Kincaid: Okay, we have a motion and a second. The motion is to approve the variance in accordance with the application documents and plans as submitted. Is there any more discussion on this motion? Hearing none, may we have a vote, please?

Motion: to approve Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet, for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, in accordance with the

documents and plans submitted in the variance application. **Moved** by Rhys Slaughter, **seconded** by Larry Einheuser, **passed 5-1** by the Board by voice-vote, with Conner Dowling dissenting.

B. Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, Carmen Pollitz, Agua Construction, Agent for Gary T. and Cynthia A. Oslin, Applicants

Jennifer Thompson: The next item on the agenda is a variance application for 508 Weeping Willow Lane, in the Seagrove PUD. This request is for setback reductions from the 10-foot rear and north side setback requirements for pools, screen enclosures and decks, per Seagrove's PUD ordinance, to 5 feet. In the past, the Board has seen several similar variances in Seagrove, as the setback restrictions per the PUD ordinance are more restrictive than the City's setbacks per the LDRs for pools, screen enclosures, and decks.

Kevin Kincaid: So, the only reason we are here is because the PUD ordinance has more restrictive setbacks than the City's LDRs require. If this property were anywhere else but Seagrove, a variance would not be required for the pool, screen enclosure, and deck.

Jennifer Thompson: Correct. The Seagrove Architectural Review Board did sign off and approve the proposed plans submitted by Agua Construction, agent for the applicants.

Kevin Kincaid: Has there been any opposition to this?

Jennifer Thompson: No. Correspondence in support of the variance from the property owners of 852 Tides End Drive and 611 Poinsettia Street has been submitted.

Kevin Kincaid: So there has been no opposition at all, and this is similar to other variances the Board has approved recently for properties in Seagrove.

Jennifer Thompson: Correct.

Kevin Kincaid: Okay, may we hear from the applicant, please?

Carmen Pollitz, Agua Construction, 2550 North State Street, Bunnell, Florida, 32110, Agent for Applicants: I am Carmen Pollitz, and I represent Agua Construction and the applicants, who are the owners of the property at 508 Weeping Willow Drive. Basically, this variance request is no different from others that have been applied for and granted in Seagrove. The lot is atypical in shape, and the footprint of the house is skewed on the property, so there is not really much of a backyard at all. The pool will still be small, even with the requested setback reductions to 5 feet for the rear and north side setbacks. There is no lot or structure behind this property, as it backs up to A1A South.

Kevin Kincaid: Are there any questions for the applicant's agent, or any public comments?

Kathleen Elizabeth, 931 A1A Beach Boulevard Unit 201, St. Augustine Beach, Florida, 32080: Will any significant trees be cut down to build what the applicants propose?

Carmen Pollitz: No, there are no trees being cut down. A couple of tree limbs may need to be trimmed or taken off, but that is all.

Kevin Kincaid: Any trees with diameters-at-breast-height (DBH) of 30 inches or greater would require approval from this Board before they could be removed, correct?

Brian Law: Yes, any tree with a DBH of 30 inches or greater that is requested to be removed requires application to the Planning and Zoning Board, and the Board's approval of the tree removal request, per the tree regulations in Article V of the LDRs.

Kevin Kincaid: Any other comments, or questions? Hearing none, do we have a motion?

Motion: to approve Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, in accordance with the documents and plans submitted in the variance application. **Moved** by Kevin Kincaid, **seconded** by Victor Sarris, **passed 6-0** by the Board by unanimous voice-vote.

VII. OLD BUSINESS

There was no old business.

VIII. BOARD COMMENT

There was no further Board comment.

IX. <u>ADJOURNMENT</u>

The meeting was adjourned at 6:24 p.m.

Kevin Kincaid, Chairperson

Bonnie Miller, Recording Secretary

(THIS MEETING HAS BEEN RECORDED IN ITS ENTIRETY. THE RECORDING WILL BE KEPT ON FILE FOR THE REQUIRED RETENTION PERIOD. COMPLETE AUDIO/VIDEO CAN BE OBTAINED BY CONTACTING THE CITY MANAGER'S OFFICE AT 904-471-2122).



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board

From: Jennifer Thompson, Planner

CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner

Date: 09/12/2023

Re: Major Development Application File #2023-01

Major Development file #2023-01 is an application to replace the existing Publix grocery store located at 1033 A1A S. in the Anastasia Plaza owned by Regency Centers. The existing Publix will be demolished and replaced with a new 54,964 square foot building. Additionally, the parking lot will be improved in phases to keep businesses in the plaza operational during the rebuild process.

At the June 20, 2023, Planning and Zoning meeting, the board reviewed the Concept Review for the Publix rebuild and Anastasia Plaza remodel. During this meeting, the Planning and Zoning Board granted variances for this project which are attached.

St. Johns County Fire Department and St. Johns County Utilities have included comments regarding this project, and the applicants are aware of the requirements set forth by these agencies.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division



City of St. Augustine Beach Building and Zoning Department

To: Planning & Zoning Division

From: Brian Law, Director of Building & Zoning

Date: 09/12/2023

Re: 1033 A1A Beach Blvd. Final Development Order

The 2020 Florida Building Code has no objection to the requested remodel/rebuild of the Publix located in the Regency Plaza at 1033 A1A Beach Blvd. The Building Division will review the completed architectural and engineered plans upon submittal for a building permit.

Brian W. Law

Brian W. Law, CBO, CFM, MCP Director of Building & Zoning



City of St. Augustine Beach

MEMORANDUM

TO: Bonnie Miller, Senior Planner

FROM: Jason D. Sparks, P.E., Engineering Director

DATE: August 31, 2023

SUBJECT: Major Development Review for Publix Rebuild and Anastasia Plaza

Engineering reviewed the proposed grading and storm drainage and stormwater pollution prevention plan and offers the following:

- This is an existing privately owned and maintained drainage system permitted through the St. Johns River Water Management District (SJRWMD).
- Provide the approved SJRWMD permit modification and associated documentation reflecting proposed improvements.
- Indicate the pond outfall location on the plans.
- Upon completion, provide drainage system inspection results and construction certification of completion signed and sealed by a licensed professional engineer registered in the State of Florida.
- Ensure all roof drains, downspouts, associated piping and appurtenances conform with the latest edition of the Florida Plumbing Code.
- No objection to modifying, upgrading and rehabilitating the existing stormwater drainage system as per the SJRWMD permitted documents.

 From:
 Dawn Lyons

 To:
 Jennifer Thompson

 Subject:
 Publix Reno -DRC

Date: Monday, August 28, 2023 1:58:37 PM

Attachments: image001.png

image002.png image003.png image004.png image005.png image006.png image007.png

CAUTION: This message originated from outside of your organization. Clicking on any link or opening any attachment may be harmful to your computer or the City. If you do not recognize the sender or expect the email, please verify the email address and any attachments before opening. If you have any questions or concerns about the content, please contact IT staff at IT@cityofsab.org.

Good afternoon,

Below are the rejected Fire comments. Please resubmit to Fire in person with 2 copies of the below comments, answered, signed and dated by the person that completes them along with 2 copies of any plan sheets that will need to be slip sheeted into the set we have here.

St. Johns County Fire Rescue Department
Fire Marshal Office
Plans Review Comment Sheet

Project Name Publix
Project Address 1033 A1A Beach Blvd.
Contractors Name
Contractors Phone Number
Sprinkler Contractor
Underground
Fire Alarm Contractor
EHID 13440

Plans Reviewed under Florida Uniform Fire Safety Standards or Florida Fire Prevention Code 7th edition.

To help speed the review process you may include a written comment response summary to clarify or illustrate where corrections were made on plans. Please remember to use the Florida Fire Prevention Code 7th Ed for all code reference in a response to comments. The fire plans examiner does not use or have a copy of the Florida Building Code.

Plans for the demolition of an existing Publix and some of the neighboring retail space, to re-build a slightly larger Publix. The existing store is 48,555sf with 55,663sf or retail. The proposed store is 54,964sf with 48,761 of retail.

- 1. Identify on the plans that the building will be provided with fire sprinklers.
- 2. How will egress be maintained for the existing occupancies while the concrete in front of the existing retail building is removed and replaced?

- 3. Please pass on to the design professional of the building an evaluation for a radio enhancement system is required for new buildings over 12,000 square feet and/or underground areas. NFPA 1:11.10 and NFPA 1225 (2022 ED.)
- 4. On utility plan, clearly label where public utility stops and beginning of point of service (POS) for private fire main in accordance with FS 633.102(24). (This is where main serves fire protection exclusively.)
- 5. On utility plan, place note: FDC shall be 5" Storz connection with 30 degree downward deflection.
- 6. Place this statement prominently on all utility pages:

This civil utility plan is provided for DRC (civil) review only. Approval of these plans do not include approval for private underground water main, hydrants, and fire sprinkler mains. Civil drawings illustrate layout only and do NOT show full compliance with the respective Fire Codes. For Fire Marshal underground permit, detailed shop drawings must be prepared and submitted by the installing underground fire contractor I, II or V showing complete compliance with, but not limited to, NFPA 24, (Standard for Installation of Private Fire Service Mains and their Appurtenances.)

Kindest regards,



Dawn Lyons

Administrative Assistant/Fire Permit Specialist
Fire Rescue/Fire Prevention
St. Johns County Board of County Commissioners
4040 Lewis Speedway, St. Augustine FL 32084
904-209-1712 | www.sjcfl.us

From: Chad J. Smith <<u>cismith@sicfl.us</u>>
Sent: Monday, September 11, 2023 3:30 PM
To: Melissa Caraway <<u>mcaraway@sicfl.us</u>>
Subject: RE: City of St. Aug Beach Publix plans

Missy,

Below are the comments for the St Augustine Beach Publix:

- 1. Provide existing square footage that will be demolished.
- 2. Provide arch/plumbing plans of new building.
- 3. Clarify ownership of new 1 & ½" water meter. This plaza is master metered so the new meter could be a privately owned meter to deduct usage from master meter. SJCU does not allow publicly owned meters on private water mains.
- 4. Provide grease trap spec sheets for review by SJCU Pre-treatment Dept.

Thank you,



Chad J Smith

Utility Review Specialist
Utilities Development Group
St. Johns County Board of County Commissioners
1205 SR 16, St. Augustine FL 32084
904-209-2632 | www.sjcfl.us







Florida has a very broad public records law. Most written communications to or from the St. Johns County Board of County Commissioners and employees regarding public business are public records available to the public and media through a request. Your e-mail communications may be subject to public disclosure. This communication may contain privileged and confidential information intended only for the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution or duplication of this communication is strictly prohibited. If you are not the intended recipient, please notify the sender by reply email and destroy all copies of the original message.

BEFORE THE COMPREHENSIVE PLANNING AND ZONING BOARD OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA

In RE:

APPLICATION OF PATRICK MCKINLEY, AGENT FOR REGENCY CENTERS AND MCW-RC-FL-ANASTASIA LLC, FOR A LAND USE VARIANCE PERTAINING TO RECONFIGURATION OF THE EXISTING ANASTASIA PLAZA SHOPPING CENTER PARKING LOT IN A COMMERCIAL LAND USE DISTRICT AT 1033 A1A BEACH BOULEVARD.

ST. AUGUSTINE BEACH, FLORIDA, 32080

Public Records of St. Johns County, FL Clerk number: 2023050382 BK: 5783 PG: 661 6/28/2023 2:45 PM Recording \$18.50

CASSIL AND W

ORDER APPROVING VARIANCE FILE NO. VAR 2023-10

This CAUSE came on for public hearing before the Comprehensive Planning and Zoning Board of the City of St. Augustine Beach, Florida, on Tuesday, June 20, 2023, upon Application (File No. VAR 2023-10) by Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant, for a land use variance for existing non-conforming uses for minimum parking space size of 9-feet-by-20 feet, per Section 6.03.05.B of the City of St. Augustine Beach Land Development Regulations, to 9.5-feet-by-18; reduction of the northern landscape buffer, per Section 6.06.04 of the City of St. Augustine Beach Land Development Regulations, to five (5) feet to accommodate the proposed new truck dock; and to lower the existing non-conforming impervious surface ratio (ISR) coverage but still exceed the maximum 70% ISR coverage allowed in a commercial land use district, per Section 6.01.02 of the City of St. Augustine Beach Land Development Regulations, for proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, Parcel Identification Number 174200-0020, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080. The Planning and Zoning Board having reviewed the Application, received public comments, and upon motion duly made, seconded and passed, the variance was approved based upon the following findings and subject to the following conditions:

1. The required considerations for the granting of a variance as detailed in the Application and discussed at the hearing are incorporated herein as findings of fact, as a result of the finding that the hardship granted is due to the acquisition of the property preceding the adoption of the regulations from which the variance is sought, which shall act in favor of the granting of the variance per Section 10.02.03.B.4 of the City of St. Augustine Beach Land Development Regulations.

- 2. A land use variance shall be granted for the allowances as stated above for the proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot on the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, subject to the condition that a barrier fence be installed along the northern buffer area of the Anastasia Plaza property adjacent to Hammock Dunes Park.
- 3. A violation of the conditions listed above shall void the variance approval granted herein.

Any appeal of this decision may be made by filing an application for appeal to the St. Augustine Beach City Commission within thirty (30) days of the date of this Order.

DONE AND ORDERED this 28 day of ______, 2023, at St. Augustine Beach, St. Johns County, Florida.

COMPREHENSIVE PLANNING AND ZONING BOARD OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA

By: Kevin Kincaid, Chairperson

STATE OF FLORIDA COUNTY OF ST. JOHNS

The foregoing instrument was acknowledged before	Fore me by means of [V] physical presen	ce or
[] online notarization, this 28 day o	of June ,:	2023,
by (print name of person signing above) Kev	11n Kincaid	
who is personally known to me []	or has produced the following type	e of
identification		
Notary Public State of Florida Jennifer S. Thompson My Commission HH 301256 Expires 12/3/2026	Signature of Notary Public, State of Flor	 rida

BEFORE THE CITY COMMISSION OF ST. AUGUSTINE BEACH, FLORIDA In RE: APPLICATION OF PATRICK MCKINLEY, AGENT FOR REGENCY CENTERS AND MCW-RC-FLANASTASIA LLC, FOR REBUILD OF THE PUBLIX GROCERY STORE, 1033 A1A BEACH BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA, 32080, AND RECONFIGURATION OF THE ANASTASIA PLAZA SHOPPING CENTER PARKING LOT, 1001 A1A BEACH

32080

BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA,

FINAL DEVELOPMENT FILE NO. FD 2023-01

This CAUSE, pertaining to 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Parcel Identification Number 174200-0020, PERTAINING TO PARCEL A, ALL THAT PORTION OF THE NORTH ONE-HALF AND THE SOUTH ONE-HALF OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, WHICH LIES BETWEEN COUNTY ROAD A1A BEACH BOULEVARD AND STATE ROAD A1A SOUTH, AND PARCEL B, THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, PARCEL IDENTIFICATION NUMBER 174200-0020, AS RECORDED IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, came before the City of St. Augustine Beach Comprehensive Planning and Zoning Board on the 19th day of September, 2023, and before the St. Augustine Beach City Commission on the 2nd day of October, 2023, upon Application of Patrick McKinley, Agent for Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, Applicants, for review and final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, for the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, for the demolition of the existing 48,555-squarefoot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing nonconforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations. The Comprehensive Planning and Zoning Board and the City Commission, having reviewed and considered the Application, the report of the Building and Zoning Department, the testimony, statements, and evidence presented before the Comprehensive Planning and Zoning Board and the City Commission by the Applicants and the Applicants' Authorized Agent and other persons speaking at the public hearings, including public comments, and the City Commission finding it has jurisdiction over this proceeding and that the required notices have been provided and were afforded to all parties, upon motion duly made, seconded and passed, the Application was approved and determined as follows:

FINDINGS OF FACT

The Comprehensive Planning and Zoning Board and City Commission find that the Application for Final Development File No. FD 2023-01 for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, conforms to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan, and, except as may be required to be cured herein, with all applicable City of St. Augustine Beach Land Development Regulations.

The application and accompanying documents submitted for Final Development File No. FD 2023-01 demonstrate the proposed final development plans for major development at the above-referenced property do not degrade the prescribed Levels of Service for the City of St. Augustine Beach and/or any interlocal agreement with St. Johns County concerning services or capacities which affect consistency and concurrency determinations.

Subject to the conditions hereinafter set forth, it is determined that this Final Development Order File No. FD 2023-01, prepared for the Final Development Application File No. FD 2023-01, submitted by Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, as represented by its Authorized Agent Patrick McKinley, Regency Centers, Jacksonville, Florida, for final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, unless modified by a subsequent final development order, is approved for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, and shall not be effective except upon ratification of each and every one of the following conditions.

ORDERED as follows:

- 1. Nothing contained herein shall be deemed to waive the requirement that the proposed final development plans for major development on the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard comply with current State of Florida Building Codes and conform to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan and the City of St. Augustine Beach Land Development Regulations, with the exception of the variance approval granted per Land Use Variance File No. VAR 2023-10 for the subject property, and the provisions of all other applicable agencies.
- 2. Production of evidence satisfactory to the Building Official of receipt by the Applicant of permits deemed necessary allowing development in accordance with this Final Development Order and accompanying drawings, if required, from the Army Corps of Engineers, the Florida Department of Environmental Protection, St. Johns River Water Management District, St. Johns County Fires Services, and St. Johns County Utility Department, shall be issued and in effect prior to the issuance of any permits for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080.

- 3. Essential services such as electricity, telephone, cable and other communication lines and street lighting must be in place prior to issuance of any Certificate of Occupancy for the subject property development Water and sewer connection fees shall be paid and in place prior to the issuance of any building permits. Screening of any utility apparatus placed above ground shall be required. Fire hydrants shall also be in place prior to issuance of any building permits.
- 4. Applicant/Owner shall undertake measures to protect trees and environmentally sensitive areas by providing protective barriers prior to and during all development activities immediately adjacent to the right-of-way and utility easements and the issuance of any infrastructure or utility permits. Clearing and/or tree removal permits will not be issued prior to acceptance of a completed application for a building permit for site work.
- 5. Applicant/Owner shall be responsible for all repairs of curbs and/or damage to City of St. Augustine Beach, St. Johns County, and Florida Department of Transportation roadways.
- 6. This Final Development Order shall be effective for a period of five (5) years from its effective date, at which time the applicant/owner shall have completed one hundred (100%) percent of all development construction on the site.
- 7. Successors and assigns of the Applicant/Owner shall be bound by the terms and conditions of this Final Development Order. However, persons acquiring property do so with notice that although under appropriate circumstances, owners of property have vested rights, changes in the City of St. Augustine Beach Land Development Regulations affecting use would not be acquired under the transfer of ownership.
- 8. Any appeal of this decision may be made by filing an application for appeal to the St. Johns County Circuit Court within thirty (30) days of the date of this Order.

DONE AND ORDERED this	day of	, 2023, at St. Augustine
Beach, St. Johns County, Florida.		
		IMISSION OF THE CITY OF STINE BEACH, FLORIDA
Attest: Max Royle, City Manager	By: Donald Sa	amora, Mayor

THIS ORDER IS SUBJECT TO APPEAL PER THE PROVISIONS OF SECTION 12.06.04 OF THE CITY OF ST. AUGUSTINE BEACH LAND DEVELOPMENT REGULATIONS.

Sec. 12.06.04.C. "Appeals from the decision of the City Commission shall be appealed to the circuit court."

City of St. Augustine Beach Building and Zoning Department Major Development Application 2200 ATA SOUTH ST. AUGUSTINE BEACH, ELORIDA 32080

2200 A1A SOUTH, ST. AUGUSTINE BEACH, FLORIDA 32080 WWW.STAUGBCH.COM BLDG. & ZONING (904)471-8758 FAX (904) 471-4470

1.	Legal description of the parcel for which major development is being sought:						
	Lot(s) Block(s) Subdivision						
	Street Address_ 1033 A1A Beach Blvd, St. Augustine, FL 32080						
2.	Location (N, S, W, E): West Side of (Street Name): A1A Beach Blvd						
3.	Is the property seaward of the Coastal Construction Control Line (CCCL)? Yes (Circle one)						
4.	Real estate parcel identification number: 1742000020						
5.	. Name and address of owner(s) as shown in St. Johns County Public Records:						
	MCW-RC-FL-Anastasia, LLC						
	One Independent Dr, Suite 114, Jacksonville, FL 32202						
6.	Current land use classification: Commercial						
7.							
	Sections 12.02.0512.02.15						
8.	Reasons for which major development is being sought: Replacing the existing grocery store with a newer and better building to serve the community, improved parking and look of the shopping center.						
9.	Architect's name and address: Fisher Architects 2315 Belleair Rd. Clearwater, Fl 33764						
10.	Contractor's name and address:TBD						

- 11. Please check if the following information required for submittal of the application has been included:
 - (X) Survey including legal description of parcel submitted for major development
 - (X) Copy of warranty deed
 - () Owner Authorization Form (if applicable)
 - (X) List of names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)
 - (X) First-class postage-stamped legal-size envelopes with names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)
 - (X) Survey to include all existing structures and fences
 - () Other documents or relevant information to be considered
 - (x) Fourteen (14) copies of the completed application including supplemental documentation and/or relevant information

In filing this application for major development, the undersigned acknowledges it becomes part of the official record of the Comprehensive Planning and Zoning Board and/or City Commission and does hereby certify that all information contained is true and accurate, to the best of his/her knowledge.

The application must be signed by either the owner or the owner's authorized agent. If an authorized agent's signature is used, a notarized written authorization approving such representation must accompany the application.

Patrick McKinley	
Print name (owner or his/ her agent)	Print name (applicant or his/her agent)
/08/18/23	
Signature /date	Signature /date
One Independent Dr, Suite 114, Jacksonville, FL 32202	
Owner/agent address	Applicant/agent address
904-598-7000	
Phone number	Phone number

All agents must have notarized written authorization from the property owner(s)

** Please note that if you are a resident within a development or subdivision that has covenants and restrictions, be aware that approval of this application by the Comprehensive Planning and Zoning Board and/or City Commission does not constitute approval for variation from the covenants and restrictions.**

Fee Schedule for Major Development Application

Major Development Application Fee:

\$350.00 if under 2 acres/\$500.00 if 2 acres or more

Legal Notice Sign:

\$10.00

Review of Preliminary Plat:

\$150.00 plus \$2.00 per lot with a \$400.00 minimum

Final Plat Approval:

\$5.00 per lot plus the cost of conformity with Chapter 177 F.S. by a professional surveyor and mapper either employed by or under contract to the City of St. Augustine Beach. The estimated cost shall be deposited with the City at the time of application and any costs in excess of the estimated amounts shall be paid by the applicant prior to execution of the plat by the City.

Amount Paid 5/0.00

Date 118-21-7023

Invoice #

Received by

1/1

Check # or type of credit or debit card payment_

City of St. Augustine Beach Major Development Application 07-22

Instructions for Applying for Major Development

- 1) Per Section 12.02.06, all major developments, per the criteria in Section 12.02.05 of the City's Land Development Regulations (LDRs), must be submitted to concept review. The applicant/developer shall file a completed application and a concept plan as a prerequisite to obtaining major development approval.
- 2) All major development shall be reviewed by the Comprehensive Planning and Zoning Board for recommendation of approval or denial to the City Commission, based on determination of whether the plan satisfies the requirements of the City's LDRs, with the final hearing and final determination of approval or denial to be made by the City Commission.
- 3) The major development application shall be placed on the agenda of the next meeting of the Comprehensive Planning and Zoning Board that allows the giving of required notice. Notification of all property owners within a radius of 300 feet of the property for which major development is being sought shall be mailed by the Building and Zoning Department. The St. Johns County Real Estate/Survey Department (telephone number 904-209-0804) will provide applicants with a list of the names and addresses of the property owners within 300 feet of the property for which major development is requested. This list of names and addresses of all property owners within 300 feet is to include the applicant's name and address. Along with the list of all property owners within 300 feet, the applicant shall submit stamped, addressed legal-size (4-inch-by-9½-inch) envelopes with the major development application. (Note: Do not fill in a return address on the stamped envelopes. The Building and Zoning Department will stamp its address on the envelopes as the return address and mail the legal notices to all property owners). Signatures and approvals of property owners within 300 feet are not necessary.
- 4) After review and recommendation to the City Commission of approval or denial by the Comprehensive Planning and Zoning Board, the major development applications shall be placed on the agenda of the next meeting of the City Commission, with the final hearing and final determination of approval or denial to be made by the City Commission.

Required Information for Major Development Application

Per Section 12.02.07.D of the City's LDRs, final development plans for major development shall include the information required in a preliminary (concept) plan plus the following additional or more detailed information:

- 1) Existing conditions.
 - a. A map of vegetative cover including the location and identity by common name of all protected trees, including existing protected trees within areas of proposed improvements.
 - b. A topographic map of the site clearly showing the location, identification, and elevation of benchmarks, including at least one (1) benchmark for each major water control structure.
 - c. A detailed overall project area map showing existing hydrography and runoff patterns, and the size, location, topography, and land use of any off-site areas that drain onto, through or from the project area.

- d. Existing surface water bodies, wetlands, streams and canals within the proposed development site, including seasonal high water-table elevations and attendant drainage areas for each.
- e. The location of any underground or overhead utilities, culverts and drains on the property and within one-hundred (100) feet of the proposed development boundary.
- f. Location, names and widths of existing and proposed streets, highways, easements, building lines, alleys, parks, and other public spaces and similar facts regarding adjacent property.
- g. The one-hundred (100) year flood elevation, minimum required floor elevation and boundaries of the one-hundred (100) year floodplain for all parts of the proposed development.
- h. Drainage basin or watershed boundaries identifying locations of the routes of off-site waters onto, through or around the project.

2) Proposed development activities and design.

- a. Generally.
 - 1. Area and percentage of total site to be covered by an impervious surface.
 - 2. Grading plans specifically including perimeter grading.
 - 3. Construction phase lines.
- b. Buildings and other structures.
 - 1. Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.
 - 2. Front, rear and side architectural elevations of all buildings.
 - 3. Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.
 - 4. Minimum floor elevations of buildings within any one-hundred (100) year floodplain.
 - 5. The location, dimensions, type, composition, and intended use of all other structures.
- c. Potable water and wastewater systems.
 - 1. Proposed location and sizing of potable water and wastewater facilities to serve the proposed development, including required improvements or extensions of existing off-site facilities.
 - 2. The boundaries of proposed utility easements.
 - 3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.
 - 4. Exact locations of on-site and nearby existing and proposed fire hydrants.
- d. Streets, parking and loading.
 - 1. The layout of all streets and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.
 - 2. A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street
 - 3. The location of all exterior lighting.
 - 4. The location and specifications of any proposed garbage dumpsters.
 - 5. Cross sections and specifications of all proposed pavement.
 - 6. Typical and special roadway and drainage sections and summary of quantities.

- e. Tree removal and protection.
 - 1. All protected trees to be removed and a statement of why they are to be removed.
 - 2. Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.
 - 3. A statement of the measures to be taken to protect the trees to be retained.
 - 4. A statement of tree relocations and replacements proposed.

f. Landscaping.

- 1. Location and dimensions of proposed buffer zones and landscaped areas.
- 2. Description of plant materials existing and to be planted in buffer zones and landscaped areas.

g. Stormwater management.

- 1. An erosion and sedimentation control plan that describes the type and location of control measures, the stage of development at which they will be put into place or used, and maintenance provisions.
- 2. A description of the proposed stormwater management system, including:
 - (a) Channel, direction, flow rate, and volume of stormwater that will be conveyed from the site, with a comparison to natural or existing conditions.
 - (b) Detention and retention areas, including plans for the discharge of contained waters, maintenance plans, and predictions of surface water quality changes
 - (c) Areas of the site to be used or reserved for percolation including an assessment of the impact on groundwater quality.
 - (d) Location of all water bodies to be included in the surface water management system (natural and artificial) with details of hydrography, side slopes, depths, and water-surface elevations or hydrographs.
 - (e) Linkages with existing or planned stormwater management systems.
 - (f) On and off-site rights-of-way and easements for the system including locations and a statement of the nature and of the reservation of all areas to be reserved as part of the stormwater management system.
 - (g) The entity or agency responsible for the operation and maintenance of the stormwater management system.
- 3. The location of off-site water resource facilities such as works, surface water management systems, wells, or well fields, that will be incorporated into or used by the proposed project, showing the names and address of the owner of the facilities.
- 4. Runoff calculations shall be in accord with the stormwater management manual.

h. Environmentally sensitive lands.

- 1. The exact sites and specifications for all proposed drainage, filling, grading, dredging, and vegetation removal activities including estimated quantities of excavations or fill materials computed from cross sections, proposed within a protected environmentally sensitive zone.
- 2. Detailed statement of other materials showing the following:
 - (a) The percentage of the land surface of the site that is covered with natural vegetation and the percentage of natural vegetation that will be removed by development.
 - (b) The distances between development activities and the boundaries of the protected environmentally sensitive zones.
- 3. The manner in which habitats of endangered and threatened species are protected.

i. Signs.

- 1. Two (2) blueprints or ink drawings of the plans and specifications of regulated signs, and method of their construction and attachment to the building or ground, except those plans for standard signs that have been placed on file with the building official by a licensed sign contractor for standard signs. The plans shall show all pertinent structural details, wind pressure requirements, and display materials in accordance with the requirements of this Code and the building and electrical codes adopted by St. Augustine Beach. The plans shall clearly illustrate the type of sign or sign structure as defined in this Code; the design of the sign, including dimensions, colors and materials; the aggregate sign area; the dollar value of the sign; maximum and minimum heights of the sign; and sources of illumination.
- 2. For regulated ground signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas and other existing ground signs on the parcel.
 - (b) All regulated trees that will be damaged or removed for the construction and display of the sign.
 - (c) The speed limit on adjacent streets.
- 3. For regulated building signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas, buildings and structures on the parcel.
 - (b) The number, size, type, and location of all existing signs on the same parcel, except a single business unit in a multiple occupancy complex shall not be required to delineate the signs of other business units.
 - (c) A building elevation or other documentation indicating the building dimensions.
- j. Subdivision.

Proposed number, minimum area and location of lots, if development involves a subdivision of land.

- k. Land use and dedications.
 - 1. Location of all land to be dedicated or reserved for all public and private uses including rights-ofway, easements, special reservations, and the like.
 - 2. Amount of area devoted to all existing and proposed land uses, including school, open space, churches, residential and commercial, as well as the location thereof.
 - 3. The total number and type of residential units categorized according to number of bedrooms. The total number of residential units per acre (gross density) shall be given.
- I. Wellfield protection.

Location of onsite wells, and wells within one-thousand (1,000) feet of any property line, exceeding one-hundred-thousand (100,000) gallons per day.

m. Historic and archaeologic sites.

The manner in which historic and archaeologic sites on the site, or within on-thousand (1,0000 feet of any boundary of the site, will be protected.

Per Section 12.02.07.E of the City's Land Development Regulations, final development plans for subdivision of land shall comply with the requirements of this section. Per Section 12.02.07.F of the City's Land Development Regulations, final development plans for commercial structures requires the front, rear and side architectural elevations for commercial structures to demonstrate compliance with the following criteria:

- 1) The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
- 2) The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure is in conformity with the standards of these Land Development Regulations and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved. Conditions may be applied when the proposed building of structure does not comply with the above criteria and shall be such as to bring the structure or project into conformity. If any application is disapproved, the Comprehensive Planning and Zoning Board shall detail in its findings the criterion or criteria that are not met. The actions taken by the Board shall be reduced to writing, signed by the chairman and a copy thereof made available to the applicant upon request.
- 4) The proposed structure or project is in harmony with the proposed developments in the general area, with the Comprehensive Plan for the City and with the criteria set forth in any supplemental criteria and procedural rules of the Comprehensive Planning and Zoning Board, as the same may be from time to time amended and revised. Any decision of the Board must comply with such supplemental criteria and rules of the Board may be amended from time to time by ordinance regularly adopted upon action initiated by the City Commission.
- 5) The proposed landscape and irrigation design shall promote water conservation. Water requirements may be reduced by providing for:
 - a. Preservation and reestablishment of native plant communities.
 - b. The use of drought-tolerant, site specific, and shade producing plants.
 - c. Design and maintenance of irrigation systems which eliminate waste of water due to over application or loss from damage.
- 6) Renovations to the exterior of a commercial structure shall comply with the criteria and supplemental criteria for Community Appearance Standards; provided, however, than an application for final development approval for a renovation of an existing structure shall only require such information as may reasonably be required by the Building Department or the Comprehensive Planning and Zoning Board to demonstrate compliance with the criteria and supplemental criteria for Community Appearance Standards and shall not be required to provide information as to areas not proposed for renovation except as provide for an understanding of the proposed changes or alterations to the structure.
- 7) Definitions. As used in this section 12.02.07.F and as used in the Supplemental Criteria for Community Appearance Standards, the following terms and phrases shall have the meanings indicated:

Commercial structure shall mean a structure located within a commercially zoned area regardless of its actual size.

Renovation shall mean a change or alteration to a material element of a structure that changes or alters (a) a major structural or architectural feature of a building including changes to roof lines, porches, location or size of windows or doors; or (b) the exterior of a building requiring the submittal of plans signed and signed by a registered architect or engineer.

Per Section 12.02.08 of the City's Land Development Regulations, a master plan for the entire development site must be approved for a major development that is to be developed in phases. The master plan shall be submitted simultaneously with an application for review of the final development plan for the first phase of the development and must be approved as a condition of approval of the final plan for the first phase. A final development plan must be approved for each phase of the development under the procedures for development review prescribed above.

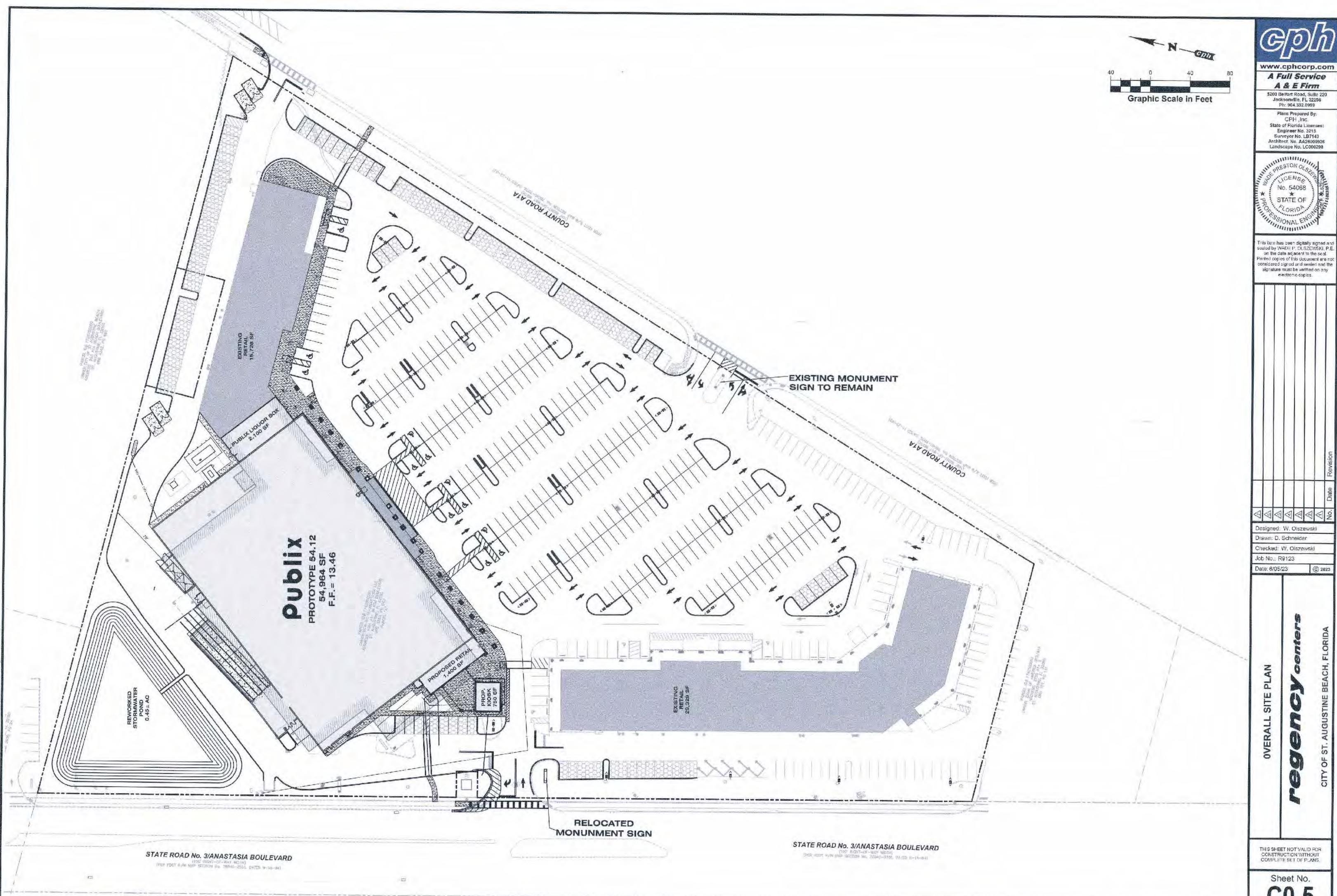
Per Section 12.02.09 of the City's Land Development Regulations, a master plan is required for a major development which is to be developed in phases. A master plan shall provide the following information for the entire development as specified in this section. Review of final development plans for major developments shall comply with Section 12.02.10.

Per Section 12.02.10.B, Amendment to final development plans, "If a major development has received a final development order or other approval, the amendment, modification or extension of such a final development order or approval shall only be by the same process as the order or approval was originally obtained (except that the concept review process does not have to be repeated) and the review fee shall also be the same. For Planned Unit Developments, strikethrough and underlined sections of the proposed changes shall be submitted. Expired final development orders are not eligible for renewal."

Per Section 12.02.13, each administrative hearing shall conform to the following procedures, as supplemented by law, rule or decision.

- A. Burden and nature of proof. The applicant for any development permit must prove that the proposal satisfies the applicable requirements and standards of this Code.
- B. Order of proceedings.
 - 1. The Comprehensive Planning and Zoning Board and City Commission shall:
 - a. Determine whether it has jurisdiction over this matter.
 - b. Determine whether any member must abstain or is disqualified. Abstaining from voting or disqualification because of conflict of interest must be declared in accordance with Part III of
 - c. Chapter 112, Florida Statutes.

Where proposed minor or major development includes the subdivision of land, platting shall conform to the requirements of Section 12.02.14 of the City's LDRs. Final approval of the development plan by the Comprehensive Planning and Zoning Board shall be made contingent upon approval by the St. Augustine Beach Commission of a plat conforming to the development plan.



Refurbish existing D/F internally illuminated pylon sign. Existing pylon to new fabricated aluminum elements added to top portion of sign. New 1" thick routed acrylic letters pin mounted off horizontal embellishment. External upwards illumination by white L.E.D.s. Existing tenant cabinet to receive new L.E.D. illumination. Bottom portion of cabinet to receive new fabricated aluminum "slat" elements. Pole covers to be repainted. ANASTASIA PLAZA **Proposed Night View** Drawn By: T. Beach 199" 144" Remove Remove **Existing Pylon Condition** Paint to match Paint to match Musket Gray Paint to match SW 7004 Snow Bound Slate Gray

1282 Energy Cove Ct. Green Cove Springs,FL 32043

904-529-7446 904-529-1567 fax

Client: Anastasia Plaza St. Augustine, Fl Origin Date: 03.17.23

DWG NAME: ANP100-00

Salesperson: C. Knight

x Landlord Approval/Date:

Notes:



Burn rate on plastic as measured by ASTM D-635 is 1.8 inches per minute

0

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Plan View **Proposed Night View** Drawn By: T. Beach D/F internally illuminated pylon sign with .063" aluminum skin over 2" x 2" aluminum tube frame. 1" thick routed acrylic letters pin mounted off horizontal embellishment. Sign to have 8' x 8' D/F illuminated tenant cabinet with 1 1/2" T-bar dividers. 1" thick routed acrylic letters pin mounted off horizontal embellishment. External upwards illumination by white L.E.D.s. Sign to have automotive grade painted finish and installed with single steel support pole into concrete footer. 0 Paint to match SW 7004 Snow Bound Paint to match Paint to match Slate Gray Musket Gray

HERITAGE SIGNS

1282 Energy Cove Ct. Green Cove Springs, FL 32043

904-529-7446 904-529-1567 fax

Client: Anastasia Plaza St. Augustine, Fl Origin Date: 03.17.23

DWG NAME: ANP100-00

Salesperson: C. Knight

Client Approval/Date:

Landlerd Approval/Date: Notes:



Burn rate on plastic as measured by ASTM D-635 is 1.8 inches per minute

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PUBLIX FRONT ELEVATION

SIGNAGE REQUIREMENTS

PROVIDED: PUBLIX: 187.05 BOXED SF

Frontage	Number	Maximum Square Footage
0—49 feet	3	100
50—100 feet	4	150
Over 100 feet	5	200



KIOSK FRONT ELEVATION



KIOSK RIGHT ELEVATION



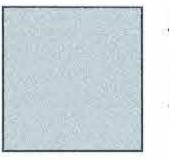
KIOSK REAR ELEVATION



KIOSK LEFT ELEVATION



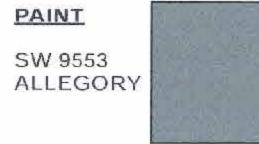
PAINT SW 7004 SNOW BOUND

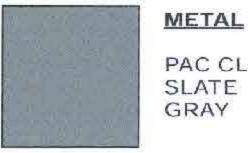


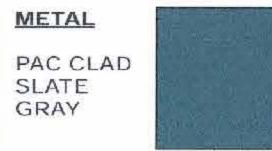
PAINT SW 9548 SWEATER WEATHER









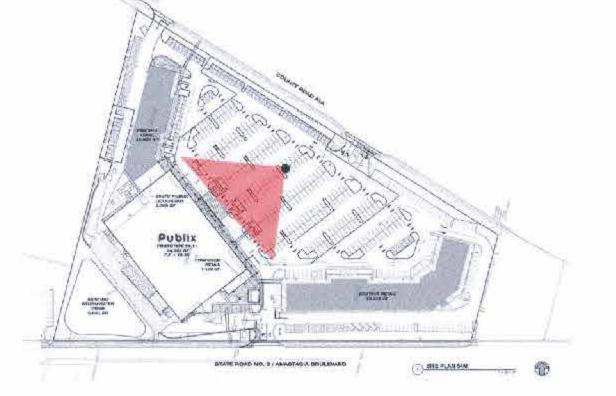


METAL GRAY



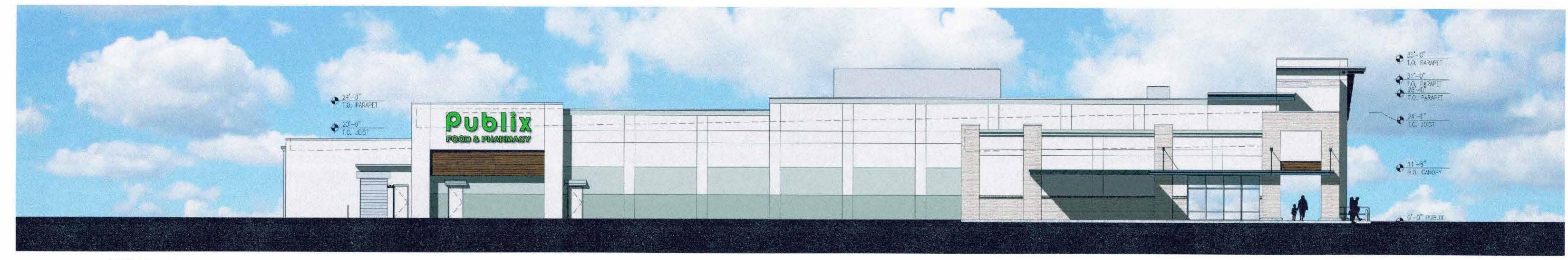
BRICK GLEN GARY CHARLES -TON

WOOD KNOTWOOD CHESTNUT

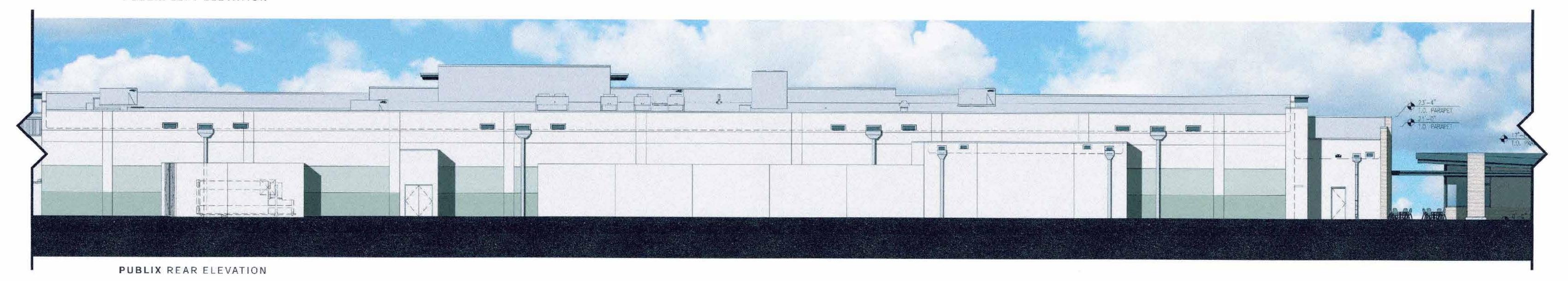


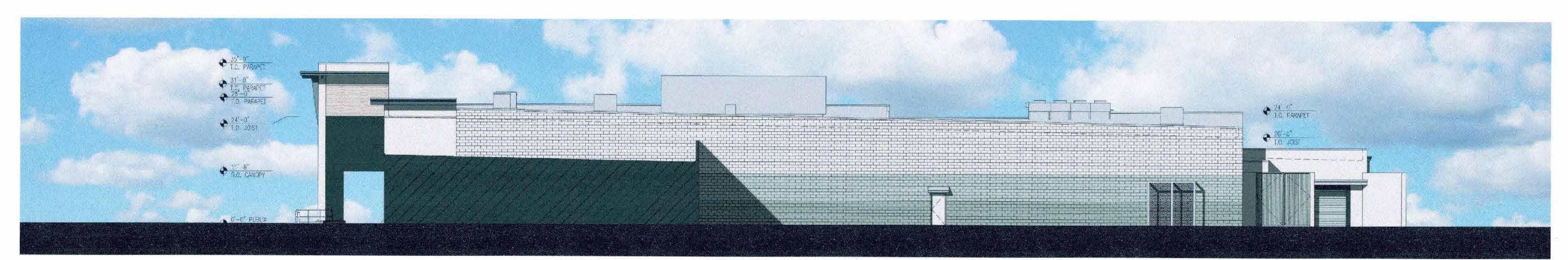
ANASTASIA PLAZA PUBLIX

ST. AUGUSTINE, FL



PUBLIX LEFT ELEVATION





PUBLIX RIGHT ELEVATION



PAINT

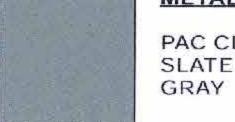


PAINT

SW 9548 SWEATER WEATHER

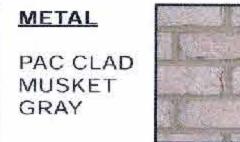


PAINT SW 9553



METAL PAC CLAD SLATE





BRICK





WOOD KNOTWOOD CHESTNUT

ANASTASIA PLAZA PUBLIX

ST. AUGUSTINE, FL





CONSTRUCTION PLANS FOR ANASTASIA PLAZA PUBLIX REBUILD

1033 A1A BEACH BLVD ST. AUGUSTINE BEACH FL, 32080 **SECTION 22 - TOWNSHIP 3 NORTH - RANGE 28 EAST**

PARCEL ID: 181416 1110

APPROVAL

AGENCIES

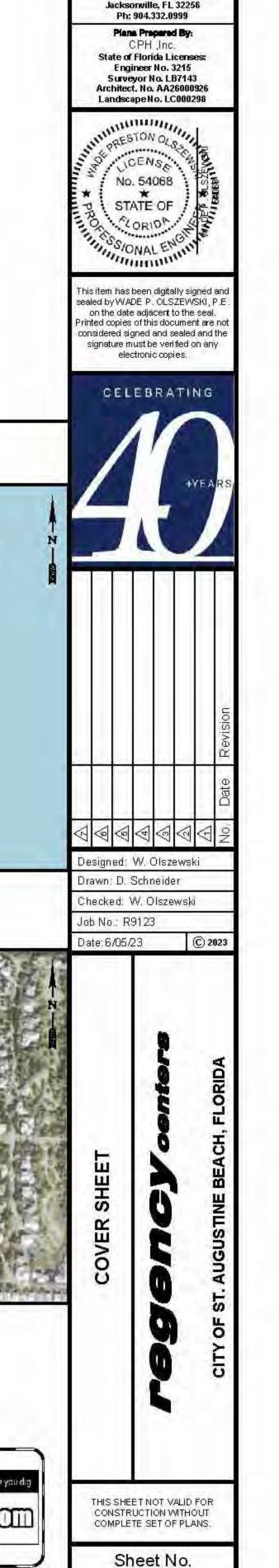
CITY OF ST. AUGUSTINE BEACH

WATER MANAGEMENT DISTRICT

2200 STATE ROAD A1A SOUTH

(904) 484-9145

ST. AUGUSTINE BEACH, FL 32080



A Full Service A & E Firm 5200 Belfort Road, Suite 220

ABBREVIATION/ SIGN LEGEND - APPROXIMATE - AVERAGE -BACK FLOW PREVENTER -BUILDING -BACK OF CURE -BACK OF WALL -CONCRET -DEPARTMENT - DOWN SPOUT -ELEVATION - EDGE OF PAVEMENT -FIRE DEPARTMENT CONNEC - FLORIDA DE PARTMENT OF TRANSPORTATION -FINISH GRADE -FIRE HYDRANT -FORCE MAIN -FACE OF CURB -FLORIDA POWER AND LIGHT GOVT -GOVERNMENT - HOSE BIB - ADA ACCESSIBLE - HIGH DENSITY POLYETHYLENE PIPE -INVERT -IRRIGATION - MATCH EXISTING ELEVATION - MITERED END SECTION - MANHOLE - POLYMNYL CHLORIDE PIPE -PAVEMENT -RADIUS -REINFORCED CONCRETE PIPE -REVISION - RIGHT-OF-WAY - SQUARE FEET -SIDEVVALK -TOP OF BANK - TOE OF SLOPE - TOP OF WALL -UNKNOWN - UNDERGROUND TELEPHONE LINES -WITH MA -WATER VALVE (B) BUS STOP (R7-7) (DNE) DO NOT ENTER (R5-1) (FL) NO PARKING - FIRE LANE (R7-94) (HC) HANDICAP (FTP 20-06 & FTP 22-06) (KR) KEEP RIGHT (R4-7A) (KL) V KEEP LEFT (R4-8A) (LT0) ULEFT TURN ONLY (R3-5L) (ME) MEDIAN (R4-7) (R4-8)

(TZ) TOW AWAY ZONE (R7-201)

(DT) RESERVED DRIVE-THRU PARKING

(TE) TRUCK ENTRANCE

(WL) WEIGHT LIMIT (R12-5) (WW) WRONG WAY (R5-1A) (Y) T YIELD (R1-2)

MCW-RC-FL-ANASTASIA, LLC ONE INDEPENDENT DR, SUITE 114 JACKSONVILLE, FL 32202 **ENGINEER** CPH, INC. 5200 BELFORT ROAD, SUITE 220 JACKSONVILLE, FLORIDA 32256 ATTN.: WADE P. OLSZEWSKI, P.E. (904) 332-0999 SURVEYOR 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN: JEFF PATERSON, PSM (407) 322-6841 LANDSCAPE ARCHITECT CPH, INC 500 WEST FULTON STREET SANDFORD, FLORIDA 32771 ATTN: GALEN PUGH, RLA (407) 322-6841 (ND) NO DUMPING (NL) NO LEFT TURN (R3-2) (NLI) NO LITTERING (NOR) NO RIGHT TURN (R3-1) (NOT) NO TRUCKS (R5-2A) (NP) NO PARKING (R74) (1W) ONE WAY (R6-1L) (R6-1R) (PE) PEDESTRIAN CROSSING (W11-2) (RT0) RIGHT TURN ONLY (R3-5R) (R1) IN ROW NUMBER (SL) SPEED LIMIT (R2-X) (ST) TO STOP (R1-1)

CONSULTANTS

UTILITY **PROVIDERS** ELECTRIC FLORIDA POWER AND LIGHT 303 HASTINGS ROAD ST AUGUSTINE, FL 32084 ATTN:: MICHAEL SPRUIELL (904) 824-7658 WATER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN:: TERI SHOEMAKER, P.E. (904) 209-2652 SEWER ST. JOHNS COUNTY UTILITY DEPARTMENT 1205 STATE ROAD 16 ST. AUGUSTINE, FL 32084 ATTN: TERI SHOEMAKER, P.E. (904) 209-2652 GAS. FLORIDA PUBLIC UTILITIES P.O. BOX 418 FERNANDINA BEACH, FLORIDA 32035 (904) 261-3663

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT 7775 BAYMEADOWS WAY, SUITE 102 JACKSONVILLE, FLORIDA 32256 ATTN .: EVERETT FRYE (904) 448-7913 STATE DEPARTMENT OF **ENVIRONMENTAL PROTECTION** NORTHEAST DISTRICT 8800 BAYMEADOWS WAY WEST JACKSONVILLE, FLORIDA 32256 ATTN:: REVIEWER (904) 256-1700 FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 2 1109 SOUTH MARION AVENUE LAKE CITY, FLORIDA 32025 ATTN:: LARRY BLAND, PSM (386) 961-7461 ST. JOHNS COUNTY UTILITIES ST. JOHNS COUNTY BOARD OF COUNTY COMMISSIONERS 1205 STATE ROAD 16 ST. AUGUSTINE FL, 332084 ATTN: TERI SHOEMAKER, P.E. (904) 209-2652

TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY TOPOGRAPHIC SURVEY **GENERAL NOTES** GENERAL NOTES ST. JOHN'S COUNTY UTILITIES GENERAL NOTES C0.5 OVERALL SITE PLAN PHASING PLANS D0.1 DEMOLITION PLAN DEMOLITION PLAN STORMWATER POLLUTION PREVENTION PLAN C1.2 STORMWATER POLLUTION PREVENTION PLAN STORMWATER POLLUTION PREVENTION PLAN SITE DIMENSION PLAN C1.5 SITE DIMENSION PLAN * C1.5A TRUCK TURNING PLAN ACCESSIBILITY PLAN TEMPORARY SITE ACCESS AND STAGING PLAN C1.6 GRADING AND STORM DRAINAGE PLAN GRADING AND STORM DRAINAGE PLAN C1.8 COMPOSITE UTILITY PLAN C1.9 COMPOSITE UTILITY PLAN CONSTRUCTION DETAIL SHEET CONSTRUCTION DETAIL SHEET C2.2 CONSTRUCTION DETAIL SHEET C2.3 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.4 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C2.5 ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS ST. JOHNS COUNTY UTILITIES CONSTRUCTION DETAILS C3.0 PUBLIX DETAILS LIGHTING PLAN TREE RETENTION PLAN T1.2 TREE RETENTION PLAN LANDSCAPE PLAN LANDSCAPE PLAN LANDSCAPE NOTES AND DETAILS ★ NOT INCLUDED IN THIS SET

THE SIZE OF THESE PLANS MAY HAVE BEEN SLIGHTLY ALTERED BY REPRODUCTION PROCESSES, THIS MUST BE

CONSIDERED WHEN SCALING ANY REPRODUCED PLANS FOR THE PURPOSE OF COLLECTING DATA.

INDEX OF SHEETS

C0.1

COVER SHEET

SITE LOCATION

LOCATION MAP ways call 815 two full business days before you dig

MAPS

SITE LOCATION

FLATA

VICINITY MAP

VERTICAL DATUM: NAVD88



Abbreviation Legend

- AIR CONDITIONER

APPROXIMATE

- AMERICAN CONGRESS ON SURVEYING & MAPPING

AMERICANS WITH DISABILITIES ACT

AMERICAN LAND TITLE ASSOCIATION

- AIR RELEASE VALVE - AVENUE - NATURAL GROUND - NATIONAL GEODETIC SURVEY AVERAGE NATIONAL GEODETIC VERTICAL DATUM - BEARING BASIS BACK FLOW PREVENTER - NAIL AND DISK - NUMBER BLOCK - NON-RADIAL - BUILDING - NATIONAL SOCIETY OF - BOULEVARD NSPS PROFESSIONAL SURVEYORS Line Legend: - BENCH MARK - NON-TANGENT - BACK OF CURE NOT TO SCALE - BACK OF WALK - NOT TO SCALE - OUTSIDE DIAMETER BUILDING SETBACK LINE - -1- - = 1 FOOT CONTOURS BARBED WRE FENCE OFFICIAL RECORDS BOOK - DENOTES SHEET NUMBERING FOR ENGINEERING PLANS OFFICIAL RECORDS - -6- - = 5 FOOT CONTOURS - OVERHEAD UTILITY LINES CALCULATED ---- = ADJOINER PROPERTY LINES - OVERHEAD TRAFFIC LINES CABLE TELEVISION RISER - PLAT BOOK CHORD BEARING = BROKEN LINE - POINT OF CURVATURE CONCRETE BLOCK STRUCTURE - POINT OF COMPOUND CURVATURE - uc - BURIED CABLE - CERTIFIED CORNER RECORD PERMANENT CONTROL POINT - CURB & GUTTER - ucrv - BURIED CABLE TELEVISION - PROPOSED FINISHED FLOOR - CATCH INLET - VE - BURIED ELECTRIC - CENTERLINE - PAGES CHAIN LINK FENCE - UFO - BURIED FIBER OPTICS - POINT OF INTERSECTION CONCRETE MONUMENT - POST INDICATOR VALVE - UG - BURIED GAS CORRUGATED METAL PIPE - PARKER KAYLON CLEANOUT - URW - BURIED RECLAIMED WATER LINE - POINT OF BEGINNING CONCRETE - POINT OF COMMENCEMENT - SAN - BURIED SANITARY LINES - POINT ON LINE CORRUGATED PLASTIC PIPE - BURIED SANITARY SEWER FORCE MAIN LINE POWER POLE COUNTY UTILITY EASEMENT POINT OF REVERSE CURVATURE = BURIED TRAFFIC CONTROL CROSSWALK SIGNAL PERMANENT REFERENCE MONUMENT - ut - BURIED TELEPHONE LINE - PROFESSIONAL SURVEYOR & MAPPER - DESCRIPTION POINT OF TANGENCY - UN - BURIED WATER LINES - DEED BOOK - POLYVINYL CHLORIDE PIPE DIAMETER AT BREAST HEIGHT IN INCHES = CENTER LINE R/W - PAVEMENT DRAINAGE EASEMENT R30E - RANGE 30 EAST DEPARTMENT - RADIUS DUCTILE IRON PIPE ----- = EASEMENT LINES (EXISTING) RADIAL REINFORCED CONCRETE PIPE - DRAINAGE AND UTILITY EASEMENT = EASEMENT LINES (PROPOSED) - RECOVERED ENGINEERING PLAN - REVISION = EDGE OF WATER LINES ELECTRIC JUNCTION BOX - RADIUS POINT UNDERGROUND ELECTRICAL LINES = EXISTING DRAINAGE PIPES THE REST CO. - RIGHT-OF-WAY - REGISTERED LAND SURVEYOR = EXISTING DRAINAGE PIPES (OUTFALL NOT LOCATED) FLEVATION - RADIUS POINT ELUPTICAL - UNDERGROUND RECLAIM WATER LINE = FIRE WATER MAIN LINES END OF INFORMATION RECLAIMED WATER METER = HOT WATER SUPPLY LINES - EDGE OF PAVEMENT - SPECIAL EASEMENT - FIELD BOOK = IRRIGATION LINES - FLORIDA DEPARTMENT OF TRANSPORTATION SANITARY SEWER MANHOLE = OVERHEAD TRAFFIC LINES - FINISH FLOOR - STATE PLANE - FLAT GRATE INLET = OVERHEAD UTILITY LINES - FIBERGLASS LIGHT POLE SQUARE FEET = RAILROAD TRACKS - FIRE HYDRANT STREET - FORCE MAIN = RIGHT-OF-WAY LINES - STORM DRAINAGE MANHOLE FOUND - FLORIDA POWER AND LIGHT = SECTION LINES TANGENT BEARING - FLORIDA STATUTES = STONE WALL LINES TOWNSHIP B SOUTH 0000000 GRID (STATE PLANE) TELEPHONE = TOP OF BANK LINES UNDERGROUND GAS LINES - OVERHEAD TRAFFIC SIGNAL LINES - GOVERNMENT = TOE OF SLOPE LINES GROUND PENETRATING RADAR TOE OF SLOPE = TREE LINES www. GREASE TRAP MANHOLE TELEPHONE RISER - HIGH DENSITY POLYETHYLENE PIPE = TRAVERSE LINES TRANSFORMER HOG WIRE FENCE TRAFFIC SIGNAL BOX = UNKNOWN BURIED LINES - IDENTIFICATION TRAFFIC SIGNAL SUPPORT POLE IRRIGATION CONTROL VALVE = VINYL FENCE UNDERGROUND CABLE TV LINES INFORMATION = WOOD FENCE INVERT - UTILITY EASEMENT - IRON PIPE = WETLAND LINE - UNKNOWN - IRON PIPE & CAP - UNDERGROUND TELEPHONE LINES = ORANGE PAINT LINE IRON ROD - IRON REBAR & CAP = GREEN PAINT LINE - UNDERGROUND WATER LINE IRRIGATION = RED PAINT LINE WOOD LIGHT POLE ARC LENGTH

WATER METER

WORK PROGRAM

WATER VALVE

- WOOD POST FENCE

WOOD POWER POLE

= WHITE PAINT LINE

= PURPLE PAINT LINE

= BLUE PAINT LINE

= YELLOW PAINT LINE

- MILES PER HOUR

NOT APPLICABLE

- METAL POWER POLE

BOUNDARY & TOPOGRAPHIC SURVEY ALSO BEING AN (ALTA/NSPS LAND TITLE SURVEY)

REGENCY CENTERS

1001 A1A (BEACH BOULEVARD) LYING IN

SECTION 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST CITY OF ST. AUGUSTINE BEACH ST. JOHNS COUNTY, FLORIDA

Legal Description: (EXHIBIT "A" OF PROPERTY INFORMATION REPORT, AS PROVIDED BY THE CLIENT)

PARCEL A

ALL THAT PORTION OF THE NORTH 1/2 AND THE SOUTH 1/2 OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, WHICH LIES BETWEEN COUNTY HIGHWAY A-1-A (ALSO KNOWN AS ALTERNATE A-1-A AND STATE HIGHWAY A-1-A BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS:

HIGHWAY A-1-A; THENCE SOUTH 13 DEGREES 06 MINUTES OO SECONDS EAST ALONG LAST SAID LINE, 939.96 FEET; THENCE SOUTH 88 LAST LINE, 220.83 FEET; THENCE SOUTH 01 DEGREES 06 MINUTES 30 SECONDS WEST, 49.75 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 30 SECONDS WEST, 122,80 FEET; THENCE NORTH 01 DEGREES 06 MINUTES 30 SECONDS EAST, 49,75 FEET TO THE NORTHERLY

TOGETHER WITH EASEMENT IN RECIPROCAL EASEMENT AGREEMENT, DATED NOVEMBER 5, 1993 AND RECORDED IN OFFICIAL RECORDS BOOK 1019, PAGE 2049 OF THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA.

AIR RELEASE VALVE

- BRICK PAVERS

00 -

MARIE THE DICE

INTERSTATE SYMBOL

TY - LIGHT POLE

IRRIGATION CONTROL VALVE

- BORING HOLE LOCATION

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND LYING IN AND BEING PART OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10. TOWNSHIP 8 SOUTH, RANGE 30 EAST, ST. JOHNS COUNTY, FLORIDA, BEING MORE PARTICULARLY FULLY DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE WORTH BOUNDARY OF SAID SECTION 10 WITH THE EASTERLY RIGHT-OFWAY LINE OF STATE HIGHWAY A-1-A AND/OR STATE ROAD 3; THENCE S 13'06' 00" E, BY AND ALONG SAID EASTERLY RIGHT-OF-WAY A DISTANCE OF 421.45 FEET FOE A POINT OF BEGINNING; THENCE CONTINUE S 13'06'00" E BY AND ALONG SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET; THENCE, N.76'54' OO" E, AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26,00 FEET; THENCE N 13'06'00' W AND PARALLEL WITH SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 21.00 FEET; THENCE S 76"54"00" W AND PERPENDICULAR TO SAID EASTERLY RIGHT-OF-WAY, A DISTANCE OF 26.00 FEET TO SAID EASTERLY RIGHT-OF-WAY AND THE POINT OF BEGINNING.

THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3D EAST, ST. JOHNS COUNTY, FLÖRIDA, BEING MÖRE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF STATE ROAD A-1-A (ALSO KNOWN AS STATE ROAD NO. 3) LINE, 425.8B FEET TO A 1/2" REBAR AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88 DEGREES 53 MINUTES 30 SECONDS EAST ALONG SAID NORTHERLY LINE, 122,80 FEET TO A 1/2" REBAR; THENCE SOUTH OI DEGREE 06 MINUTES 30 SECONDS WEST 49.75 FEET; THENCE NORTH 88 DEGREES 53 MINUTES 3D SECONDS WEST 122.80 FEET; THENCE NORTH 01 DEGREE 06 MINUTES 30 SECONDS EAST 49.75 FEET TO THE POINT OF BEGINNING.

- LIGHT POLE (DUAL)

PR - LIGHT POLE (TRIPLE)

- LIGHT POLE (QUAD)

- WATER LINE MARKER

WRE HEIGHTS (SEE CHART)

LESS AND EXCEPT ANY PART LYING IN ROAD RIGHT OF WAYS

Symbol Legend: NOT TO SCALE

OX OR WELLS & DISC (AS NOTE NG SPACES (2)
& DISC (AS NOTE
NG SPACES (2)
Market Report to Comment W.
BOX (AS NOTED)
ON NUMBER (3)
AIMED WATER MET
WATER VAL
DRAIN
ARY SEWER MANH
ARY SEWER VALVE
DULE B ITEM NUM
ON CORNER
4" CM LB #7143
IR&C LB #7143
BENCH MARK
M SEWER MANHOLI
NG (DIRECTIONAL)
HONE CABLE RISE
HONE MANHOLE
HONE JUNCTION E
HOLE
TIC SIGNAL BOX
IC SIGNAL SUPPO
OWN MANHOLE
OWN UTILITY MARK
OWN RISER
OWN VALVE
(AS NOTED)
RMETER
R SERVICE
R SPIGOT
R SPRINKLER
R VALVE
T. CO.
NIP PLAN
AND FLAG UTILITY POLE

)	S	ign l	Legend:
		NOT T	O SCALE
TER	(R1)	====	ROW NUMBER SIGN
LVE	(日)		BUS STOP SIGN
	(DE)	-0.	DEAD END SIGN
HOLE	(DNE)	-	DO NOT ENTER SIGN (R5-
VE	(HC)	-0	HANDICAP SIGN
MBER (8)	(HC)	==	DUAL HANDICAP SIGN
	(INFO)	-0-	INFORMATION SIGN
1	(KR)	-0-	KEEP RIGHT SIGN
	(LTO)		LEFT TURN ONLY
	(ME)	-	MEDIAN SIGN
LE	(ND)		NO DUMPING SIGN
L)	(NL)	-0	NO LEFT TURN SIGN (R3-
SER	(NLI)	_u _	NO LITTERING SIGN
	(NO)	-0-	NO OUTLET SIGN
BOX	(FL)	-0-	NO PARKING FIRE LANE SI
	(NOR)		NO RIGHT TURN SIGN (R3-
aka ame	(NTT)	-0-	NO THRU TRAFFIC SIGN
ADT DAIL			The second secon

(NOT) - NO TRUCKS (R5-2)

(1W) - ONE WAY SIGN (R6-2)

(PE) -- PEDESTRIAN CROSSING SIGN

(NP) - NO PARKING SIGN

(RTO) - RIGHT TURN ONLY

(SL) - SPEED LIMIT SIGN

(SS) - STREET SIGN

(ST) - STOP SIGN (R1-1)

(TZ) - TOW AWAY ZONE SIGN

(TE) TRUCK ENTRANCE SIGN

UNKNOWN SIGN

(WL) WEIGHT LIMIT SIGN

(WW) TO WRONG WAY SIGN

(Y) TIELD SIGN

Reference Material

1) PLAT OF SEVILLA GARDENS, AS RECORDED IN MAP BOOK 4, PAGE 24 OF THE PUBLIC RECORDS OF ST., JOHNS COUNTY, FLORIDA.

2) PLAT OF WHISPERING OAKS, AS RECORDED IN MAP BOOK 34, PAGES 11-13 OF THE PUBLIC RECORDS OF ST., JOHNS COUNTY, FLORIDA.

PLAT OF WHISPERING OAKS III, AS RECORDED I

MAP BOOK 41, PAGES 18-19 OF THE PUBLIC

RECORDS OF ST. JOHNS COUNTY, FLORIDA. 4) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE ROAD NO. A1A,

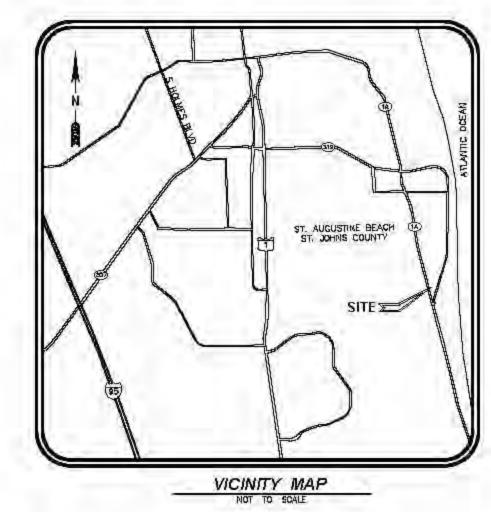
5) FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, STATE ROAD NO. 3/ANASTASIA BOULEVARD, SECTION NO.

78040-2551. DATED 6-14-94.

SECTION NO. 78040-2509, DATED 11-22-93.

THIS SURVEY IS NOT VALID WITHOUT SHEETS I THROUGH 4 OF 4

Exg = ENGINEERING L.B = LICENSED BUSINESS C.O.A = CERTIFICATE OF ALITHORIZATION Avok= ARCHITECTURAL



Survey Notes:

- "SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
- "ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES."
- 3. THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.
- 4. THE LAST DAY FIELD WORK WAS PERFORMED WAS 2/1/18; ALL BOUNDARY CORNERS WERE RECOVERED OR
- THE "LEGAL DESCRIPTION" HEREON IS BASED ON INFORMATION CONTAINED IN THE PROPERTY INFORMATION REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER: 6713739, REPORT DATE DECEMBER 20, 2017
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY A-1-A (S.R. NO. 3), ACCORDING TO THE DEED AS RECORDED IN OFFICAL RECORDS BOOK 3567, PAGE 682 OF THE OFFICIAL RECORDS OF ST. JOHNS COUNTY, FLORIDA, AS BEING S 13'06'00" E.
- HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12109C0384H, CITY OF ST. AUGUSTINE BEACH, ST. JOHNS COUNTY, REVISED DATE SEPTEMBER 2, 2004 PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE X SHADED WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE: AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, NAVD '88, THIS DETERMINATIO WAS BASED ON GEOSPATIAL DATA DOWNLOADED FROM WWW.FEMA.GOV AND THE SHAPE FILE DISPLAYED HEREON WAS REFERENCED TO ABOVE GROUND IMPROVEMENTS. THIS DETERMINATION WAS BASED ON A CRAPHIC INTERPOLATION (
- 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FS 472.027, ESTABLISHES THAT THE MINIMUM RELATIVE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY MEET THE HORIZONTAL CONTROL ACCURACY OF 11/10,000 FEET FOR A COMMERCIAL/HIGH RISK SURVEY. THE MEASUREMENTS AND CALCULATIONS OF THE CLOSED GEOMETRIC FIGURES WERE FOUND TO MEET THIS ACCURACY REQUIREMENT. THE EQUIPMENT USED TO VERIFY THE HORIZONTAL CONTROL ON THE SUBJECT SURVEY WAS A TOPCON TOTAL STATION MODEL# CPT-3005W. AND A TOPCON CPS HIPER
- 9 HORIZONTAL WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.05 (FT). THE EQUIPMENT USED TO LOCATE THE FEATURES WAS A TOPCON TOTAL STATION MODEL# GPT-3005W, AND A TOPCON GPS HIPER PRO.
- 10. UNLESS OTHERWISE NOTED, ALL RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION CONTAINED IN TH PROPERTY INFORMATION REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, REPORT NO. 6713739, REPORT DATE DECEMBER 20, 2017 AT 5:00 P.M., AND WAS PROVIDED BY THE CLIENT,
- 11. NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
- 12. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES.
- 13. FENCES EXISTING ON, OVER OR ADJACENT TO SUBJECT PROPERTY, ARE DISPLAYED HEREON; OWNERSHIP WHETHER SINGULAR OR JOINT WAS NOT DETERMINED BY THIS SURVEY.
- 14. VERTICAL FEATURE ACCURACY: "ELEVATIONS OF WELL-IDENTIFIED FEATURES CONTAINED IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.05 (FT)."
- 15. DIMENSIONS ARE SHOWN RELATIVE TO UNITED STATES STANDARD FEET AND DECIMALS THEREOF, UNLESS THE OBJECT SHOWN IS COMMONLY IDENTIFIED IN INCHES, I.E. TREE DIAMETER, PIPE DIAMETER, ETC. TREES DEPICTED ARE COMMON
- NAMES AND MEASURED AND LABELED AS DIAMETER AT BREAST HEIGHT IN INCHES. 16. CERTAIN INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED
- THE UNDERGROUND UTILITIES DEPICTED BY PIPE LINETYPES ARE APPROXIMATE IN NATURE BASED UPON AN INSPECTION OF THE MANHOLE, GRATE, ETC. OF EACH FACILITY. EXISTING PIPES WERE NOT LAMPED OR REMOTELY

Parking Table

STANDARD SPACES = ACCESSIBLE HANDICAP SPACES = 16 TOTAL SPACES =

Index of Sheets

ALTA/NSPS LAND TITLE SURVEY (COVER SHEET) ALTA/NSPS LAND TITLE SURVEY (COVER SHEET) ALTA/NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY) ALTA/NSPS LAND TITLE SURVEY (BOUNDARY & TOPOGRAPHIC SURVEY)

Surveyor's Certification:

Certified to: 2391 PARTNES, LLC AND CHICAGO TITLE INSURANCE COMPANY.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1—5. 8—9 and 13 of Table A thereof.

The field work was completed on February 1, 2018.

TO THIS SURVEYOR AS NOTED OR DISPLAYED HEREON.

VIEWED FOR DIRECTION, OBSTRUCTIONS OR CONNECTIVITY.

hereby certify that the attached "ALTA/NSPS Land Title Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on February 1, 2018. I further certify that this "Boundary & Topographic Survey" meets the standards of practice set forth in Rule Chapter 5J-17 of the Florida Administrative Code, pursuant to FS 472.027.

Professional Surveyor and Mapper Florida Registration No. 5384



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Engineers

Lands cape Architects Structural Surveyors

Traffic / Transportation Development Coordinatio Florida • Puerto Rico

 Connecticut · Maryland • Texas

14.5 B.B. A Solution of Care Solution of
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- LICENSED BUSINESS NUMBER

- MITERED END SECTION

- LIGHT POLE

MEASURED

- MAP BOOK

- MAIL BOX

PROPERTY INFORMATION REPORT ORDER NO. 6713739 REPORT DATE DECEMBER 20, 2017 AT 5:00 P.M.

- LIMITED WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 675. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 2) PARTNERSHIP AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 678, (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 3. CERTIFICATE OF MERGER REGORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 881. (NOT A SURVEY MATTER)
- 4. TRUSTEE'S AFFIDAMT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 684. (DOCUMENTATION MISSING) (NO DETERMINATION)
- MEMORANDUM OF LEASE RECORDED IN OFFICIAL RECORDS BOOK 1869, PAGE 1000. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 6.) LLC AFFIDAVIT RECORDED IN OFFICIAL RECORDS BOOK 1841, PAGE 1699. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- MORTGAGE AND SECURITY ACREEMENT DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1704, SECURING THE ORIGINAL PRINCIPAL AMOUNT OF \$4,480,000.00. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- ASSIGNMENT OF LEASES AND RENTS DATED APRIL 21, 2003, EXECUTED BY MCW-RC FL-ANASTASIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, IN FAVOR OF DES MOINES COMMERCIAL MORTGAGE PORTFOLIO, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND RECORDED APRIL 28, 2003 IN OFFICIAL RECORDS BOOK 1941, PAGE 1741. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- UCC-1 FINANCING STATEMENT LISTING MCW-RC FL-ANASTASIA, LLC, AS DEBTOR AND DES MOINES
 COMMERCIAL MORTGAGE PORTFOLIO, LLC, AS SECURED PARTY AND RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1753.
 (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- SUBORDINATION, NON-DISTURBANCE AND ATTORNMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 1941, PAGE 1759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

PLOTTABLE)

- AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE RECORDED IN OFFICIAL RECORDS BOOK 1968, PAGE 1687. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2001, PAGE 1591. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 476. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- CORRECTED ASSIGNMENT OF MORTGAGE AND SECURITY AGREEMENT, ASSIGNMENT OF LEASES AND RENTS AND GENERAL ASSIGNMENT RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 481, (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2013, PAGE 746. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- RE-RECORDED ASSIGNMENT OF LEASES AND RENT RECORDED IN OFFICIAL RECORDS BOOK 2014, PAGE 1410. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- CORRECTED AMENDMENT TO MORTGAGE AND SECURITY AGREEMENT AND SECURED PROMISSORY NOTE
 RECORDED IN OFFICIAL RECORDS BOOK 2111, PAGE 467. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2112, PAGE 759. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 2175, PAGE 1179. (AFFECTS SUBJECT PARCEL)
 (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2329, PAGE 1831. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2459, PAGE 886. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2459, PAGE 887. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2485, PAGE 1418. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2543, PAGE 1869. (AFFECTS SUBJECT PARCEL) (BLANKET IN
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2564, PAGE 308. (AFFECTS SUBJECT PARCEL) (BLANKET IN
- 26 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2637, PAGE 443. (AFFECTS SUBJECT PARCEL) (BLANKET IN
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2659, PAGE 1227. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2696, PAGE 283. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 29. ASSIGNMENT OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 2783, PAGE 1166. (NOT A SURVEY MATTER)
- 30. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2953, PAGE 1779. (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2973, PAGE 432. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 2976, PAGE 603. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 33. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 2983, PAGE 545. (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3009, PAGE 4D. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- (BLANKET IN NATURE) (NOT PLOTTABLE)

- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3051, PAGE 1816. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3D62, PAGE 1234. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3141, PAGE 1260. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- CLAIM OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3195, PAGE 1580. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3221, PAGE 1904. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- RELEASE AND SATISFACTION OF RECORDED CLAIM OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3222, PAGE 340. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3223, PAGE 1386. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3231, PAGE 1973, (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 44. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3238, PAGE 1627: (NOT A SURVEY MATTER)
- 45. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3243, PAGE 1004. (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3245, PAGE 1956. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3260, PAGE 554. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- (48) CLAIM OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3277; PAGE 731. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 49. NOTICE OF LIS PENDENS RECORDED IN OFFICIAL RECORDS BOOK 3305, PAGE 296. (NOT A SURVEY MATTER)
- 50. PLAINTIFFS NOTICE OF VOLUNTARY DISMISSAL WITH PREJUDICE RECORDED IN OFFICIAL RECORDS BOOK 3333, PAGE 233. (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3318, PAGE 1158. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3322, PAGE 728. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 53. SATISFACTION OF MORTGAGE RECORDED IN OFFICIAL RECORDS BOOK 3328, PAGE 103. (NOT A SURVEY MATTER)
- 54, UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3328, PAGE 107, (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3340, PAGE 1083. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- RELEASE OF LIEN RECORDED IN OFFICIAL RECORDS BOOK 3345, PAGE 67. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE)
 (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3369, PAGE 1481. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- GRANT OF NON-EXCLUSIVE UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 3439, PAGE 1004. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3519, PAGE 147, (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3563, PAGE 682. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 61. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 3590, PAGE 1734. (NOT A SURVEY MATTER)
- 62. NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3641, PAGE 1638. (NOT A SURVEY MATTER)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3676, PAGE 216. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3881, PAGE 1111. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- 65 NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3694, PAGE 1526. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- (66) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3716, PAGE 764. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3775, PAGE 678. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- (68) NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3876, PAGE 286. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3876, PAGE 287. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 3879, PAGE 692. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4142, PAGE 452. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)

- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4151, PAGE 684. (AFFECTS SUBJECT PARCEL) (BLANKET IN NATURE) (NOT PLOTTABLE)
- NOTICE OF COMMENCEMENT RECORDED IN OFFICIAL RECORDS BOOK 4157, PAGE 479. (AFFECTS SUBJECT PARCEL) (BLANKET IN MATURE) (NOT PLOTTABLE)
- 74. UCC-1 FINANCING STATEMENT RECORDED IN OFFICIAL RECORDS BOOK 4232, PAGE 1732. (NOT A SURVEY MATTER)
- 75. UCC-3 FINANCING STATEMENT AMENDMENT RECORDED IN OFFICIAL RECORDS BOOK 4407. PAGE 390, (NOT A SURVEY MATTER)

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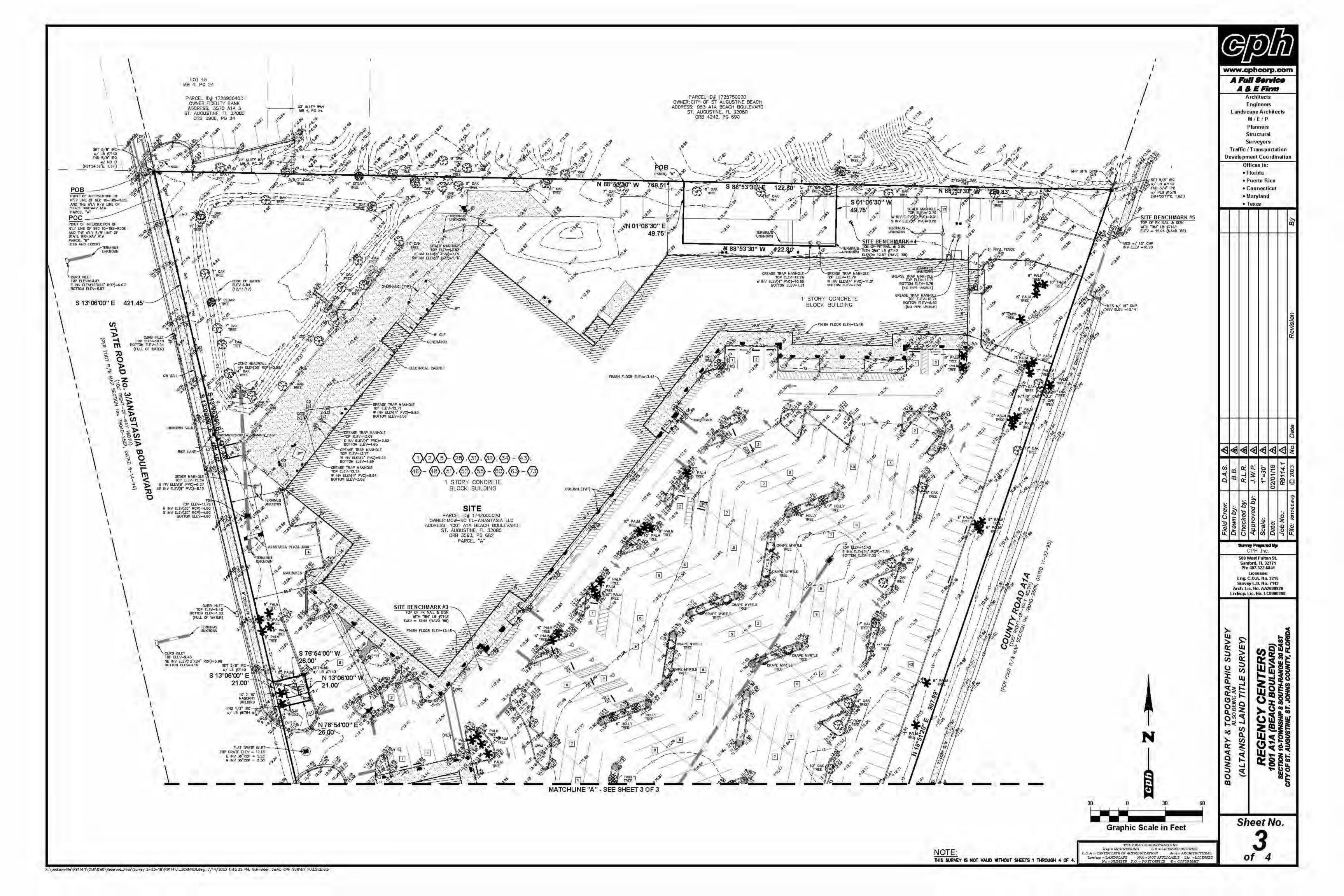
NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS I THROUGH 4 OF 4.

ENS = ENGINEERING L.B = LICENSED BUSINESS

L.O.A = CERTIFICATE OF AUTHORIZATION Arch= ARCHITECTURAL

Lowdup = LANDSCAFE N/A = NOT AFFLICABLE LIG = LICENSEL

No. = NUMBER P.O. = POST OFFICE ©= COPYRIGHT





C D D

GENERAL PROVISIONS

- THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL
- CONTRACTOR, AS PART OF THE BASE BID, SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA WITHIN THE 30 DAYS OF PROJECT AWARD. CONTRACTOR SHALL REVIEW THE PLANS AND SHALL NOTE ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY
- CONTRACTORS, AS PART OF THE BASE BID, SHALL PROMDE ALL COORDINATION WITH UTILITY PROVIDERS TO PROVIDE FOR THE MATERIALS AND WORK NEEDED TO PROVIDE SERVICES TO THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR ALL DEMOLITION OF ABOVE GROUND AND UNDERGROUND IMPROVEMENTS IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS NOTED ON THE PLANS. UNLESS APPROVED IN WRITING FROM THE OWNER, ALL MATERIALS SHALL BE REMOVED FROM THE SITE AS PART OF THE BASE BID.
- ALL DETAILS AND REFERENCES TO FDOT REFER TO THE LATEST EDITION OF THE FDOT STANDARD PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE4NS/CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- CONTRACTOR AND HIS SURVEYOR SHALL NOTE THE PROJECT BENCHMARK INFORMATION PROVIDED IN THE PLANS AND VERIFY
- ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES. IN ORDER TO MEET NPDES REQUIREMENTS THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING, INSPECTING, MAINT AINING, AND REPORTING ON ALL ELEMENTS OF THE SWPPP, COMPLETING AND SUBMITTING THE REQUIRED NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT). FORMS AS THE OPERATOR, AND PAYING ALL ASSOCIATED FEES. FOR PROJECTS LESS THAN 1 ACRE IN SIZE THAT ARE NOT REQUIRED TO COMPLYWITH THE NPDES GENERAL PERMIT, THE CONTRACTOR IS STILL RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL ME ASURES PRIOR TO AND DURING CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS
- UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY
- BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. CPH, INC. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
- THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS: AND LOGO OF THE PROFESSIONAL. CPH, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS
- THE CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR THEIR RECORDS. THE ENGINEER WILL NOT PROVIDE FOR APPROVAL OF SHOP DRAWINGS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL MATERIALS FOR ACCURACY PRIOR TO ORDERING THE MATERIALS. ANY DISCREPANCIES IDENTIFIED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY
- 14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. AS A MINIMUM, TESTING SHALL INCLUDE A) PIPING AND STRUCTURAL EXCAVATION, BEDDING AND BACKFILL MATERIALS AND DENSITY TESTS: BYDETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) PORTLAND CEMENT CONCRETE AND ASPHALT PAYING QUALITY CONTROL TESTING INCLUDING DESIGN MIX REMEW, MATERIALS, FIELD SLUMP AND AIR CONTENT, AND FIELD AND LAB CURED STRENGTH SAMPLES AND TESTING.
- IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL COSTS IN CONNECTION THEREWITH AND SHALL FURNISH THE OWNER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
- . ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION", PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
- TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS.
- THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, PLUS ALL ADJACENT AREAS AFFECTED BY ONSTRUCTION, AS DIRECTED BY THE OWNER OR JURISDICTIONAL AGENCY. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE OWNER.
- 19. ALL DISTRUBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODDED.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT BE LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING, CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE
- 21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- 22. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.

UTILITY GENERAL NOTES

- THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
- THE LOCATION, MATERIAL TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND UTILITY, WHETHER SHOWN ON THE PLANS OR LOCATED BY THE UTILITY COMPANY, ANY LITILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE ENGINEER AND THE RESPECTIVE UTILITY COMPANY FOR RELOCATION OR PROPER INSTRUCTION
- A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES. THE CONTRACTOR IS TO CONTACT THE SUNSHINE STATE ONE CALL CENTER BY DIALING "811" AT LEAST TWO (2) AND NO MORE THAN FIVE (5) WORKING DAYS PRIOR TO THE SPECIFIC CONSTRUCTION ACTIVITY FOR FIELD LOCATION. NOTE THAT NOT ALL UTILITIES PARTICIPATE IN THIS PROGRAM. THE CONTRACTOR SHOULD CONTACT ALL NON-PARTICIPATING UTILITIES SEPARATELY FOR FIELD LOCATION. OF THEIR FACILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION.
- THE UTILITY PROVIDERS NOTED ON THE COVER SHEET HAVE PREMOUSLY INDICATED THAT THEY MAY HAVE FACILITIES IN THE MCINITY OF THE CONSTRUCTION AREA.
- THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE NECESSARY RELOCATIONS OR OTHER CONSTRUCTION RELATED MATTERS WITH EACH UTILITY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE OWNER AND THE ENGINEER.
- TYPICAL DETAILS AND PROPOSED CONSTRUCTION AS SHOWN ILLUSTRATE THE ENGINEER/S INTENT AND ARE NOT PRESENTED. AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD. THE CONTRACTOR MAY ALTER THE PROPOSED CONSTRUCTION TO SUIT FIELD CONDITIONS, PROVIDED IT COMPLIES WITH THE PROJECT SPECIFICATIONS AND APPROVAL IS RECEIVED FROM THE ENGINEER. WHERE SUCH PROPOSED REVISIONS DEVIATE FROM THE FDEP CONSTRUCTION. PERMIT, THEN SUCH REVISIONS WILL ALSO REQUIRE APPROVAL FROM FDEP.
- FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL TYPE, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC. TO BE CROSSED OR CONNECTED TO JIF THE CONTRACTOR DEEMS NECESSARY (A) A CHANGE IN ALIGNMENT OR DEPTH, OR THE NEED FOR ADDITIONAL FITTINGS, BENDS. OR COUPLINGS, WHICH REPRESENT A DEPARTURE FROM THE CONTRACT DRAWING, OR (B) A NEED FOR RELOCATION OF EXISTING UTILITIES, THEN DETAILS OF SUCH DEPARTURES, RELOCATIONS, OR ADDITIONAL FITTINGS, INCLUDING CHANGES IN RELATED PORTIONS OF THE PROJECT AND THE REASONS THEREFORE, SHALL BE SUBMITTED WITH SHOP DRAWINGS. APPROVED DEPARTURES FOR THE CONTRACTOR'S CONVENIENCE SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- TO. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LE AKAGE, AND PRESSURE TESTING. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE OWNER IN WRITTEN FORM, FORTY-EIGHT (48) HOURS IN ADVANCE OF PROPOSED TESTING. THE CONTRACTOR SHALL PERFORM SATISFACTORY PRE-TESTING PRIOR TO NOTIFICATION.

AS-BUILT DRAWING REQUIREMENTS

- AS-BUILT DRAWINGS SHALL BE PROMDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO FINAL INSPECTION, ALL AS-BUILT DATA SHALL BE PROVIDED BY A FLORIDALICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY. THE CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY ALL AS BUILT SURVEY REQUIREMENTS BY THE GOVERNING AGENCIES PRIOR TO START OF CONSTRUCTION TO ENSURE THAT AS-BUILT INFORMATION IS PROVIDED FOR
- ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACAD FORMAT USING CONSTRUCTION PLAN SHEETS. ROVIDED BY THE ENGINEER. AS-BUILT INFORMATION SHALL BE FIELD VERIFIED, ME ASURED, ADDED TO THE ACAD FILES OF

- THE CONSTRUCTION PLAN SHEETS PROMDED BY THE ENGINEER, AND CERTIFIED, SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS.
- THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
- A HORIZONTALLOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED. TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.

B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.

CHANGES IN HORIZONTAL OFFSET

- C, STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZON LALDIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND, AT LOCATIONS DESIGNATED BY THE ENGINEER. TOP OF POND HORIZONTAL DIMENSIONS ARE ALSO TO BE TIED TO PROPERTY CORNERS, EASEMENTS, AND RIGHTS-OF-AVAY
- D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND
- E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
- F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC. G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
- H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-VVAY LINES, LOCATED EVERY 200-FT PLUS ALL
- PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING

LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.

- ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET
- K. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS. L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS:
- ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION: M. WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL
- MEASURED VERTICAL ELEVATION. N. ANY ADDITIONAL INFORMATION REQUIRED BY GOVERNING AGENCIES.
- 4. IN CASES WHERE THE OWNER DETERMINES PARTIAL CLEAR ANCES FROM PERMITTING AGENCIES ARE BENEFICIAL TO THE OWNER FOR COMPLETED PORTIONS OF THE PROJECT, PROVIDE PRELIMINARY AS-BUILT DRAWINGS (ACAD FORMAT) TO THE ENGINEER FOR ITS USE IN PREPARING THE PARTIAL CLEARANCE APPLICATIONS FOR THE OWNER.
- COMPLETE AS BUILT DRAWINGS THAT ARE FOUND TO BE SATISF ACTORY AS A RESULT OF THE ENGINEER'S REVIEW WILL BE USED AS THE BASIS FOR THE FINAL PROJECT RECORD DRAWINGS PREPARED BY THE ENGINEER USING THE CONTRACTOR PROVIDED AS-BUILT DRAWINGS PLUS ENGINEER ADDED INFORMATION.

TRAFFIC CONTROL

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC CONTROL SIGNS, PAYEMENT MARKINGS, AND BARRIGADES, AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE MIO.T. PLAN AND INSTALLED TRAFFIC CONTROL MEASURES SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION, IN GENERAL, ROADWAY AND DRIVEWAY LANE CLOSURES ARE PROHIBITED DURING CONSTRUCTION UNLESS SPECIFICALLY DETAILED ON THESE PLANS. IN THE EVENT IT IS DETERMINED THAT ROADWAY AND DRIVEWAY LANE CLOSURES WILL BE ALLOWED, THE CLOSURES SHALL BE RESTRICTED TO THE HOURS BETWEEN 9:00 A.M. AND 4:00 P.M. UNLESS OTHERWISE AUTHORIZED IN THE APPROVED M.O.T
- ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-500 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION.
- 3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.
- 4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION. COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING, MAINT AIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.
- WET UNSTABILIZED ARE AS AS NECESSARY TO CONTROL DUST.
- 6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
- 7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE
- WHEN WORK OCCURS WITHIN 15-FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2-FT FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-600 AND 102-602,
- 9. TYPE FOR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.

SITE PREPARATION

- UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED ARE AS IN SURROUNDING. PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
- STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES; BASELINES, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS RELATING TO INTERCONNECTION WITH EXISTING FEATURES. REPORT ANY INCONSISTENCIES IN THE PROPOSED GRADES, LINES AND LEVELS, DIMENSIONS AND LOCATIONS TO THE ENGINEER BEFORE COMMENCING WORK.
- PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY. PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO WORK AREAS.
- 4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW TREES AND SHRUBS TO REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE, NEW ROADWAY CONSTRUCTION - TREES AND SHRUBS TO REMAIN. WHERE LOCATED MORE THAN 15 FEET FROM THE BACK OF CURB, OR OUTSIDE THE LIMITS OF EXCAVATION OR FILL AREAS. WHICHEVER IS FURTHER. UTILITY PIPELINE CONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15 FOOT WIDE PATH, CENTERED ON THE PIPELINE.
- 5. TREES TO REMAIN IN THE CONSTRUCTION ARE A SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD

CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENCROACH UPON OR

- AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED. IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES. REMOVE TREES OUTSIDE OF THESE AREAS ONLY AS INDICATED ON THE DRAWINGS OR AS APPROVED IN WRITING BY THE ENGINEER.
- OTHERWISE OBSTRUCT THE WORK EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS. DO NOT DAMAGE EXISTING STRUCTURES.
- GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN 2"IN DIAMETER, AND MATTED ROOTS, REMOVE TO A DEPTH OF NOT LESS THAN 18" BELOW THE ORIGINAL SURFACE LEVEL OF THE GROUND.
- 10. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFF SITE

DEWATERING

DISPOSAL AREAS

- DESIGN AND PROVIDE A DEWATERING SYSTEM USING ACCEPTED AND PROFESSIONAL METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE, PROVIDE A DEWATERING SYSTEM OF SUFFICIENT SIZE AND CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS, DOES NOT CAUSE INSTABILITY OR RAVELING OF EXCAVATION SLOPES, AND DOES NOT RESULT IN DAMAGE TO EXISTING STRUCTURES. WHERE NECESSARY TO THESE PURPOSES, LOWER WATER LEVEL IN ADVANCE OF EXCAVATION, LITILIZING WELLS, WELL POINTS, OR SIMILAR POSITIVE METHODS. MAINTAIN THE GROUNDWATER LEVEL TO A MINIMUM OF 2 FEET BELOW EXCAVATIONS. PROVIDE PIEZOMETERS IF DIRECTED BY THE ENGINEER TO DOCUMENT THE GROUNDWATER LEVEL IS BEING MAINTAINED.
- CONTROL, BY ACCEPTABLE MEANS, ALL WATER REGARDLESS OF SOURCE AND BE FULLY RESPONSIBLE FOR DISPOSAL OF THE WATER, NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY SUPPLEMENTAL ME ASURES TO CONTROL SEEPAGE, GROUNDWATER, OR ARTESIAN HEAD.
- DEWATERING DISCHARGE FROM THE SITE SHALL COMPLY WITH ALL NPDES GENERAL PERMIT REQUIREMENTS AND STATE WATER QUALITY STANDARDS. PROVIDE ALL TESTING AND PERMITTING REQUIRED AND COMPLY WITH ALL TREATMENT OR DISPOSAL METHODS REQUIRED TO MEET ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
- 4. OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN BOILS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES, SUMPS SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED, WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS. DURING NORMAL PUMPING, AND UPON DEVELOPMENT OF WELL(S), LEVELS OF FINE SAND OR SILT IN THE DISCHARGE WATER SHALL NOT EXCEED 5 PPM.
- 5 IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING: 1) 5" PUMP VOLUTE: 2)100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING, AND; 3)1,000,000 GPD PUMP CAPACITY, THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE WATER MANAGEMENT DISTRICT
- 6 CONTINUOUSLY MAINT AIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION. OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR

ADJACENT FACILITIES FROM FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE

WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.

- SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED.
- 2. ALL PROPOSED ELEVATIONS ON THE PLANS WITHIN PAVED AREAS ARE SHOWN AT PAVEMENT, UNLESS OTHERWISE NOTED.
- ALL PAYING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS/SLOPES. THE STANDARD CROWN MAY HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENT ARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.
- 4. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED, FINISHED SURFACES SHALL BE REASONABLY SMOOTH. COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY
- NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THAT MAY OCCUR FROM ANY CAUSE PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES RE-ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES AT NO ADDITIONAL COST TO THE OWNER.

EXCAVATION, TRENCHING, AND FILL

- THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 553.60-553.64). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES, DIRECT SITE RUNOFF TO THE PONDS TO MINIMIZE RUNOFF TO OFFSITE AREAS.
- POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT THESE REQUIREMENTS HAVE BEEN MET. IF THE CONSTRUCTED SIDE SLOPES ARE STEEPER THAN THE REQUIRED SIDE SLOPES, OR THE POND VOLUME IS NOT WITHIN THREE (3) PERCENT OF THE DESIGN VOLUME, THE CONTRACTOR SHALL BE REQUIRED TO MAKE CORRECTIONS TO THE POND AT NO ADDITIONAL COST TO THE OWNER.
- FIELD DENSITY TESTING FREQUENCIES: AYONE TEST FOR EACH 10,000 SQUARE FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING, MINIMUM 2 TESTS EACH LAYER: B) ONE TEST FOR EACH 100 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES: CYONE TEST FOR EACH 300 LINEAU FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING IN THE PIPELINE TRENCH; D) ONE TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, MINIMUM OF 2 TESTS.
- IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED. WHEREVER POSSIBLE.
- A. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-2-4, A-2-6; ASTM D2487 CLASSIFICATION GW, GP, GM, SM, SW, SP: LINLESS OTHERWISE DISAPPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. NO MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE.
- B. UNACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A.2-5, A-2-7, A-4, A-5, A-6, A-7, A-8; ASTM D2487 CLASSIFICATION GC, SC, ML, MH, CL, CH, OL, OH, PT; UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS.
- PROVIDE BARRIERS, WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS.
- SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS, EXCEPT AS AUTHORIZED BY THE ENGINEER. IN WHICH CASE ADEQUATE TEMPORARY PROVISIONS MUST BE MADE FOR SATISFACTORY TEMPORARY PASSAGE OF PEDESTRIANS, AND VEHICLES. MINIMIZE INCONVENIENCE TO PUBLIC TRAVEL OR TO TENANTS OCCUPYING ADJOINING PROPERTY.
- FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO SUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE ADJACENT PAVEMENTS OR STRUCTURES, DAMAGE OR DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. VOIDS OUTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND
- 9. SHEETING, SHORING, AND BRACING USED FOR THE SUPPORT OF EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF FLORIDA.
- 10. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED. SLOPE SIDES OF TRENCHES IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE RECOMMENDATIONS CONTAINED WITHIN THE PROJECT GEOTECHNICAL
- 11. EXCAYATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERTIBLE VATIONS, OVER EXCAVATE TRENCHES A MINIMUM OF 2 FEET WHERE EXCAVATIONS OCCUR WITHIN UNSUITABLE SOILS, AND REPLACE OVER EXCAVATED MATERIAL WITH SUITABLE SOILS.
- TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
- 13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUND ATIONS, OR SLABS, PLACE BACKFILL IN LAYERS OF 8 INCH LOOSE DEPTH. IN ALL OTHER AREAS, PLACE FILL AND BACKFILL IN LAYERS OF 12 INCH LOOSE DEPTH
- 14. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHT 0.1180); BACKFILL AND FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS = 98 PERCENT; BACKFILL AND FILL PLACED WITHIN PUBLIC ROAD RIGHT-OF-WAY AND LITLITY EASEMENTS = 95 PERCENT; BACKFILL AND FILL PLACED WITHIN POND AND ROAD EMBANKMENT = 95 PERCENT, BACKFILL AND FILL PLACED IN ALL OTHER AREAS = 90 PERCENT.

ALL RIPRAP CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTION 530 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.



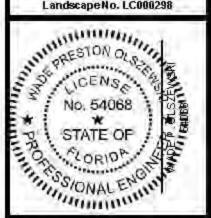
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Architect, No. AA26000926



This item has been digitally signed a sealed by WADE P. OLSZEWSKI, P. on the date adjacent to the seal rinted copies of this document are r considered signed and sealed and th signature must be verified on any electronic copies.

Designed: W. Olszewski Drawn: D. Schneider

Checked: W. Olszewski

Job No.: R9123 Date 6/05/23

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THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.

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- 34. ALL APP ARENT LEAKS DISCOVERED WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE OWNER. SHALL BE LOCATED AND REPAIRED BY CONTRACTOR, REGARDLESS OF THE TOTAL LINE LEAKAGE RATE.
- 35. PRIOR TO DISINFECTION, CONDUCT FULL DIAMETER FLUSHING OF PIPELINE IN SECTIONS IN ORDER TO REMOVE ANY SOLIDS OR CONTAMINATED MATERIAL THAT MAY HAVE BECOME LODGED IN THE PIPE.
- OBTAIN A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND PER AVVIVA C651.
- 37. ALL LAPS REQUIRED FOR FLUSHING AND THE TEMPORARY OR PERMANENT RELEASE OF AIR AS NEEDED FOR FLUSHING SHALL
- 38. DISINFECT ALL POT ABLE WATER LINES, FIRE LINES, VALVES, FITTINGS, HYDRANTS. THE WATER MAIN DISINFECTION AND BACTERIOLOGICAL SAMPLING AND METHODS OF DISINFECTION FOR ALL WATER CONTAINMENT DEVICES AND PIPING SYSTEMS SHALL CONFORM TO AWWA C651. THE DISCHARGE LOCATIONS FOR THE CHLORINATED WATER SHALL BE APPROVED BY THE OWNER. NEUTRALIZE THE CHLORINE RESIDUAL BY MEANS OF A REDUCING AGENT IN ACCORDANCE WITH AWWA C651.
- 9. ALL DISINFECTION WORK SHALL BE ACCEPTABLE TO THE STATE HEALTH AUTHORITY. IF ANY REQUIREMENTS OF THIS SECTION ARE IN CONFLICT WITH REQUIREMENTS OF THE AUTHORITY FOR DISINFECTION, THOSE OF THE AUTHORITY SHALL GOVERN. ALL BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY A STATE CERTIFIED LABORATORY CONTRACTED BY THE CONTRACTOR, PROPER CHAIN OF CUSTODY PROCEDURES MUST BE FOLLOWED AND SAMPLES SHALL ONLY BE COLLECTED BY CERTIFIED LABORATORY PERSONNEL. COPIES OF ALL TESTING RESULTS AND ALL RELATED CORRESPONDENCE FROM THE TESTING LAB SHALL BE SUBMITTED TO THE OWNER, UTILITY, AND ENGINEER.

FIRE PROTECTION SYSTEMS

- COMBUSTIBLE CONSTRUCTION CANNOT OCCUR UNTIL PROPER DOCUMENTATION HAS BEEN SUBMITTED TO THE LOCAL FIRE MARSHAL, DOCUMENTATION SHALL SHOW THAT HYDRANTS HAVE BEEN INSTALLED, TESTED, AND ARE IN PROPER WORKING
- INSTALL ALL FIRE LINE PIPING AT A MINIMUM 36 INCHES OF COVER.
- THE CONTRACTOR INSTALLING THE UNDERGROUND FIRE PROTECTION PIPING SHALL HOLD A CLASS I, II, OR LEVEL V CERTIFICATION AS ISSUED BY THE STATE OF FLORIDA, AS REQUIRED BY FS 633.021(5).
- ALL FIRE PROTECTION SPRINKLER SYSTEMS INSTALLED SHALL COMPLY WITH NFPA-13, AND SHALL BE MONITORED BY A COMPANY LISTED AS A CENTRAL STATION.
- HYDRANTS SHALL CONFORM TO AWWA C502 AND SHALL BE FURNISHED COMPLETE WITH WRENCH AND OTHER APPURTENANCES, MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH AVWA C502 AND TESTS LISTED THEREIN WILL BE
- ALL HYDRANTS SHALL BE OF BREAKABLE TYPE, WITH THE BREAKABLE SECTION LOCATED SLIGHTLY ABOVE THE FINISH GROUND LINE. HYDRANTS SHALL CONTAIN TWO-TWO AND A HALF INCH (2-1/2") HOSE CONNECTIONS AND ONE-FOUR AND A HALF INCH (4-1/2") STEAMER CONNECTIONS WITH NATIONAL STANDARD FIRE HOSE COUPLING SCREW THREADS, FIVE AND ONE QUARTER INCH (5-1/4") VALVE OPENING, SIX INCH (6") DIAMETER MECHANICAL JOINT INLET, ONE AND ONE-HALF INCH (1-1/2") PENTAGON OPERATING NUT. THE HYDRANTS SHALL OPEN COUNTERCLOCKWISE.
- ALL HYDRANTS SHALL BE PAINTED IN AN APPROVED MANNER WITH THE PRIMER PAINT BEING KOPPER'S "GLAMORTEX" NO. 622 RUST PRIMER AND THE FINISH PAINT SHALL BE TWO COATS OF ENAMEL OR SPECIAL COATING TO COLOR AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- BLUE PAVEMENT REFLECTORS (CAT EYES) SHALL BE PLACED IN THE CENTERLINE OF THE DRIVING LANE DIRECTLY IN FRONT OF ALL FIRE HYDRANTS. THERE SHALL BE NO TREES, SHRUBS, OR LANDSCAPING PLANTED AROUND THE FIRE HYDRANTS OR IN AREAS DESIGNATED AS FIRE LANES.
- NEW OR RELOCATED FIRE HYDRANTS SHALL BE LOCATED SUCH THAT THE UNDERGROUND DRAIN (WEEP HOLE) IS AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER MAIN, OR VACUUM TYPE SANITARY SEWER; SIX FEET FROM ANY EXISTING OR PROPOSED GRAMTY SANITARY SEWER AND WASTEWATER FORCE MAIN; AND TEN FEET FROM ANY ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINFIELDS, AND GREASE TRAPS. ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS DO NOT INCLUDE PACKAGE SEWAGE TREATMENT FACILITIES AND PUBLIC WASTEWATER TREATMENT FACILITIES.
- 10. THE SEQUENCE OF TESTING AND DISINFECTION SHALL BE AS FOLLOWS: 1) CONDUCT FIRE FLOW, PRESSURE AND LEAKAGE. TESTING; 2) PERFORM FLUSHING PER UTILITY REQUIREMENTS AND AVAIVA C651; 3) DISINFECT THE WATER MAIN, INCLUDING VALVES AND FITTINGS; AND 4) FLUSH AFTER DISINFECTION.
- THE CONTRACTOR SHALL PROMDE A POST-CONSTRUCTION FIRE FLOW TEST WITNESSED AND APPROVED BY THE ENGINEER! AND THE UTILITY, HYDRANTS SHALL DELIVER A MINIMUM OF 1250 GPM WITH A RESIDUAL PRESSURE OF 20 PSI.
- 2. APPLY HYDROSTATIC TEST PRESSURE OF 200 PSI (FIRE MAINS) FOR 10 MINUTES AND FOR SUCH ADDITIONAL PERIOD NECESSARY FOR THE ENGINEER TO COMPLETE THE INSPECTION OF THE LINE UNDER TEST. DO NOT EXCEED PIPE MANUFACTURER'S SUGGESTED TIME DURATION AT THE TEST PRESSURE. IF DEFECTS ARE NOTED, REPAIRS SHALL BE MADE. AND THE TEST REPEATED UNTIL ALL PARTS OF THE LINE WITHSTAND THE TEST PRESSURE.
- APPLY LEAKAGE TEST PRESSURE OF 200 PSI (FIRE MAINS) MAINTAIN PRESSURE AT A MAXIMUM VARIATION OF 5% DURING THE ENTIRE LEAKAGE TEST. THE DURATION OF THE LEAKAGE TEST SHALL BE TWO HOURS MINIMUM, AND FOR SUCH ADDITIONAL TIME NECESSARY FOR THE ENGINEER TO COMPLETE INSPECTION OF THE SECTION OF LINE UNDER TEST. LEAKAGE MEASUREMENTS SHALL NOT BE STARTED UNTIL A CONSTANT TEST PRESSURE HAS BEEN ESTABLISHED. THE LINE LEAKAGE. SHALL BE MEASURED BY MEANS OF A WATER METER INSTALLED ON THE SUPPLY SIDE OF THE PRESSURE PUMP.
- 4. NO LEAKAGE IS ALLOWED IN EXPOSED PIPING, BURIED PIPING WITH FLANGED, THREADED, OR WELDED JOINTS OR BURIED. NON-ROTABLE PIPING IN CONFLICT WITH POTABLE WATER LINES.
- 15. TESTED SECTIONS OF BURIED PIPING WITH SLIP-TYPE OR MECHANICAL JOINTS WILL NOT BE ACCEPTED IF IT HAS A LEAKAGE. RATE IN EXCESS OF THAT RATE DETERMINED BY THE FORMULA L = SDP#148000 WHERE L = MAXIMUM PERMISSIBLE LEAKAGE RATE. IN GALLONS PER HOUR. THROUGHOUT THE ENTIRE LENGTH OF LINE BEING TESTED: S = LENGTH OF LINE TESTED (IN FEET), D = NOMINAL INTERNAL DIAMETER (IN INCHES) OF THE PIPE, AND P = THE SQUARE ROOT OF THE ACTUAL PRESSURE IN PSIG ON ALL JOINTS IN THE TESTED PORTION OF THE LINE. THIS ACTUAL PRESSURE SHALL BE DETERMINED BY FINDING THE DIFFERENCE BETWEEN THE AVERAGE ELEVATION OF ALL TESTED PIPE JOINTS AND THE ELEVATION OF THE PRESSURE GAUGE AND ADDING THE DIFFERENCE IN ELEVATION HEAD TO THE AUTHORIZED TEST PRESSURE.
- 16. DISINFECT ALL POTABLE WATER LINES, FIRE LINES, VALVES, FITTINGS, HYDRANTS.
- 17. ALL DISINFECTION WORK SHALL BE ACCEPTABLE TO THE STATE HEALTH AUTHORITY. IF ANY REQUIREMENTS OF THIS SECTION ARE IN CONFLICT WITH REQUIREMENTS OF THE AUTHORITY FOR DISINFECTION, THOSE OF THE AUTHORITY SHALL GOVERN. THE WATER MAIN DISINFECTION AND BACTERIOLOGICAL SAMPLING AND METHODS OF DISINFECTION FOR ALL WATER CONTAINMENT DEVICES AND PIPING SYSTEMS SHALL CONFORM TO AWAYA 0651

PAVING, SIDEWALKS, AND CURBING

- MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAYING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. LATEST EDITION.
- ROADWAY PAYING, BASE, AND SUBGRADE THICKNESSES SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS.
- SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. HANDICAPPED RAMPS SHALL BE PROMDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING
- CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER, CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDQT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
- FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUB-BASE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAWING PER 24-FT WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE, WHERE LESS THAN 300 LINEAR FEET OF SUB-BASE, BASE, AND ASPHALT IS PLACED IN ONE DAY, PROVIDE MIN, OF ONE TEST FOR EACH PER DAY'S CONSTRUCTION AT A LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION. GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY).

PRECAST STRUCTURES AND APPURTENANCES

- ALL MANHOLES SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 21" IN DIAMETER OF LESS. INTEGRALLY CAST STEPS WITHIN PRECAST STRUCTURES ARE NOT ALLOWED.
- BASES SHALL BE ONE PIECE PRECAST BASE SECTIONS CONSISTING OF INTEGRALLY CAST SLAB, BOTTOM RING SECTION AND CONCRETE FLOW CHANNELS. BASE SECTIONS SHALL HAVE INTEGRAL INVERTS WITH GASKETS TO MATCH THE PIPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL INVERT ANGLES. PROVIDE OUTLET STUBS WITH JOINTS TO MATCH THE PIPE.
- RISERS SHALL BE PRECAST REINFORCED CONCRETE PER ASTM C478, MANUFACTURED USING SULFATE RESISTANT CEMENT (ASTM C150, TYPE II). RISERS SHALL BE 48-INCH DIAMETER LINLESS OTHERWISE INDICATED AND SHALL HAVE A MINIMUM WALL THICKNESS OF 5 INCHES.
- GASKETS FOR SEATING PRECAST SECTIONS SHALL BE COLD ADHESIVE PREFORMED PLASTIC GASKETS CONFORMING TO FDOT SPECIFICATION 942-2, UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE INDICATED, CONE TOP SECTIONS SHALL BE PRECAST, ECCENTRIC TYPE WITH 24-INCH DIAMETER TOP OPENING CONFORMING TO ASTM C478. PROVIDE 8-INCH MINIMUM THICKNESS FLAT SLAB TOPS WITH ECCENTRIC 24 INCH DIAMETER OPENING, UNLESS OTHERWISE INDICATED.
- PROVIDE A FLEXIBLE WATERTIGHT SEAL OF THE PIPE TO THE MANHOLE. CONNECTION OF CONCRETE PIPE TO THE MANHOLE. SHALL BE MADE WITH NON-SHRINK METALLIC GROUT. CONNECTION OF DUCTILE IRON OR PVC PIPE TO THE MANHOLE SHALL PROVIDE A WATERTIGHT CONNECTION PER ASTM C923, WHERE CONNECTORS ARE USED, THEY SHALL BE INSTALLED IN THE MANHOLE WALL BY ACTIVATING THE EXPANDING MECHANISM IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE CONNECTOR MANUFACTURER. THE USE OF ADHESIVES OR LUBRICANTS FOR INSTALLATION OF RUBBER CONNECTORS IS
- FRAMES AND COVERS SHALL BE GREY IRON PER ASTMIA48, CLASS 30B AND SHALL BE U.S. FOUNDRY TYPE 227AS, TRAFFIC BE ARING (AASHTO H-20 LO ADING), UNLESS OTHERWISE NOTED IN THE DRAWINGS. CASTINGS SHALL BE SMOOTH, CLEAN, FREE FROM BLISTERS, BLOWHOLES, AND SHRINKAGE. RAISED LETTERING ON COVERS SHALL BE "STORM", "SEWER", OR AS DETAILED. ON THE DRAWINGS.
- PROVIDE INLETS, FRAMES, AND GRATES IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. ALL FRAMES AND INLET GRATES SHALL BE PRODUCTS OF U.S. FOUNDRY & MANUFACTURING CORPORATION, OR EQUAL.
- ALL INLET GRATES SHALL BE SECURED BY CHAIN AND EYEBOLT TO THE TOP OF THE STRUCTURE.

- 10. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
- 11. ALL MANHOLES AND CLEAN OUTS CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS.
- 12. MANHOLE COATINGS AND FINISHES SHALL BE:
- A. SANITARY SEWER MANHOLE INTERIOR BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.
- B. INTERIOR OF MANHOLES WHICH RECEIVE FORCE MAIN DISCHARGE -INTEGRALLY ATTACHED INTERIOR LINER, FULL HEIGHT, FIBERGLASS LINER: LINER THICKNESS TO BE IN ACCORDANCE WITH THE DRAWINGS.
- C. EXTERIOR BITUMINOUS EPOXY COATING, MINIMUM DRY FILM THICKNESS = 16 MILS.

- REINFORCED CONCRETE PIPE (RCP) JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 430, AND RUBBER GASKETS SHALL COMPLY WITH FOOT SPECIFICATION SECTION 942. MINIMUM COVER OVER THE PIPE, INCLUDING COVER OVER THE BELL OF THE PIPE WHERE APPLICABLE, SHALL BE 30 INCHES.
- RCP PIPE SHALL NOT BE SHIPPED FROM MANUFACTURER UNTIL THE COMPRESSIVE STRENGTH OF THE PIPE HAS REACHED. 4000 PSI AND A MINIMUM OF 5 DAYS HAVE PASSED SINCE THE MANUFACTURING OR REPAIR OF THE PIPE HAS BEEN
- UNDERDRAIN PIPE SHALL BE PERFORATED POLYMNYL CHLORIDE PIPE IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 IN ACCORDANCE WITH SPECIFICATIONS SECTION 985:
- 4. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC. FILTER FABRIC SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 199, TYPE D-3, A.O.S. 76-100. INSTALL IN ACCORDANCE WITH FOOT STANDARD PLANS INDEX 430-001, PROVIDE MINIMUM 12"
- INSTALL POLYETHYLENE PIPE IN ACCORDANCE WITH ASTMID 2321. BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER POLYETHYLENE PIPE SHALL BE AS FOLLOWS: A) PIPE UNDER FLEXIBLE PAVEMENT, RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS SUITABLE SOILS AS DEFINED IN THE GENERAL NOTES: MINIMUM COVER SHALL BE 36 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER; B) PIPE UNDER FLEXIBLE PAVEMENT. RIGID PAVEMENT, OR UNPAVED AREAS WHERE BEDDING IS MANUFACTURED AGGREGATES CLASS 1.4 OR 18 AS DEFINED IN ASTM D2321: MINIMUM COVER SHALL BE 30 INCHES OR ONE PIPE DIAMETER, WHICHEVER IS GREATER.
- INSTALL UNDERDRAINS IN ACCORDANCE WITH FOOT SPECIFICATION SECTION 440, INSTALL CLEANOUTS AS SHOWN ON THE
- PRIOR TO INSPECTIONS AND TESTING, CLEAN ALL INSTALLED LINES AND STRUCTURES.

SIGNS AND PAVEMENT MARKINGS

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL. DEMCES" AND THE LATEST IMPLEMENTED EDITION OF FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 2. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 4" x 4"). RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND FDOT STANDARD PLANS INDEX 706-001.
- PARKING STALL PAVEMENT MARKINGS SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATION. SECTION 971, NON-REPLECTIVE WHITE TRAFFIC PAINT, TWO COATS.
- 4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN THREE INCH LETTERS.
- 15. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
- 6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL SIGNS, BASES, ANCHOR BOLTS, CONDUITS, WIRING, ETC.
- 8 ALL PAVEMENT MARKINGS REQUIRE LAYOUT APPROVAL IN THE FIELD BY THE ENGINEER PRIOR TO INSTALLATION.
- 9. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A TWO WEEK CURE TIME OF THE ASPHALT IS REQUIRED.

JACKING AND BORING

- STEEL CASING PIPE SHALL CONFORM TO ASTM A139, GRADE "B" WITH MINIMUM YIELD STRENGTH OF 35,000 PSI. INTERIOR. LINING OF PIPE SHALL BE A COAL TAR LINING CONFORMING TO AWAYA C203, EXTERIOR COATING OF PIPE SHALL BE MULTIPLE COATS OF HEAVY DUTY COAL TAR BASE COATING BUILT UP TO 30 MILS TOTAL DRY THICKNESS AND APPLIED IN ACCORDANCE WITH THE COATING MANUFACTURER'S RECOMMENDATIONS.
- EACH SPACER SHALL BE 12 INCHES WIDE AND MANUFACTURED OF MINIMUM 14 GAUGE TYPE 304 STAINLESS STEEL OR 14 GAUGE STEEL WITH FUSION BONDED BYC COATING: SPACERS SHALL BE LINED WITH A 90 MILL BYC LINER. ALL NUTS AND BOLTS SHALL BE T-304 STAINLESS STEEL. EACH SPACER SHALL HAVE A MINIMUM OF 4 RUNNER SUPPORTS MANUFACTURED OF A HIGH MOLECULAR WEIGHT POLYMER PLASTIC. THE RUNNER SUPPORTS SHALL BE T304 STAINLESS STEEL, MINIMUM 10 GAUGE, OF ADEQUATE HEIGHT TO POSITION THE CARRIER PIPE IN THE CENTER OF CASING WITH A MINIMUM TOP CLEARANCE OF 0.5
- ADD ON SECTIONS OF CASING PIPE SHALL BE FULL-RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATER-TIGHT TOTAL PIPE-STRENGTH JOINTS. ALL WELDING OF STEEL PIPE SHALL BE DONE BY COMPETENT, EXPERIENCED WELDERS. WELDING SHALL BE PERFORMED IN ACCORDIANCE WITH AWWA C206.
- CASING PIPE WALL MINIMUM WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 24" = 0.250"; 30" = 0.312"; 36" = 0.375"; 42" AND 48" = 0.500", AT RAILROAD CROSSINGS, CASING PIPE WALL THICKNESS SHALL BE AS FOLLOWS: 16" THROUGH 18" = 0.250". 20" = 0.281", 24" = 0.312", 30" = 0.406", 36" = 0.469". UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS, THE MINIMUM CASING PIPE DIAMETER SHALL BE BASED ON THE SIZE OF THE CARRIER PIPE NOMINAL DIAMETER AS FOLLOWS: WHERE CARRIER IS 6", THEN MINIMUM CASING IS 18", WHERE CARRIER IS 8", THEN MINIMUM CASING IS 20"; WHERE CARRIER IS 10", THEN MINIMUM CASING IS 24", WHERE CARRIER IS 12" OR 16", THEN MINIMUM CASING IS 30"; WHERE CARRIER IS 20", THEN MINIMUM CASING IS 361.
- BORED INSTALLATIONS SHALL HAVE A HOLE DIAMETER WHICH SHALL NOT EXCEED THE O.D. OF THE CASING PIPE (INCLUDING COATING) BY MORE THAN ONE INCH. WHERE UNSTABLE SOIL CONDITIONS ARE FOUND TO EXIST, BORING OPERATIONS SHALL BE CONDUCTED IN SUCH MANNER AS NOT TO BE DETRIMENTAL TO THE FACILITY BEING CROSSED, IF EXCESSIVE VOIDS OR TOO. LARGE A BORED HOLE RESULTS, OR IT IS NECESSARY TO ABANDON A BORED HOLE, PROMPT REMEDIAL MEASURES SHALL BE TAKEN BY THE CONTRACTOR, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CONTROLLING AGENCY OF THE FACILITY
- 6 CORRECT LINE AND GRADE SHALL BE MAINTAINED. ADD ON SECTIONS OF CASING PIPE SHALL BE FULL RING WELDED TO THE PRECEDING LENGTH, DEVELOPING WATERTIGHT TO TAL PIPE STRENGTH JOINTS. FOLLOWING PLACEMENT OF THE CARRIER PIPE, MASONRY PLUGS SHALL BE INSTALLED AT EACH OPEN END, WITH A WEEP HOLE INSTALLED NEAR THE BOTTOM OF THE
- 7 UNLESS OTHERWISE SHOWN ON THE PLANS, INSTALL CASING AT MINIMUM OF 36-INCH COVER.
- 18. CARRIER PIPES INSIDE OF STEEL CASING PIPE SHALL BE SUPPORTED BY CASING SPACERS. CARRIER PIPE JOINTS INSIDE OF STEEL CASING PIPE SHALL BE RESTRAINED.
- 9. SPACERS ALONG DUCTILE IRON CARRIER PIPE SHALL BE PLACED NO MORE THAN 2 FEET FROM THE END OF THE CASING, WITH SUBSEQUENT SPACER PLACEMENT AT INTERVALS OF NO MORE THAN 10 FEET.
- 10. SPACERS ALONG PVC CARRIER PIPE SHALL BE PLACED NEAR THE SPIGOT END OF EACH SEGMENT OF PIPE, WHEN THE JOINT IS COMPLETE, THE SPACER SHALL BE IN CONTACT WITH THE JOINT RESTRAINT ASSEMBLY SO THAT THE SPACER PUSHES THE RESTRAINT ASSEMBLY, SUBSEQUENT SPACER PLACEMENT ALONG BYC PIPE SHALL BE AT INTERVALS OF NO MORE THAN 6
- 11. THE USE OF WOOD SKIDS IN LIEU OF SPACERS IS NOT ALLOWED.
- 12. THE CARRIER MAY BE PUSHED OR PULLED (DEPENDING UP ON PIPING MATERIAL, JOINT TYPE AND METHOD OF PIPE SUPPORT). INTO THE CASING AS PIPE LENGTHS ARE ASSEMBLED. THE CARRIER SHALL BE ADEQUATELY BLOCKED ALL AROUND TO PREVENT ANY MOVEMENT AND TO ATTAIN THE SPECIFIED GRADE FOR GRAVITY LINES. THE PROPOSED METHOD OF CARRIER PIPE INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO STARTING THE CROSSING.



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This item has been digitally signed a sealed by WADE P. OLSZEWSKI, P. on the date adjacent to the seal. rinted copies of this document are r considered signed and sealed and the signature must be verified on any electronic copies.

4			Revision
			Date Revision

Checked: W. Olszewski

Date 6/05/23

Job No.: R9123

C 2023

GENE

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.

CPH Se le si Note s - Reil 1301

GENERAL:

- WHERE THESE NOTES CONFLICT WITH THE SPECIFICATIONS IN PART III OF THE MANUAL, PART III GOVERNS.
- TWO (2) COPIES OF THE SHOP DRAWINGS FOR MATERIALS NOT IN THE APPROVED MATERIALS MANUAL (STAMPED APPROVED BY THE ENGINEER) SHALL BE SUBMITTED TO SJCUD FOR REVIEW PRIOR TO SCHEDULING THE MANDATORY PRE-CONSTRUCTION CONFERENCE. THE INITIAL SHOP DRAWING REVIEW BY SJCUD WILL BE COMPLETED WITHIN FIFTEEN (15) BUSINESS DAYS, SUBSEQUENT SHOP DRAWING REVIEWS WILL BE COMPLETED WITHIN TEN (10) BUSINESS DAYS,
- 3. A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH THE DEVELOPER, THE ENGINEER OF RECORD, THE UTILITY CONTRACTOR, AND THE SJCUD PRIOR TO THE START OF ANY CONSTRUCTION. A PRE-CONSTRUCTION CONFERENCE WITH SJOUD IS REQUIRED REGARDLESS OF OTHER AGENCIES REQUIREMENTS.
- ALL WATER, SEWER, AND/OR REUSE CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES. A COPY OF THE CONTRACTOR'S GENERAL LICENSE AND/OR UNDERGROUND UTILITY LICENSE SHALL BE PROVIDED AT THE PRE-CONSTRUCTION CONFERENCE,
- 5. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO ANY EXCAVATING ACTIVITIES AND TAKE ALL MEASURES NECESSARY TO PROTECT UTILITIES DURING CONSTRUCTION. SHOULD ANY UTILITY LINE OR COMPONENT BECOME DAMAGED OR REQUIRE RELOCATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE AFFECTED UTILITY COMPANY, ENGINEER OF RECORD, COUNTY, AND SICUD.
- THE WATER, SEWER, AND/OR REUSE SYSTEM SHALL BE CONSTRUCTED ACCORDANCE WITH THE SIGUD APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY DEVIATION FROM THE APPROVED CONSTRUCTION DRAWINGS OR SPECIFICATIONS, WITHOUT PRIOR AUTHORIZATION AND CONSENT FROM THE SICUD, THE CONTRACTOR SHALL REMOVE THE DEVIATION AND RESTORE IT TO THE APPROVED CONSTRUCTION DRAWING CONFIGURATION AT NO EXPENSE TO THE SUCUD. ANY DEVIATIONS FROM THE APPROVED DOCUMENTS WILL DELAY THE COC SUBMITTAL PROCESS.
- . THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD AND SJCUD IMMEDIATELY.
- 10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED PER AVAILABLE MEANS WITHOUT EXCAVATION.
- 11. VERTICAL LOCATIONS OF ALL UTILITIES (EXCLUDING EXISTING STORM SEWERS) SHOWN ON PLAN AND PROFILE SHEETS HAVE BEEN REFERENCED TO A BENCH MARK SHOWN ON THE UTILITY PLANS. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION NEAR EXISTING UTILITIES SHOWN ON THE PLANS AND NOTIFY THE ENGINEER IF LOCATION DIFFERS FROM THAT SHOWN ON THE PLANS BEFORE CONTINUING WITH CONSTRUCTION.
- 12. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SJOUD PRIOR TO CONTINUING CONSTRUCTION.
- 13. THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC DURING CONSTRUCTION, THE CONTRACTOR SHALL RESTORE/REPLACE, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY DAMAGE DONE BY CONSTRUCTION
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS. ANY DAMAGE SHALL BE REPLACED/REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- 15. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM HIS OPERATION. FURNISHING AND COMPACTING SUITABLE REPLACEMENT BACKFILL MATERIAL SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- 17. UNSUITABLE MATERIALS UNDER WATER, SEWER, AND/OR REUSE MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY. BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE-FOOT (1) LIFTS. DENSITY TESTS SHALL BE TAKEN AFTER COMPACTION OF
- 18. THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, OR AS SPECIFIED BY THE UTILITY COMPANIES AND THE PERMITS OBTAINED FOR THE WORK
- 19. THE ENGINEER OF RECORD AND SJOUD SHALL BE GIVEN FIVE (5) BUSINESS DAYS NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEÁSURES

RELATED TO THE PROJECT,

- 20. ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT ST. JOHNS COUNTY STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS.
- 21 ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE MANUAL OF WATER, WASTEWATER, AND REUSE DESIGN STANDARDS & SPECIFICATIONS, ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, AND THE APPROVED
- 22. ALL UTILITY CROSSINGS SHALL COMPLY WITH FDEP REGULATIONS (CH. 62-555.314,
- 23. ANY LANDSCAPING TREES SHALL BE PLACED A MINIMUM OF 7.5 FEET AWAY FROM THE EDGE OF PIPELINE TO THE TREE CENTERLINE.
- 24. ALL ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA AND ST. JOHNS COUNTY UTILITIES STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED FOR NEW AND RELOCATED PIPES. THE BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE NEW AND RELOCATED PIPES AND TO A SUFFICIENT HEIGHT ABOVE SUCH PIPE TO ADEQUATELY SUPPORT AND PROTECT

ST. JOHNS COUNTY UTILITY DEPARTMENT (SJCUD) GENERAL NOTES

- 24. FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 16 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FDOT OR RAILROAD RIGHTS-OF-WAY. FOR MAINS 12 INCHES OR GREATER, THE MINIMUM AND MAXIMUM COVER SHALL BE 42 INCHES AND 54 INCHES, RESPECTIVELY. EXCEPTIONS WILL BE MADE FOR CONFLICTS.
- 25. WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY
- 26. FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER, ALL FITTINGS SHALL BE RESTRAINED PER THE RESTRAINED JOINT TABLE IN THE APPROVED PLAN SET.
- 27. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE IN ACCORDANCE WITH SUCUD DETAILS AND SPECIFICATIONS. ALL VALVES SHALL HAVE LOCATE MARKERS.
- 28. CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
- 29. CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SICUD PRIOR TO SCHEDULING THE FINAL INSPECTION.

NOTICE OF PROCEDURE:

- ALL COMMERCIAL BUILDING PERMITS AND METERS PROCESSED THROUGH SJCUD CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
- 2. ALL CONNECTIONS TO THE WATER, SEWER, AND/OR REUSE SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE WITH THE SJCUD. A SJCUD INSPECTOR MUST BE PRESENT PRIOR TO THE CONNECTION BEING MADE OR TESTING.
- 3. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
- 4. THE PROPERTY OWNER SHALL PURCHASE THE WATER METER THROUGH THE SJCUD ON PROJECTS THAT REQUIRE A WATER METER LARGER THAN ONE (1) INCH. THE OWNER'S CONTRACTOR SHALL INSTALL ALL METERS THREE (3) INCHES AND
- 5. WATER, SEWER, AND/OR REUSE UNIT CONNECTION FEES SHALL BE PAID IN FULL TIME OF BUILDING PERMIT APPLICATION.
- 6. ALL ON-SITE PRIVATE WATER, SEWER, AND/OR REUSE CONSTRUCTION BETWEEN THE METER AND BUILDING MAY BE INSPECTED BY THE SJCUD TO ENSURE
- 7. ALL REQUIREMENTS BY THE SJCUD (I.E. FINAL INSPECTION, CORRECTION OF PUNCH LIST ITEMS, "AS BUILTS", FDEP CERTIFICATION OF COMPLETION, ETC) MUST BE SATISFIED PRIOR OF ISSUANCE OF CERTIFICATES OF OCCUPANCY.

PRESSURE PIPE NOTES:

STANDARDS ARE MET.

- 1. POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 4" THROUGH 12" DIAMETER SHALL BE DR18, C900 PVC, WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS, DR11 C906 HDPE OR DR18, C900 FUSIBLE PVC (FPVC), POTABLE AND RECLAIMED WATERMAINS 4" THROUGH 12" DIAMETER SHALL BE DIP CLASS 350 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- 2. POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 16" THROUGH 36" DIAMETER SHALL BE DR25, C905 PVC WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS OR DR11, C906 HDPE OR DR25, C905 FPVC. POTABLE AND RECLAIMED WATERMAINS 16" THROUGH 36" DIAMETER SHALL BE DIP CLASS 250 WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS. FUSIBLE PVC SHALL NOT BE USED FOR HDD.
- 3. POTABLE AND RECLAIMED WATERMAINS LARGER THAN 36" DIAMETER SHALL BE DIP CLASS 250.
- 4. HDD UP TO 36" DIAMETER AND LESS THAN 300 FEET SHALL BE DR11, C906 HDPE. HDD UP TO 24" DIAMETER AND LONGER THAN 300 FEET SHALL BE DR9, C906 HDPE.
- 2" POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS SHALL BE DR9, HDPE (CTS).
- PIPE SHALL BE APPROPRIATELY COLOR CODED: BLUE-POTABLE WATER, GREEN-SEWER. AND PURPLE-RECLAIMED WATER.

POTABLE WATER SYSTEMS NOTES:

- 1. ALL CURB STOPS ARE TO BE BALL-TYPE WITH LOCKING CAPACITY T" MINIMUM.
- 2. A FULL UNCUT LENGTH OF WATERMAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
- 3. WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED, WITH THE APPROVAL OF THE ST. JOHNS COUNTY HEALTH DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED CONTAMINATION.
- 4. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED. UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED. CLEARED FOR SERVICE BY FDEP AND ACCEPTED FOR MAINTENANCE BY THE SJCUD.
- 2. JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO FILL OR FLUSH WATERMAINS
- 6. ALL NEW AND RELOCATED WATERMAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND SJCUD STANDARDS.
- 7. ALL NEW AND RELOCATED WATERMAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

- 8. ALL NEW AND RELOCATED WATERMAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605, LATEST EDITION.
- 9. ALL NEW AND RELOCATED WATERMAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.340, F.A.C.
- 10. ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND SUCUD STANDARDS.
- 11. THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS BUILT DRAWINGS. THE SAMPLE POINT NUMBERING AND STATIONING SHALL CORRESPOND TO THOSE ON THE BACTERIOLOGICAL SAMPLE CHAIN OF CUSTODY

WASTEWATER SYSTEM NOTES:

- 1. AN APPROVED INTERIOR LINER IS REQUIRED ON RECEIVING MANHOLES, PUMP STATION WETWELLS AND MANHOLES WITH THREE OR MORE INVERTS.
- 2. SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE,
- 3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJCUD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW
- 4. THE CONTRACTOR SHALL CONTACT SJCUD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

AS-BUILTS:

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
- 2. "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR CONTRACTOR SHALL EMPLOY THE SERVICES OF A SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO DETERMINE ALL "AS-BUILT" INFORMATION. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE UP TO SIX COPIES AND THE CAD FILE OF AS-BUILT DRAWINGS TO THE ENGINEER.
- 3. A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2) SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
- 4. THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE TO PLACE THE CONSTRUCTION INTO SERVICE WILL CLEARLY DEPICT THE VERTICAL CLEARANCES BETWEEN WATER, SEWER (INCLUDING STORM) AND REUSE LINES AT ALL CROSSING AND PARALLEL RUNS WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET. IN ADDITION, THE CENTERING OF UNCUT LENGTHS OF PIPE (USUALLY 20 FEET) AT POINTS OF CROSSINGS WILL BE DOCUMENTED ON THE DRAWINGS AND ALL MITIGATING CONSTRUCTION MEASURES CLEARLY DEPICTED IN CASES WHERE A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE BETWEEN THE WATER AND SEWER (INCLUDING STORM) LINES IS NOT POSSIBLE.
- 5. AFTER SJCUD HAS APPROVED PRELIMINARY "AS BUILT". THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJOUD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

STANDARD WATER/ SEWER/ RECLAIMED WATER SEPARATION STATEMENT:

THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC, BELOW THE CONTRACTOR SHALL NOTIFY SJCUD IN ANY INSTANCE WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE. 62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATERMAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW,

PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER. 1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET. BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATERMAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATERMAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER,

(D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE DUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE, HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN. OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER

ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE, ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATERMAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCEMAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART OF CHAPTER 62-610, F.A.C.

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS. RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS, NEW OR RELOCATED FIRE HYDRANTS WITH FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART OF CHAPTER 62-610. F.A.C.: AT OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN. OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6,002, F.A.C.

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

. USE OF PRESSURE—RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;

OR THE OTHER PIPELINE: OR

3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND

2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER."

HYDROSTATIC TESTING NOTES:

1. AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACKFILLED. THE NEWLY LAID PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS. THE ENGINEER AND THE SJCUD MUST BE NOTIFIED AT LEAST 72 HOURS BEFORE A TEST IS TO BE PERFORMED. TEST SHALL BE AS SET FORTH IN AWWA STANDARD C605. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED. THE TWO HOUR TEST PERIOD SHALL BEGIN WHEN ALL JOINTS HAVE BEEN DETERMINED TO BE WATER TIGHT. LEAKAGE SHALL BE LIMITED TO THAT ALLOWANCE SET FORTH IN SECTION 4 OF AWWA STANDARD C600 LATEST EDITION. HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF GUAGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.

PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE,

(3.) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.

A SEWER OR STORMWATER MANHOLE.

UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING

(5) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THESE REQUIREMENTS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION AND PROVIDE ALTERNATIVE CONSTRUCTION FEATURES THAT AFFORD A SIMILAR LEVEL OF RELIABILITY AND PUBLIC HEALTH PROTECTION. ACCEPTABLE ALTERNATIVE CONSTRUCTION FEATURES INCLUDE THE FOLLOWING:

2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN

(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALL

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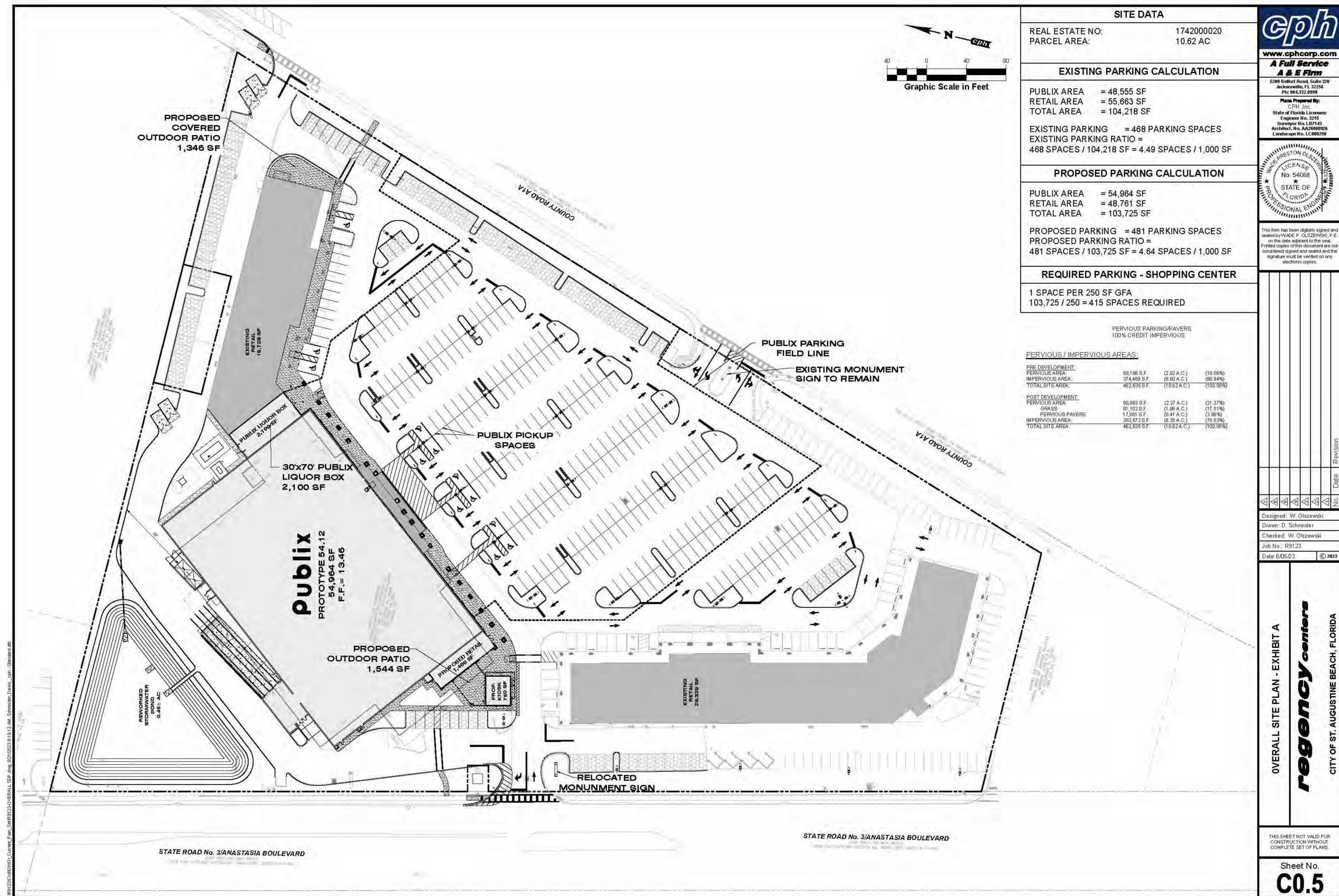
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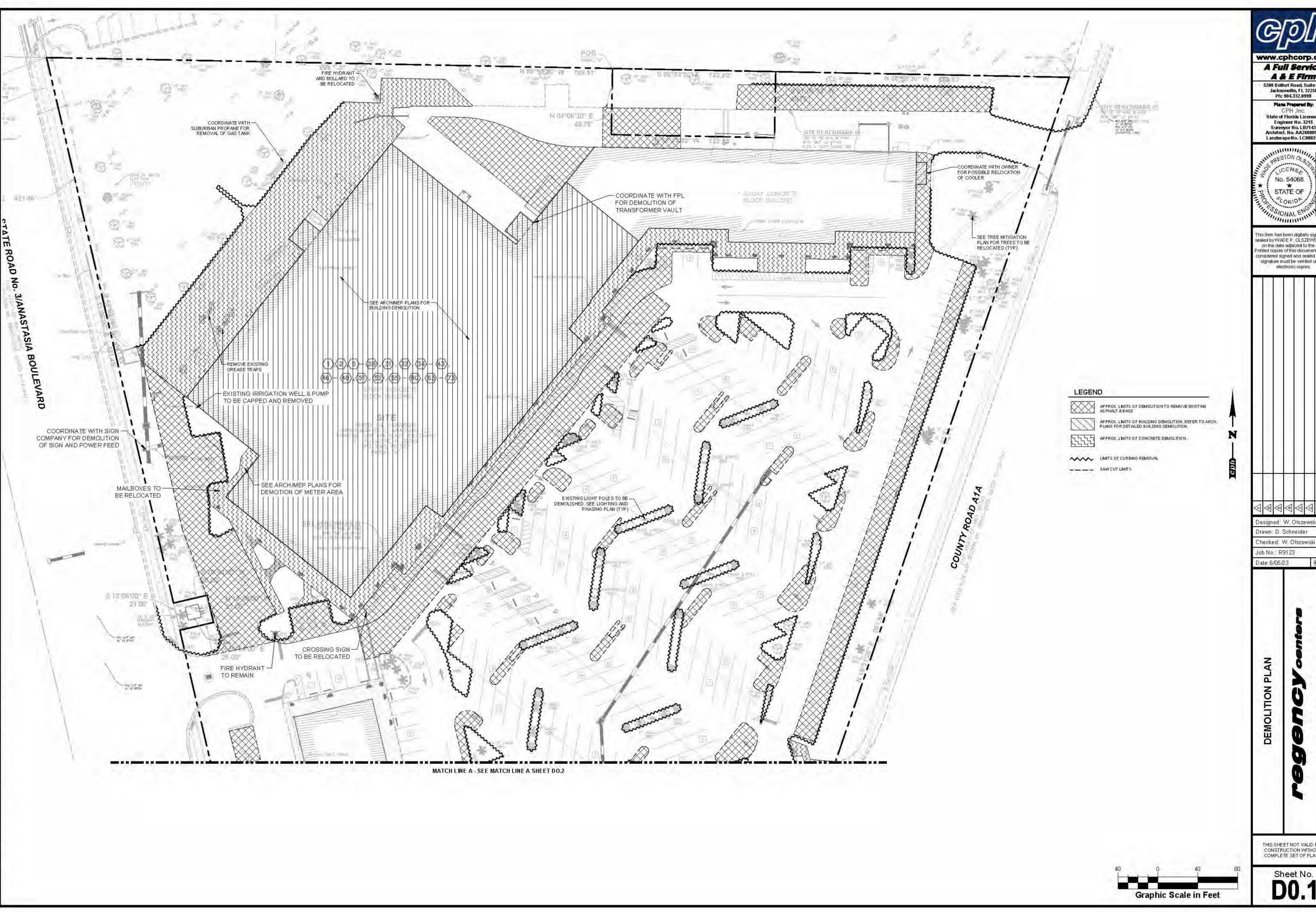
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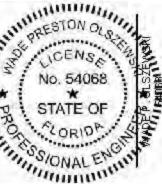




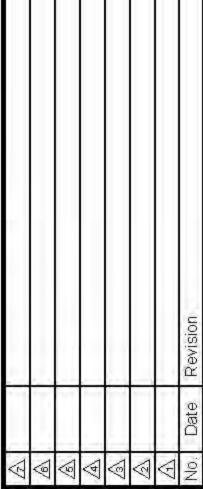
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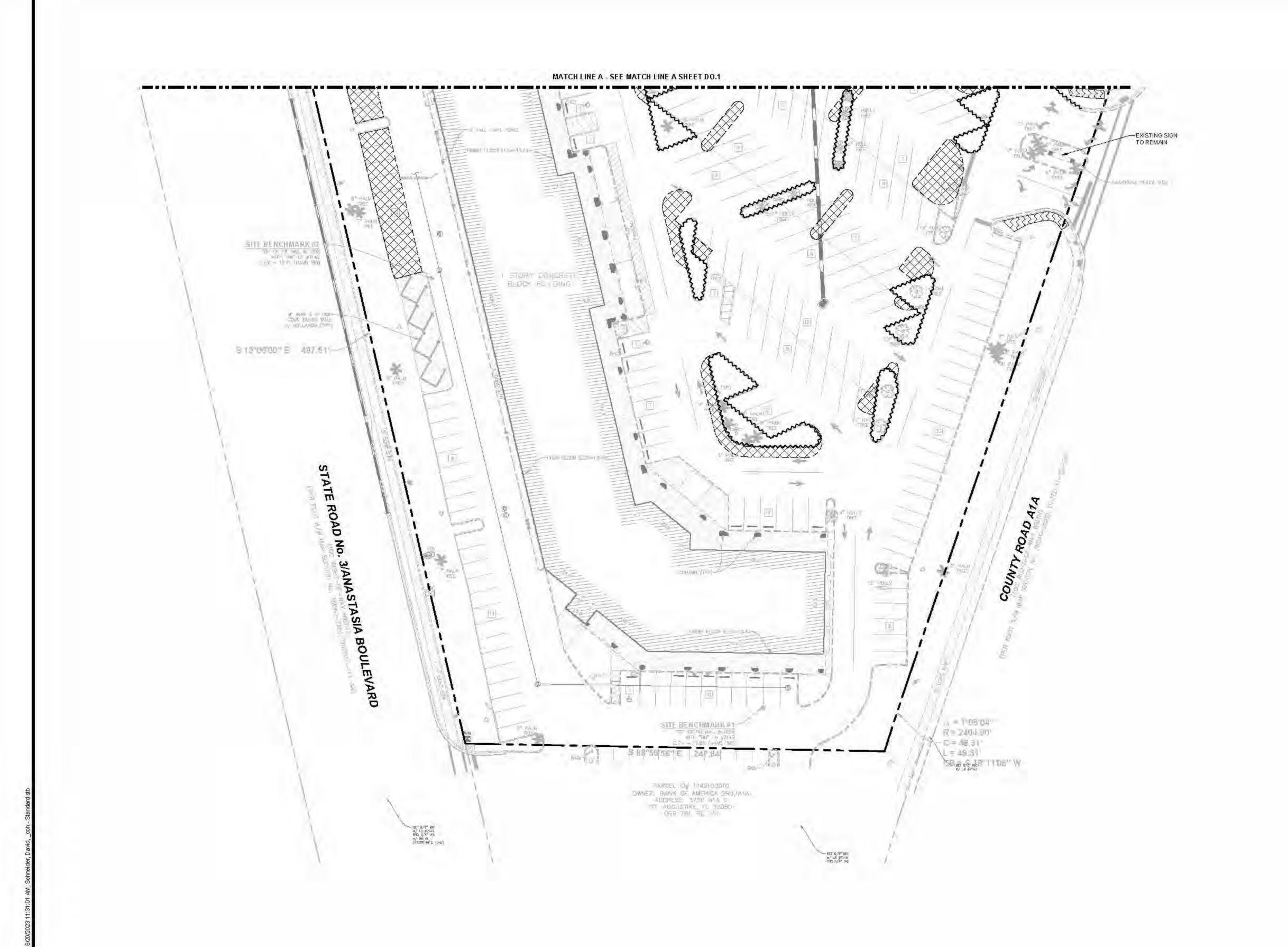


Designed: W. Olszewski Drawn: D. Schneider Checked: W. Olszewski

Date: 6/05/23

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APPROX. LIMITS OF DEMOLITION TO REMOVE EXISTING AS PHALT & BASE

APPROX. LIMITS OF BUILDING DEMOLITION. REFER TO ARCH. PLANS FOR DETAILED BUILDING DEMOLITION.

APPROX. LIMITS OF CONCRETE DEMOLITION.

APPROX. LIMITS OF MILLING AND RESURFACING.

LIMITS OF CURBING REMOVAL

SAW CUT LIMITS

DEMOLITION NOTES

- 1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
- CHAPTER 553,851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
- 3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES
- THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A
 BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
- THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S
 CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS
 REQUIRED.

AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.

- A. DEMOLITION AND REMOVAL OF EXISTING CONC. BLOCK BUILDING
 B. DEMOLITION AND REMOVAL OF EXISTING ON SITE AS PHALT, CONCRETE PAYING AND CURBING TO LIMITS SHOWN
- LIMITS SHOWN.

 C. REMOVAL OF EXISTING ONSITE ABOVE GROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL AND/OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
- PRIOR TO REMOVAL OF ANY UNDERGROUND SEWAGE TANK AND COMPONENTS FROM SERVICE, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL AT AN APPROVED LOCATION AND IN ACCORDANCE WITH LOCAL & STATE REQUIREMENTS.
- 7. ALL ON SITE UNDERGROUND STRUCTURES AND PIPING MUST BE COMPLETELY REMOVED AND OVEREX CAVATED BY A MINMUM OF 12" BENEATH THE STRUCTURES. CONTRACTOR SHALL USE APPROVED FILLING MATERIAL FOR FILLING THESE AREAS. FILL SHALL BE OF CLEAN, FINE SAND AASHTO CLASS A-3 AND SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8" IN THICKNESS AND COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).
- 8. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE. DEMOLISH COMPLETELY ON THE PREMISES.
- 9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
- 10. ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION, ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 11. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN AMANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS. STREETS AND SIDEWALKS SHALL NOT BE BLOCKED BY DEBRIS AND EQUIPMENT.
- 12. AIR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR WORK.
- 13. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING THE DEMOLITION/EX CAVATION PROCESS.
- 14. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLYWITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
- 15. PAVEMENT REMOVA
- A WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUTTHE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCETO THE REMAINING ADJACENT SURFACING. IF CONSTRUCTION RESULTS IN RAVELING OF THE SAW CUT SURFACE, RECUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
- B. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPE, INLETS. MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, ETC., SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL, CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
- 16. CONTINUOUS ACCESS SHALL BEMAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- 17. PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DBMOLITION FROM RESPONSIBLE REGULATORY AGENCIES AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK,
- 18. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS: ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
- 19. PRIOR TO DEMOLITION OCCURRING, ALL'EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 20. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK.
 ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING PLANTS IS TO BE CONDUCTED BY THE
 LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK CONTRACTOR TO
 COORDINATE DEMOLITION ACTIVITIES WITH THE LANDS CAPE CONTRACTOR. THE CONTRACTOR IS
 RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED BY THE OWNER.
- 21. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITY TO THAT AREA DELINEATED IN THE DRAWING. ALL OTHER EXIST, UTILITIES INCLUDING: STORM DRAINAGE, GAS, ELECTRIC, TELEPHONE, WATER & SEWER SHALL BE PRESERVED & PROTECTED.
- 22. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THIS SHEET BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND



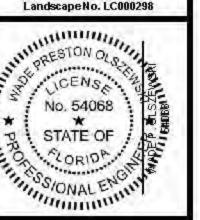
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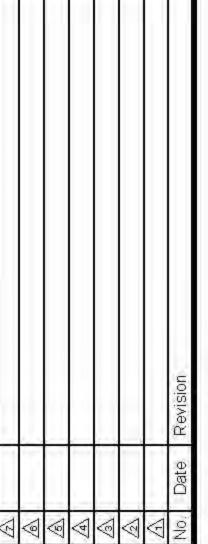
Jacksonville, FL 32256

Ph: 904.332.0999

Plans Prepared By:
CPH ,Inc.
State of Florida Licenses:
Engineer No. 3215
Surveyor No. LB7143
Architect, No. AA26000926



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Designed: W. Olszewski Drawn: D. Schneider

Checked: W. Olszewski

Job No.: R9123 Date: 6/05/23 © 2023

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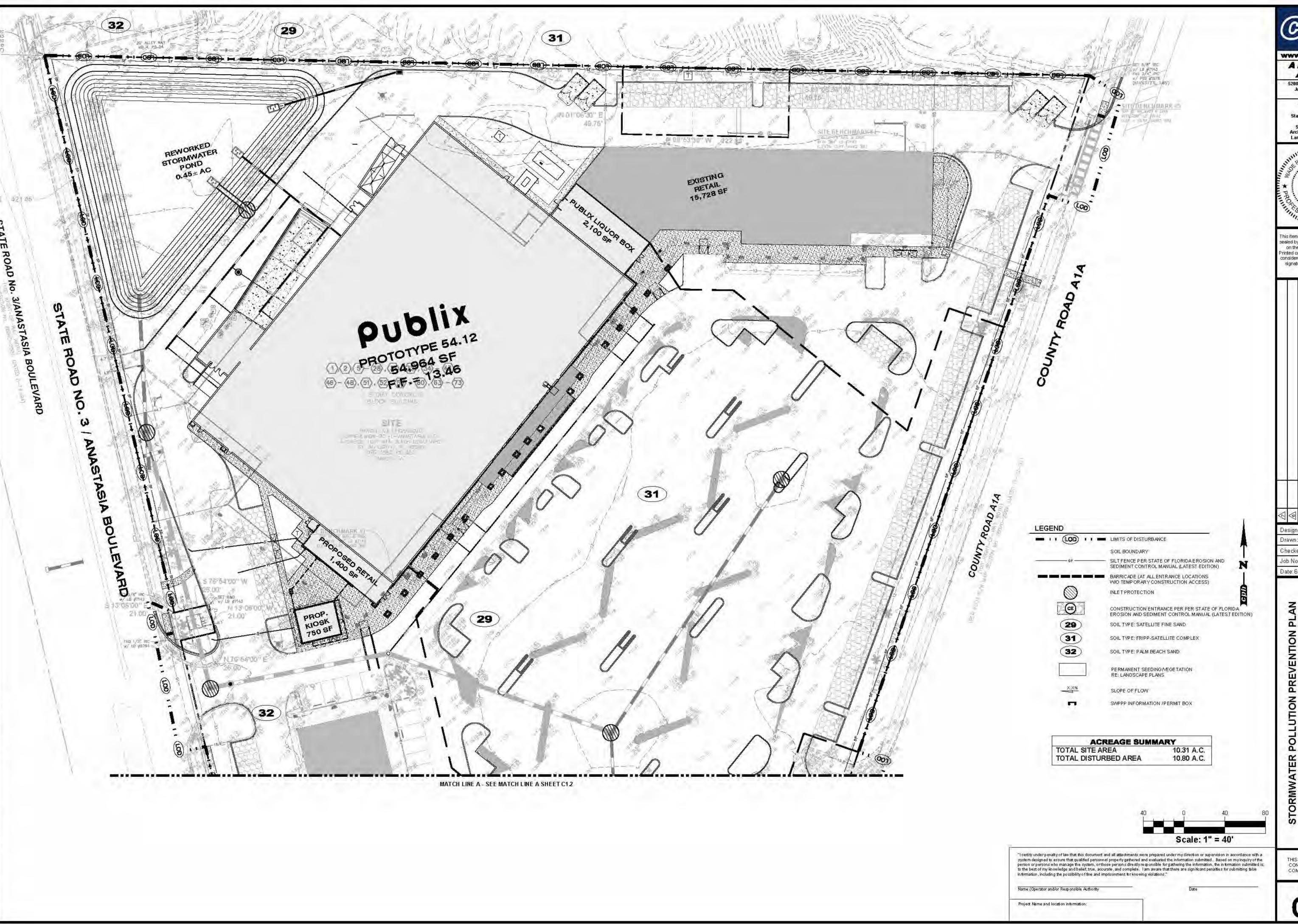
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Graphic Scale in Feet



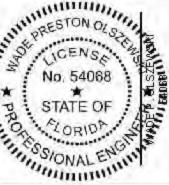


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5200 Belfort Road, Suite 220 Jacksonville, FL 32256 Ph; 904.332.0999 Plans Prepared By:

State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect. No. AA26000926 Landscape No. LC000298



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Designed: W. Olszewski
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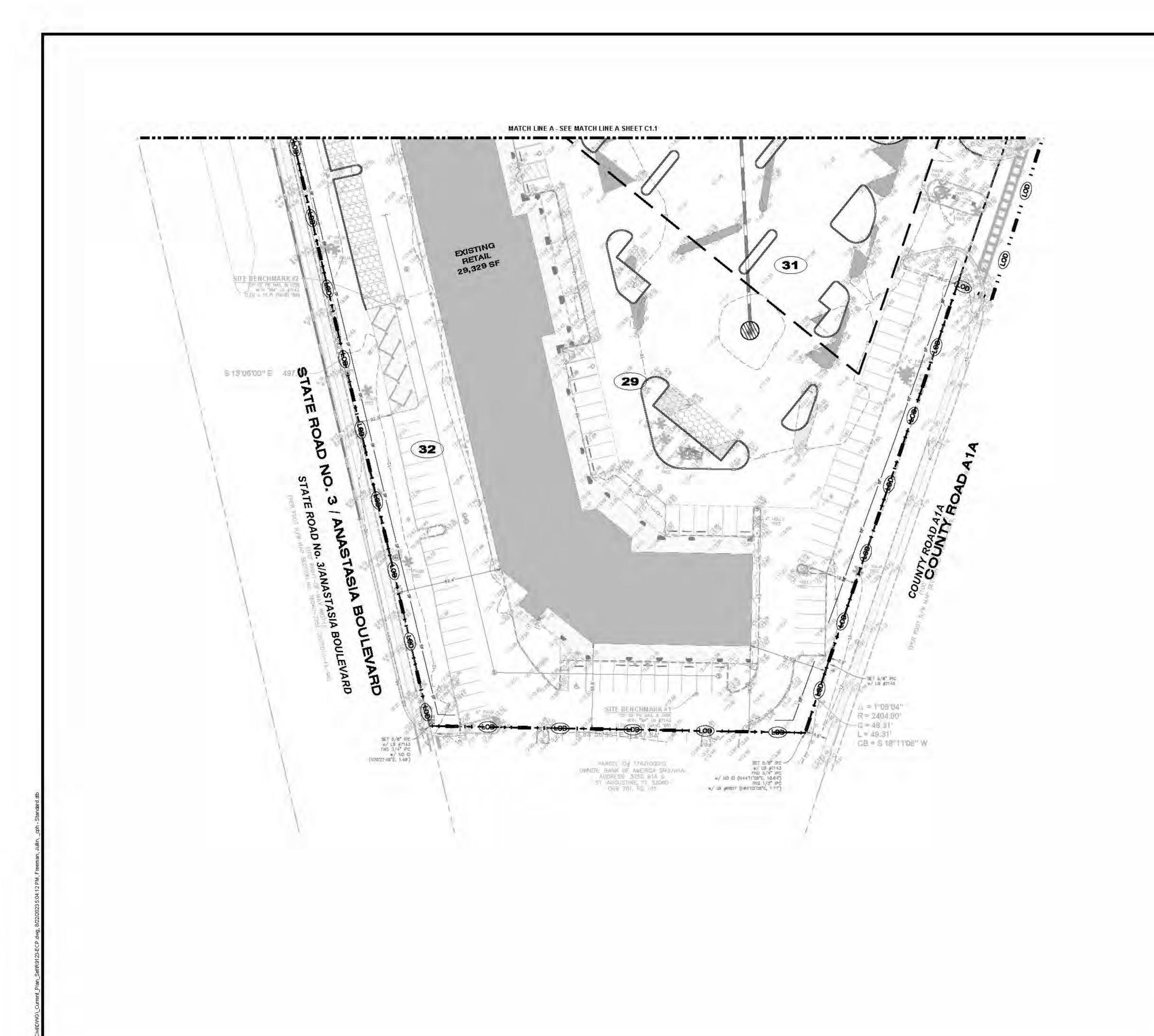
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LEGEND

■ I LOD I I ■ UMITS OF DISTURBANCE

SOIL BOUNDARY

— SF — SILT FENCE PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)

BARRICADE (AT ALL ENTRANCE LOCATIONS W/O TEMPORARY CONSTRUCTION ACCESS)

INLET PROTECTION

CONSTRUCTION ENTRANCE PER PER STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL (LATEST EDITION)

SOIL TYPE: SATELLITE FINE SAND SOIL TYPE: FRIPP-SATELLITE COMPLEX

PERMANENT SEEDING//EGETATION

RE: LANDSCAPE PLANS

SOIL TYPE: PALM BEACH SAND

SLOPE OF FLOW

SWPPP INFORMATION / PERMIT BOX

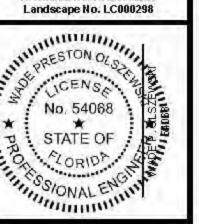
ACREAGE SUMMARY TOTAL SITE AREA 10.31 A.C. TOTAL DISTURBED AREA 10.80 A.C.

www.cphcorp.com A Full Service

Jacksonville, FL 32256

A & E Firm 5200 Belfort Road, Suite 220

Ph: 904.332.0999 Plans Prepared By: CPH Inc. State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect. No. AA26000926



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Drawn: D. Schneider Checked: W. Olszewski

Job No.: R9123 Date: 6/05/23

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STORMWATER POLLUTION PREVENTION PLAN

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.

Scale: 1" = 40" "I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false

Name (Operator and/or Responsible Authority

in formation, including the possibility of fine and imprisonment for knowing violations."

Project Name and location information:

STORMWATER POLLUTION PREVENTION NOTES THESE PLANS HAVE BEEN PREPARED TO ASSIST THE CONTRACTOR IN OBTAINING COVERAGE UNDER THE FOEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PERMIT REQUIREMENTS AND MODIFY THESE A STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PLANS AS NEEDED TO BE IN COMPLIANCE WITH THE PERMIT REQUIREMENTS. THE SITE IS LOCATED AT 2100 SADLER SQUARE, IN THE CITY OF FERNANDINA BEACH, FLORIDA 9. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE SECTION 29, TOWNSHIP 3 NORTH, RANGE 28 EAST LATITUDE: 30°38'20.02"N LONGITUDE: 81 26'52,65"W B. SITE CONDITIONS & ACTIVITIES NARRATIVE: THE EXISTING CONDITION OF THE SITE IS DEVELOPED. DURING CONSTRUCTION THE SITE WILL BE DISTURBED BUT REMAIN AT RELATIVELY THE SAME GRADE. C. ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALLBE SODDED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED. THIS PROJECT WILL HAVE NO MAJOR EFFECT ON ANY THE ABUTTING PROPERTIES. WETLANDS/BUFFERS NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IN THE INTENT OF THIS SWPPP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE RELEASE OF SOILS, TRASH, CHEMICALS, TOXINS 8. AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALLBE VEGETATED. AND OTHER POLLUTANTS, BY WATER , AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORM WATER QUALITY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON-SITE FOR FUTURE REFERENCE. THE CONTRACTOR SHALL READ AND UNDERSTAND THE FERMIT, AND AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING ENSURE THAT THE BMP'S ARE INSTALLED AND THE EXECUTION OF THE WORK IS PERFORMED TO MEET THE INTENT OF THE GENERIC PERMIT AND THE SWPPP. WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. THE POTENTIAL'S OURCES OF POLLUTION THAT MAY REAS ONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIMITY INCLUDE; SEDIMENT, RESTICIDES, FERTILIZER, PLASTER, CLEANING SOLVENTS, ASPHALT, CONCRETE, GLUE, ADHESIVES, PAINTS, CURING COMPIDUNDS, WOOD PRESERVATIVES, HYDRAULIC DIL FLUIDS, 6 ASOLINE, DIESEL FUEL AND KEROSENE. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT SEQUENCE OF CONSTRUCTION THE SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR SHALL SEQUENCE THE CONSTRUCTION AS THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, DILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC NEEDED BASED ON BEST MEANS AND METHODS IN ORDER TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS, THE INSTALLATION OR REMOVAL OF BMPS, EARTH DISTURBANCE, GRADING, TEMPORARY STABILIZATION AND PERMANENT STABILIZATION SHALL BE IMMEDIATELY NOTED IN THE SWPPP IMPLEMENTATION LOG. ALL TEMPORARY BMPS SHALL BE REPAIRED AND MAINTAINED UNTIL STABILIZATION HAS OCCURRED AND THERE IS NO RISK OF DISCHARGE EMPORABILY SEED, IMMEDIATELY AND THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE. C. THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS POST A COPY OF THE NOURE LETTER FROM FORE CONFIRMING COVERAGE UNDER THE GENERIC PERMIT, AND THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS INSTALL PERMETER CONTROLS IMMEDIATELY DOWNSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXT INSTALL STABILIZED CONSTRUCTION EXIT. D. THE CONTRACTOR SHALL PROVIDE ADEQUATE SANDARY FACILITIES FOR SITE PERSONNEL MAINTAIN THROUGHOUT CONSTRUCTION INSTALL PERMITER CONTROLS. THE CONTRACTOR SHALL INSTALL THE REMAINING BMPS AS SHOWN AND AS REQUIRED TO MEET PERMIT REQUIREMENTS. SOME BMP INSTALLATIONS MAY NOT BE POSSIBLE AT THE BEGINNING OF THE PROJECT BUT MUST BE INSTALLED AS SOON AS POSSIBLE TO ENSURE COMPLIANCE. INSTALL TEMPORARY STAGING AND STORAGE AREAS. E. A SPILL BONTROL AND CONTAINMENT KIT (CONTAINING FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAMDUST. CONSTRUCT AND STABILIZE THE SEDIMENT BASINS AND SEDIMENT TRAPS WITH APPROPRIATE OUTFALL STRUCTURES, IF REQUIRED CONSTRUCT AND STABILIZE HYDRAULIC CONTROLS (DITCHES, SWALES, DIKES, CHECK DAMS, ETC.); IF REQUIRED. BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE. BEGIN CONSTRUCTION OF SITE IMPROVEMENTS PAVE SITE AND STABILIZE PER PLAN. . REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS ACHIEVED FINAL STABILIZATION. SUBMIT NOTICE OF TERMINATION (NOT) ONCE ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED PER PLAN. WHEN A SPILL OF REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE THE CONTRACTOR SHALL OF EARLIP ALL SPILLED MATERIALS A IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION. ACTIVITIES" (DEP FORM 62-621 300(4)(B) OR LATEST MERSION) TO FDEP TO THE FOLLOWING ADDRESS OR THROUGH THE FDEP ON LINE SYSTEM AT LEAST TWO (2) DAYS BEFORE COMMENCEMENT OF CONSTRUCTION: MATERIALS MANAGEMENT, AND EQUIPMENT STAGING AND MAINTENANCE NPDES STORMWATER NOTICES CENTER, MS #2610 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA A EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM THE CONTRACTOR SHALLS UBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURB ED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED), TEMPORARY BMPS HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIMITY FROM THE SITE AUTHORIZED BY THE PERMIT HAVE BEEN ELIMINATED AN ENVIRONMENTAL RESOURCE PERMIT IS REQUIRED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE THE PERMIT INFORMATION ON THE NOI APPLICATION. MS4 OPERATOR NAME (IF ANY); XXXXX C. THE CONTRACTOR SHALL ENSURE THAT ALL TOXIC / HAZARDOUS SUBSTANCES AND CHEMICALS ARE PROPERLY STORED, OUT OF THE THE CONTRACTOR SHALL PROMDE A COPY OF THE NOLAND SUBSEQUENT NOT OR THE ACKNOWLEDGEMENT LETTERS FOR THE NOLOR NOT TO THE MS4 WITHIN 7 DAYS OF RECEIPT. THE CONTRACTOR SHALL ALSO COORDINATE WITH THEMS4 TO ENSURETHAT ALL SPECIFIC REQUIREMENTS ARE MET. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES, SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS. D. THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, EQUIPMENT, DEBRIS, WASTE, TRAILERS, AND OTHER SUPPORT RELATED. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY, WHILE THE MARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING: IN GENERAL EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LO CATION. I. NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION III. PERMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED D, CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER, GENERAL ROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZES OIL EROSION AND OFF-SITE SEDIMENTATION. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BESITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY. E. THE CONTRACTOR SHALL FURNISH, INSTALL PER THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY TEMPORARY BMPS. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT BMPS. F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMPS AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC NEDES PERMIT AND THE SWPPP FOR (ID ADDITIONAL COMPENSATION). THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER PRIOR TO ADJUSTING, ADDING OR MODIFYING BMPS THAT AFFEC THE HYDRAULICS OF THE SITE OR BEFORE ADDING BMPS NOT DETAILED IN THE SWIPPP. G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SILTING ANY ADJACENT LOWLAND PARCEL OR RECEIVING WATER. H. EROSION AND SEDMENT CONTROL MEASURES ARETO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT, ADDITIONAL EROSION CONTROL MEASURES. MAY BE REQUIRED DEPENDENT UP ON THE STAGE OF CONSTRUCTION, THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DEEMED NECESSARY AS A RESULT OF ONSITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR THE APPLICABLE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES (IF

NEEDED) SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY LIGGESTED BEST MANAGEMENT PRACTICES (BMPS). THE CONTRACTOR SHALL PROVIDE FOLLUTION PREVENTION AND EROSION CONTROL MEASURES AS

TO ASSURE THAT THE STORMWATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE APPLICABLE

SPECIFIED IN FOOT INDEXES #100 THROUGH #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY

THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN. WHENEVER ANY OF THE FOLLOWING EVENTS OCCUR, THE CONTRACTOR SHALL UPDATE THE SWPPP WITHIN 7 DAYS:

THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCE THAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE FROM THE PROJECT

IV. AN INSPECTION REVEALS THAT BMPS ARE INEFFECTIVE AT ELIMINATING OR MINIMIZING POLLUTANTS IN THE STORMWATER DISCHARGED FROM THE SITE.

VI. A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO OR GREATER THAN A REPORTABLE QUANTITY OCCURS DURING A 24-HOUR

THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING SWPPP CONTROL MEASURES FILL

K, THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE INCLUDING IN THIS SWPPP FRIOR TO PROCEEDING WITH THE INSTALLATION OF

BMPS AND PRIOR TO GROUND DISTURBING ACTIVITIES. THE CONTRACTOR SHALL COMPLETE THE TABLE WITH ANTICIPATED DATES IN WHICH THE BMP WILL BE

OFFSITE VEHICLE TRACKING A THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION EXIT IS USED BY ALL VEHICLES AND EQUIPMENT ENTERING OR LEAWING. THE JOBSITE. THE CONTRACTOR SHALL MONITOR AND MAINTAIN THE CONSTRUCTION EXIT TO ENSURE THAT NO SOILS ARE TRACKED DEFISITE BY TIRES OR TRACKS, AND THAT NO SOILS ARE SPILLED BY TRUCKS OR EQUIPMENT LEAVING THE SITE. ALL TRACKED OR SPILLED SOILS SHALL BE SHOVELED OR SWEPT FROM THE ROADWAY AND RETURNED TO THE SITE. WATER SHALL NOT BE USED TO CLEAN THE SOILS FROM THE ROADWAY UNLESS THE WATER AND SOILS ARE RECOVERED BY THE USE OF A VACUUM TRUCK OR SIMILAR DEVICE FERTILIZERS, HERBICIDES AND PESTICIDES A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE USED IN SUCH AMANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER INITRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN MEGETATION.

TEMPORARILY OR PERMANENTLY CEASED AND WILL REMAIN UNDISTURBED FOR 7 DAYS OR MORE. STABILIZE BY COVERING WITH

ADEQUATE AMOUNTS OF MULCH OVER SEED AND PERIODICALLY WATER TO PROMOTE AND MAINTAIN GROWTH OF THE TEMPORARY

COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA

STORMWATER OR LEAVE THE PERMITTED AREA, AND DISPOSED OF PROPERLY IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND

SUBSTANCES ARE PROPERLY MANAGED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL

REGULATIONS. THE CONTRACTOR SHALL ENSURE THAT WASTE IS NOT DISCHARGED FROM THE SITE, AND DOES NOT IMPACT

NOT DISCHARGED FROM THE SITE, AND DO NOT IMPACT STORMWATER OR GROUNDWATER. (E.G. CONCRETEMASONRY WASHOUT,

PAINT WASHOUT, EIFS, ETC.) THE CONTRACTOR SHALL CLEAN UP SPILLS PROMPTLY AND ENSURE THAT WASHOUT AREAS ARE

AND PROVIDE FOR PROPER DISPOSAL IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. SANITARY

ACID BASE NEUTRALIZING AGENT BROOMS DUST PANS MORS BAGS BLOWES BORGLES PLASTIC AND METAL TRASH CONTAINERS

A THE SPILL CONTROL AND CONTAINMENT KIT SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A

ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND IT'S LOCATION(S) SHALL BE IDENTIFIED WITH LEGIBLE SIGNAGEAND

SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS.

AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE

AUTHORITIES IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR

HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND

LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS

TO CONTAIN SPILLS OR DIL. GREASE, LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTOR SHALL HAVE AVAILABLE, AND SHALL

WEATHER, AND USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE

PRODUCTS ARE STORED AND USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR

ITEMS ARE CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE, THE CONTRACTOR SHALL ENSURE THAT THE STORAGE AND

ONTRACTORS SHALL PROVIDE BROAD DIKES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED

WATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCIRCLED WITH SEDIMENT CONTAINMENT DEVICES

MEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY

BROUNDCOVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.

PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACEAND ESTABLISHED.

NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

PROPERLY MAINTAINED TO PROVIDE ADEQUATE VOLUME TO PREVENT OVERFLOW.

SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWIPP

USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE

USE OF SUCH ITEMS DOES NOT NEGATIVELY IMPACT STORMWATER OR GROUNDWATER.

STORED ON THE SITE AT ANY GIVEN TIME

A THE CONTRACTOR SHALL INSPECT BMPS (I.E. DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERMETER CONTROLS, INLET PROTECTION, STABILIZATION, EROSION CONTROL, DOCUMENTATION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO ENSURE THAT BMPS ARE NOT CAUSING OR CONTRIBUTION TO MOLATIONS OF WATER QUALITY STANDARDS OR RESULTING IN OFFSITE SEDIMENTATION; ENSURE THAT BMPS ARE INSTALLED, MAINTAINED AND OPERATING CORRECTLY AND EFFECTIVELY; ENSURE THAT BMPS ASSOCIATED WITH STORAGE AND WASTE DISPOSAL AREAS ARE BEING USED AND MAINTAINED PROPERLY; ENSURE THAT THE CONSTRUCTION EXIT IS FUNCTION PROPERLY TO PREVENT OFFSITE TRACKING OF SEDMENT; ENSURE THAT EROSION PREVENTION MEASURES ARE MAINTAINED TO PREVENT MISIBLE EROSION OF DISTURBED AREAS AND SEDIMENTATION AT THE DISCHARGE POINTS; AND DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF BMPS. INSPECTIONS MUST BE COMPLETED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN 24 HOURS AFTER A RAINSTORM OF 0.50 INCHES OR GREATER EVEN IF IT RAINS ON THE WEEKEND OR A HOLIDAY O THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION USING THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM PROVIDED BY FDEP OR AN EQUIVALENT FORM.

INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND A RESPONSIBLE AUTHORITY AS DEFINED BY THE PERMIT INSPECTION REPORTS SHALL BE MAINTAINED WITH THE SWPPP. THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. ANY MAINTENANCE REPAIR AND NECESSARY REASONS TO BMP ITEMS SHALL BE ADDRESSED IN A TIMELY MANNER BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION OR IDENTIFICATION OF THE ISSUE. UNLESS OTHERWISE SPECIFIED. ACCUMULATED SEDMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE HALF OF THE CAPACITY OF THE CONTROL DEVICE.

HEIGENERIC PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBIT MOST NO NISTO RMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. CERTAIN DISCHARGES ARE ALLOWED BY THE PERMIT, PROVIDED APPROPRIATE BMP'S ARE UTILIZED AND THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. ALLOWABLE NON-STORMWATER DISCHARGES THAT DCCUR DURING CONSTRUCTION ON THIS PROJECT FER

FIRE HYDRANT FLUSHINGS. WATERS WITHOUT DETERGENTS USED TO SPRAYOFF LODGE SOLIDS FROM VEHICLES. WATERS USED TO CONTROL DUST POTABLE WATER SOURCES SUCH AS WATERLINE FLUSHINGS. LANDSCAPE IRRIGATION AND DRAINAGE.

PART 3.2 OF THE GENERIC PERMIT ARE:

DISCHARGES FROM FIRE FIGHTING ACTIMITIES.

ROUTINE EXTERNAL BUILDING WASHDOWN PROVIDED NO DETERGENTS ARE USED. PAMEMENT WAS HWATERS THAT DO NOT CONTAIN DETERGENTS, LEAKS, SPILLS OF TOXIC OR HAZARDOUS MATERIALS. AIR CONDITIONING CONDENSATE

FOUNDATION OR FOOTING DRAIN FLOWS THAT ARE NOT CONTAMINATED WITH PROCESS MATERIAL SUCH AS SOLVENTS. NONCONTAMINATED GROUND WATER ASSOCIATED WITH DEWATERING ACTIVITIES AS DESCRIBED IN PART 3.4 OF THE GENERIC

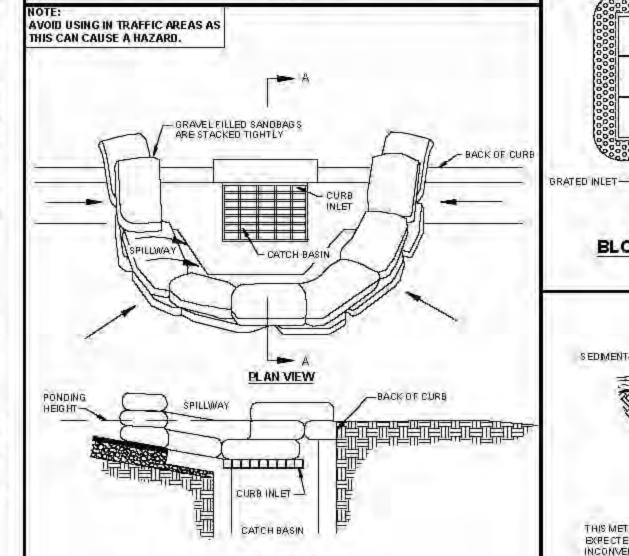
DRAIN GRATE DIKE IF NEEDEL -2" X 4" BRACE @ -2" X 4" VERTICAL 2"X4" PT B DX ALL-CENTER SUPPORT FACH CORNER (INSTALL TO ALLOW GRATE 2" X 4" TAP CON, 16" O. 3/16" X 2-3/4" (TYPICAL AI (RUN UNDER 2" X 4" SIDEST AND INSIDE FRAME AND GRATE STAPLE IT TO SAME RUN FILTER FABRIC UNDER GRATE& OVER STRUCTURE

SECTION A - A

1. DROP INLET SEDIMENT BARRIERS ARETO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5 %). 2. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BEWELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM YPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

. FASTEN FRAMING TO STRUCTURE TO ALLOW GRATE REMOVAL. 4: LEAVE EXPOSED EDGE TO ALLOW FOR PAVING TO GRADE

FILTER FABRIC INLET PROTECTION DETAIL



SECTION A-A 1. PLACE CURBITYPE SEDMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDMENT TO SEPARATE FROM RUNOFF.

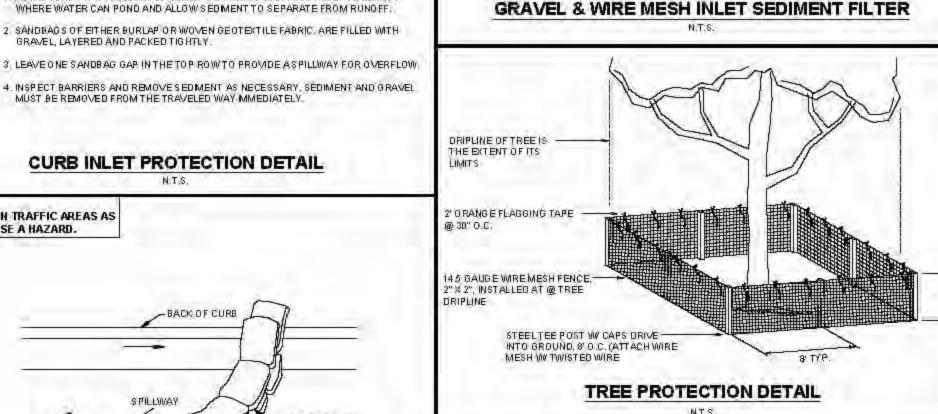
3. LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE AS PILLWAY FOR OVERFLOW 4. INSPECT BARRIERS AND REMOVE SEDIMENT AS NECESSARY, SEDIMENT AND GRAVEL JST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY

CURB INLET PROTECTION DETAIL

GRAVEL, LAYERED AND PACKED TIGHTLY

AVOID USING IN TRAFFIC AREAS A

THIS CAN CAUSE A HAZARD.



CONSTRUCTION SEQUENCING TABLE

THIS IS ONLY A GUIDE, CONTRACTOR IS TO USE HIS JUDGMENT TO MODIFY AS NEEDED.

ANTICIPATED CONSTRUCTION SEQUENCE"

CONSTRUCTION ENTRANCE

STORM FACILITIES

SITE CONSTRUCTION FINISH GRADING

TEMPORARY CONTROL MEASURES

ROUGH GRADE / SEDIMENT CONTROL

OUNDATION / BUILDING CONSTRUCTION

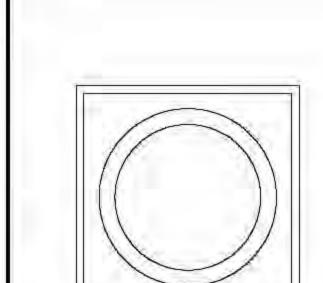
SPECIFIC APPLICATION

INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED ACRES.

* GRAVEL SHALL BE 2"3" CLEAN STONE

THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY CONCENTRATED FLOWS ARE

EXPECTED. BUT NOT WHERE PONDING AROUND THE STRUCTURE MIGHT CAUSE EXCESSIVE



CONTRACTOR

BEGIN DATE

Company Name, Address and

Phone Number

CONTRACTOR / SUBCONTRACTOR CERTIFICATION TABLE

THIS SWPPP MUST CLEARLY IDENTIFY, FOR EACH MEASURE IDENTIFIED WITHIN THE SWPPP, THE CONTRACTOR(S) OR SUBCONTRACTOR(S) WHO WILL IMPLEMENT EACH

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR

NOTE: CONTRACTOR TO ADD SHEETS TO CERTIFICATION TABLE AS NECESSARY

SWPPP IMPLEMENTATION LOG

NOTE: CONTRACTOR TO ADD SHEETS TO THE SWPPP IMPLEMENTATION LOG AS NECESSARY

FILTER FABRIC

PLACE CONCRETE BLOCKS IN A SINGLE ROW

HEIGHT OF BARRIER VARIES, USE STACKS OF

B. HEIGHT OF BARRIER 12" AND MAX. HEIGHT OF

NON-ERODIBLE MATERIAL SUCH AS LOOSE

ROCK, BROKEN CONCRETE THAT WILL SLOW

HEFLOW OF THE WATER AND ALLOW IT T

FILTER THROUGH AND OVER THEMATERIAL

-WIREMESH W/FILTER FABRI

4-INCH, 8-INCH, OR 12" BLOCKS, MIN.

4. THE SEDIMENT FILTER SHALL BE ANY

BEFORE ENTERING THE INLET.

OF CONCRETE BLOCKS,

GRAVEL (12" MIN. DEPTH)

BLOCK AND AGGREGATE INLET SEDIMENT FILTER

N.T.S.

AROUND PERMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING

24" PLACE FILTER FABRIC OVER VERTICAL FACE

- CONCRETE BLOCKS

LOCATION

A RECORD OF DIATES WHEN BMPS ARE INSTALLED OR REMOVED, STABILIZATION MEASURES ARE INITIATED, MAJOR GRADING ACTIVITIES OCCUR, AND CONSTRUCTION

ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE. THIS FORM MUST BE UPDATED CONTINUOUSLY THROUGHOUT THE PROJECT UNTIL THE

MEASURE. ALL CONTRACTOR(S) AND SUBCONTRACTOR(S) IDENTIFIED IN THE SWIPP MUST SIGN THE FOLLOWING CERTIFICATION:

Name / Signature

NOTICE OF TERMINATION (NOT) IS FILED.

AVOID USING IN TRAFFIC AREAS AS

FILTER FABRIC-

SEDMENT-

CONCRETE BLOCKS

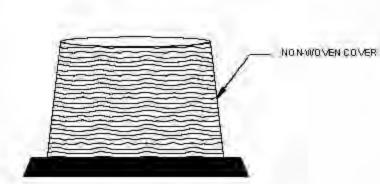
- SEDMENT FILTER

THIS CAN CAUSE A HAZARD.

DESCRIPTION OF ACTIVITY

STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN-

TOP VIEW



M'MIN. THICK HIGH DENSITY

SIDE VIEW

3. SLIDE THE COVER OVER THE FRAME.

4. FILL THE COVER POCKETS WITH SOIL, #57 GRAVEL OR EQUIVALENT. THE COVER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD. SEAL BETWEEN. THE GROUND AND INLET STRUCTURE.

DOMED INLET PROTECTION (PREFABRICATED)

Stormwater Team Company ontractor: Contractor's Responsible Qualified Inspector(s) The contractor shall complete this table identifying the individuals

the stormwater team and their responsibilities.

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A Fuli Service A & E Firm 5200 Befort Road, Suite 220

Date

END DATE

Jacksonville, FL 32256 Ph; 904,332,0999 Plana Prepared By: State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143

Architect, No. AA26000926

Landscape No. LC000298



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Designed: W. Olszewski Drawn: D. Schneider

Checked: W. Olszewski Job No.: R9123

Date: 6/05/23 © 2023

BASE OF FRAME SHAPED SIZED TO FIT INLET TOP

1. EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE. 2. PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURING PROPER SEATING OF FRAME TO STRUCTURE.

BACK FILL AROUND THE FRAME AND COVER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION; HOWEVER, BACKFILLING MAY BE NECES SARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

N.T.S.

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.

ARE A CONCERN. 4. INSPECT PER REGULATORY EQUIREMENTS. 5. THE WIDTH, "W", OF THE FILTER SACK SHALLMATCH THE INSIDE WIDTH OF THE GRATED INLET BOX. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX. EXTRA CARESHALL BE TAKEN TO ENSURE REGULAR MAINTENANCE OF FILTER

SACKS USED IN RIGHT OF WAY TO ENSURE ADEQUATE DRAINAGE CAPACITY. GRABTENSILESTR BIOTH ABITM 0-0532 DV RESISTANCE APPARENTOPEN NOSEE MODERATE TO HIGH FLOWIGED TEXTILE FABRIC SPECIFICATION TABLE PRO PERTIES TEST METHOD DOTS GRABITENSILESTRENGTH KETM D-63Z

JURISDICTIONAL AUTHORITIES.

I. THERE IS A NEW DISCHARGE POINT OUR OUTFALL.

UTILIZED OR THE ACTIMITY WILL OCCUR.

DISCHARGE OFF SITE.

CAN NO LONGER BE SEEN.

CONSTRUCTION COMPLETION.

III THERE IS A CHANGE IN THE LOCATION OF A DISCHARGE POINT OF OUTFAIL!

W. THERE IS A NEW SUBCONTRACTOR IMPLEMENTING ANY PORTION OF THE SWPPP

OUT THE CONTRACTOR / SUB CONTRACTOR CERTIFICATION TABLE INCLUDED IN THIS SWIPP P

A TURBIDITY REDUCTION TO NO MORE THAN 29 NTUs ABOVE BACKGROUND LEVEL PRIOR TO

B. CONTRACTOR TO FILEFOR A FDEP NOTICE OF INTENT (NO) WITHIN 14 DAYS OF

REMOVETRAPPED SEDMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT

PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS

GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR

EXCEPDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.

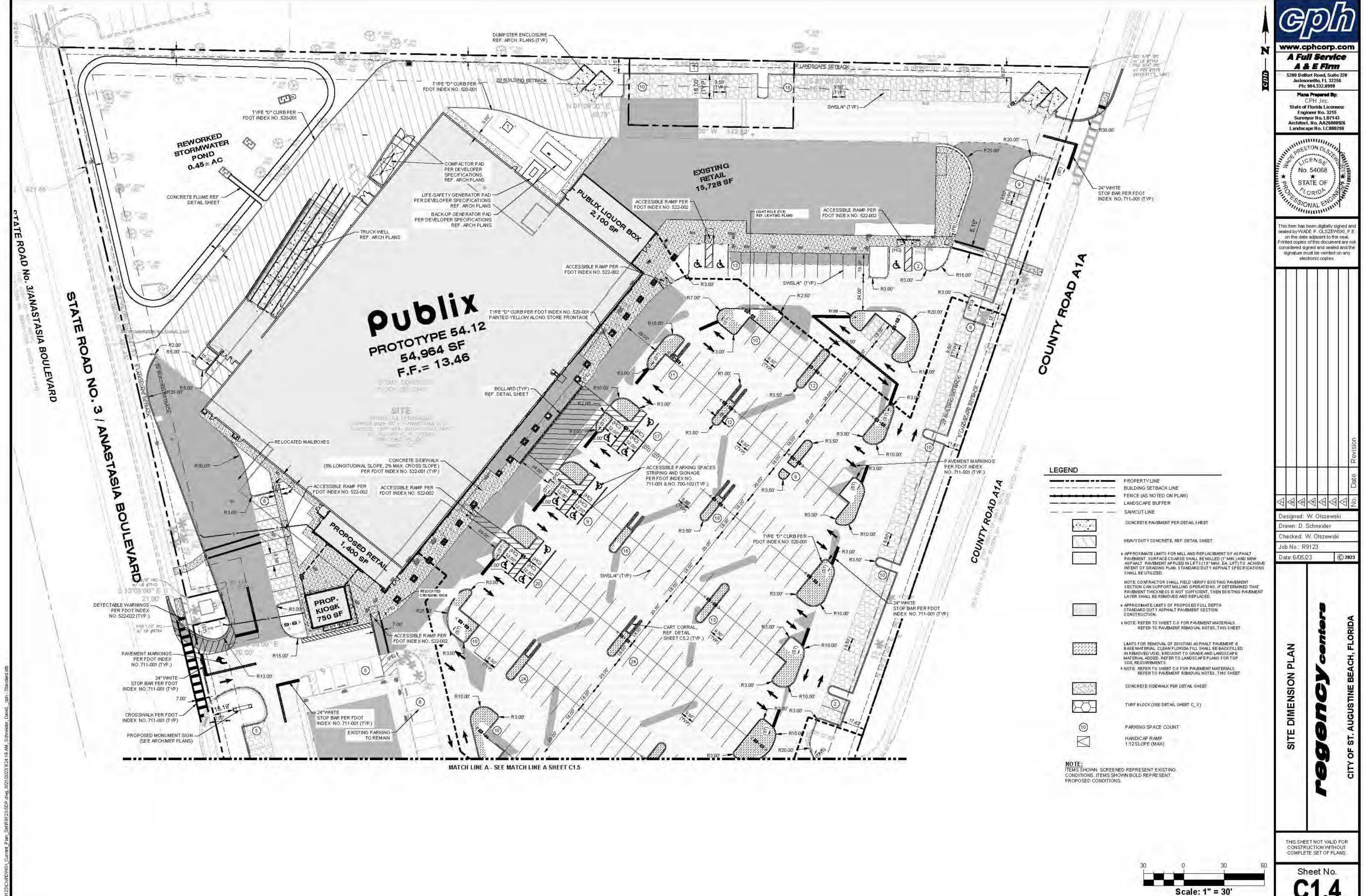
SECURE RECTANGULAR BAR TO OF GRADE UNDER SURROUNDING SURFACE, 2"X2"X3A" BLOCK (TYP) 1/4" BRIGHTLY COLORED NYLON ROPE EXPANSION RESTRAINT COLITION: BURGED INLET PROTECTION REQUIRES A DOITTO NA LIMA INTENANCE TO ENSURE THAT THE BMP FUNCTIONS ROPERLY AND DOES NOT CAUSE SECTION VIEW PROFILE MEW O GEOTEXTILE BAG INLET PROTECTION DETAIL

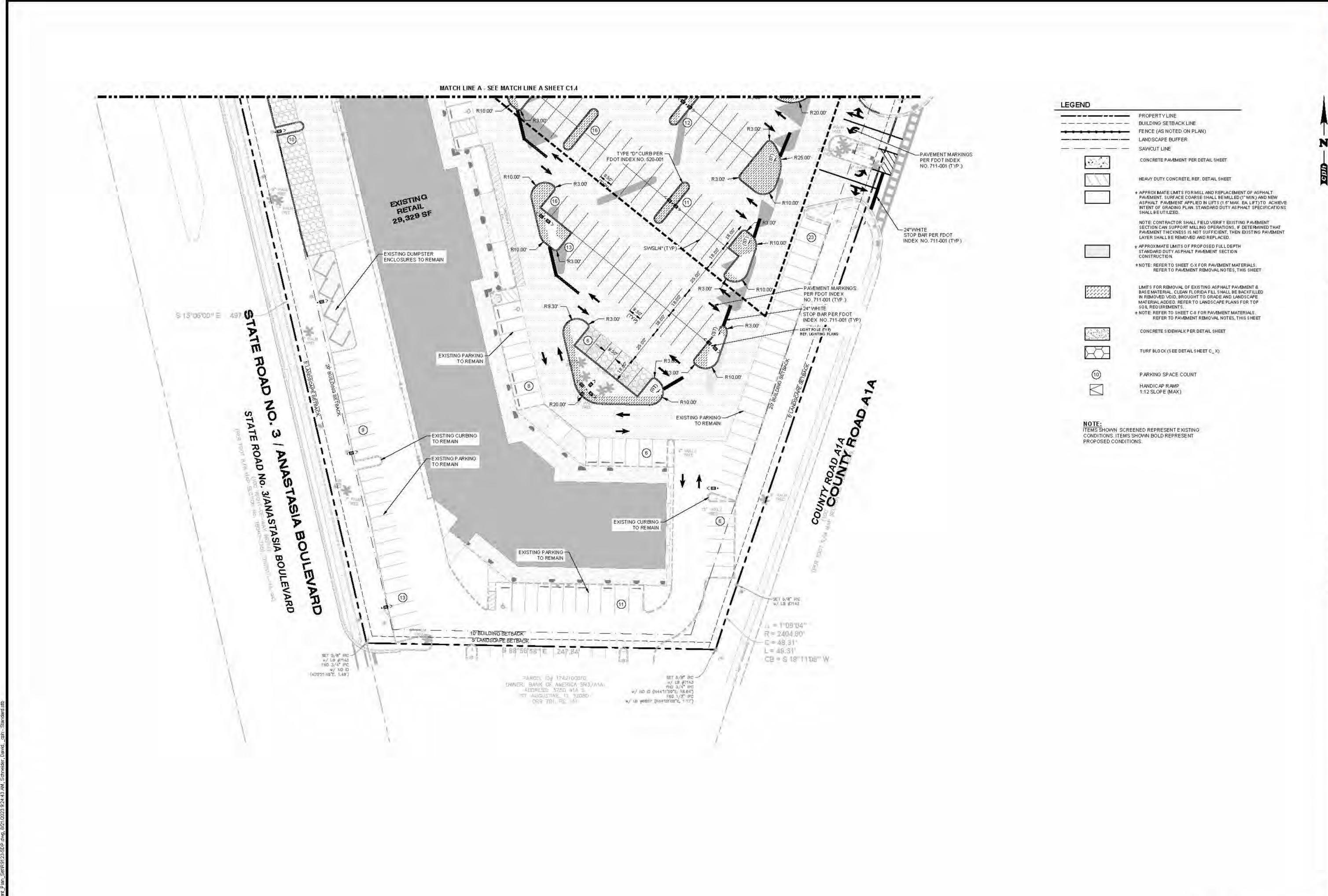
INLET GRATE LOOPS SIZED FOR 2'X1A' ECTANGULAR BAR, LIFT FILTER BAG FROM INLET USIN RECTANGULAR BAR FOR OVERFLOW HOLES GEOTEXTILE BAG -1/4" BRIGHTLY COLORED NYLON ROPE EXPANSION RESTRAINT LOOPS SIZED FOR 1" REBAR USE REBAR FOR A HANDLE TO EMPTY FILTER SACK AT A SEDMENT COLLECTION LO CATION.

ANDBAGS ARE 1. PLACE CURBITYPE SEDMENT BARRIERS ON GENTLY SLOPING STREET SEGMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF. 2. SANOBAGS OF EITHER BURLAF OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY. 3. TAPER TO ONE SANDBAG TO PROVIDE A SPILLWAY FOR OVERFLOW

4 INSPECT BARRIERS AND REMOVE SEDMENT AS NECESSARY SEDMENT AND GRAVEL MUST BERBYIO VED FROM THE TRAVELED WAY IMMEDIATELY.

CURB LINE PROTECTION DETAIL





Gp In

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Plane Prepared By: CPH ,Inc. State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect, No. AA26000926 Landscape No. LC000298

PRESTON OLS

ICENSA

No. 54068

STATE OF

CORIDA

SS/ONAL ENGINE

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Drawn: D. Schneider

Checked: W. Olszewski

Job No.: R9123 Date: 6/05/23

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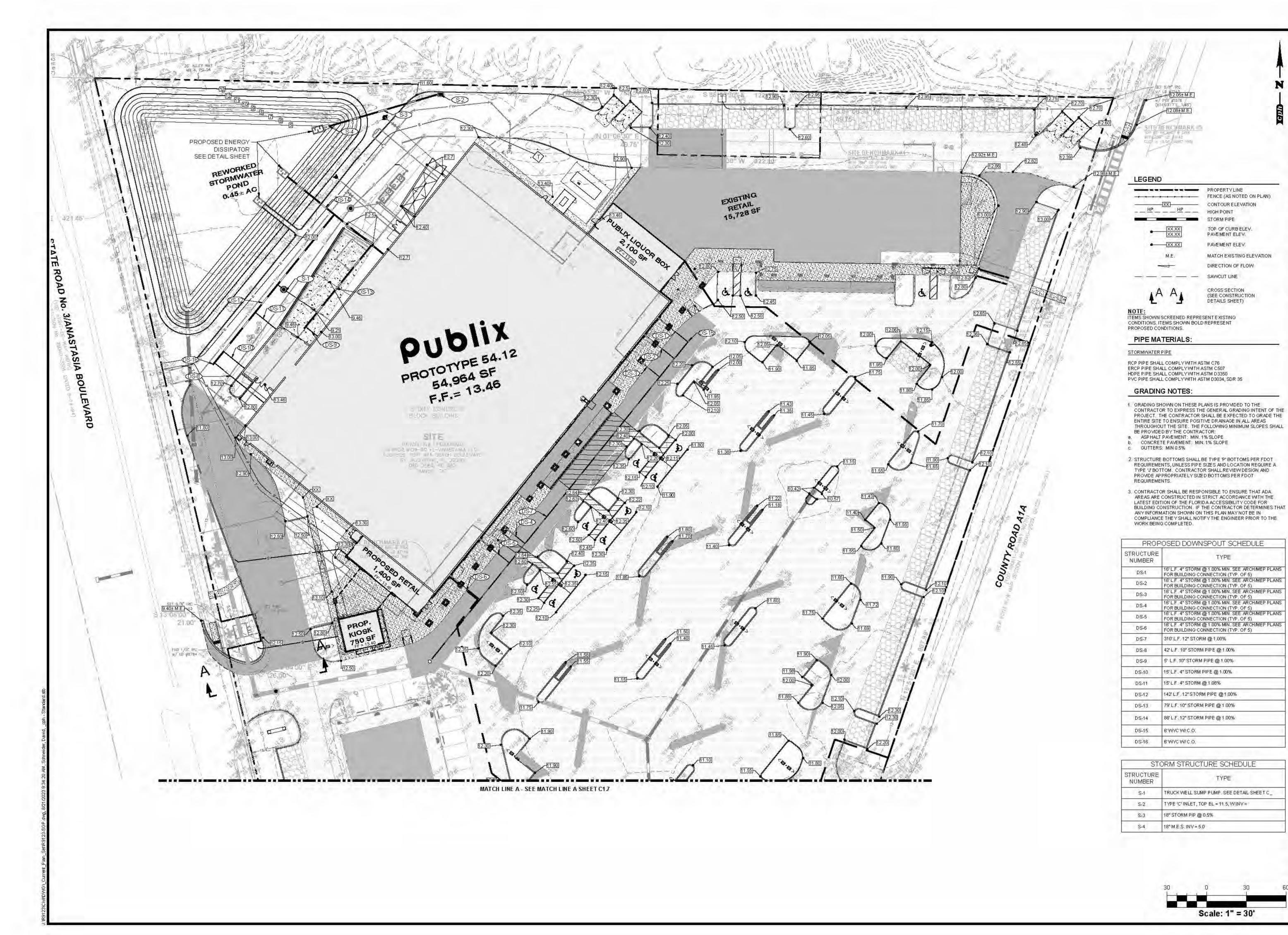
DIMENSION PLAN

rogen

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Scale: 1" = 30"

SITE

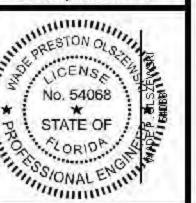




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Drawn: D. Schneider
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LAN

ADING AND STORM DRAINAGE F

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PLAN

AND STORM DRAINAGE

GRADING A

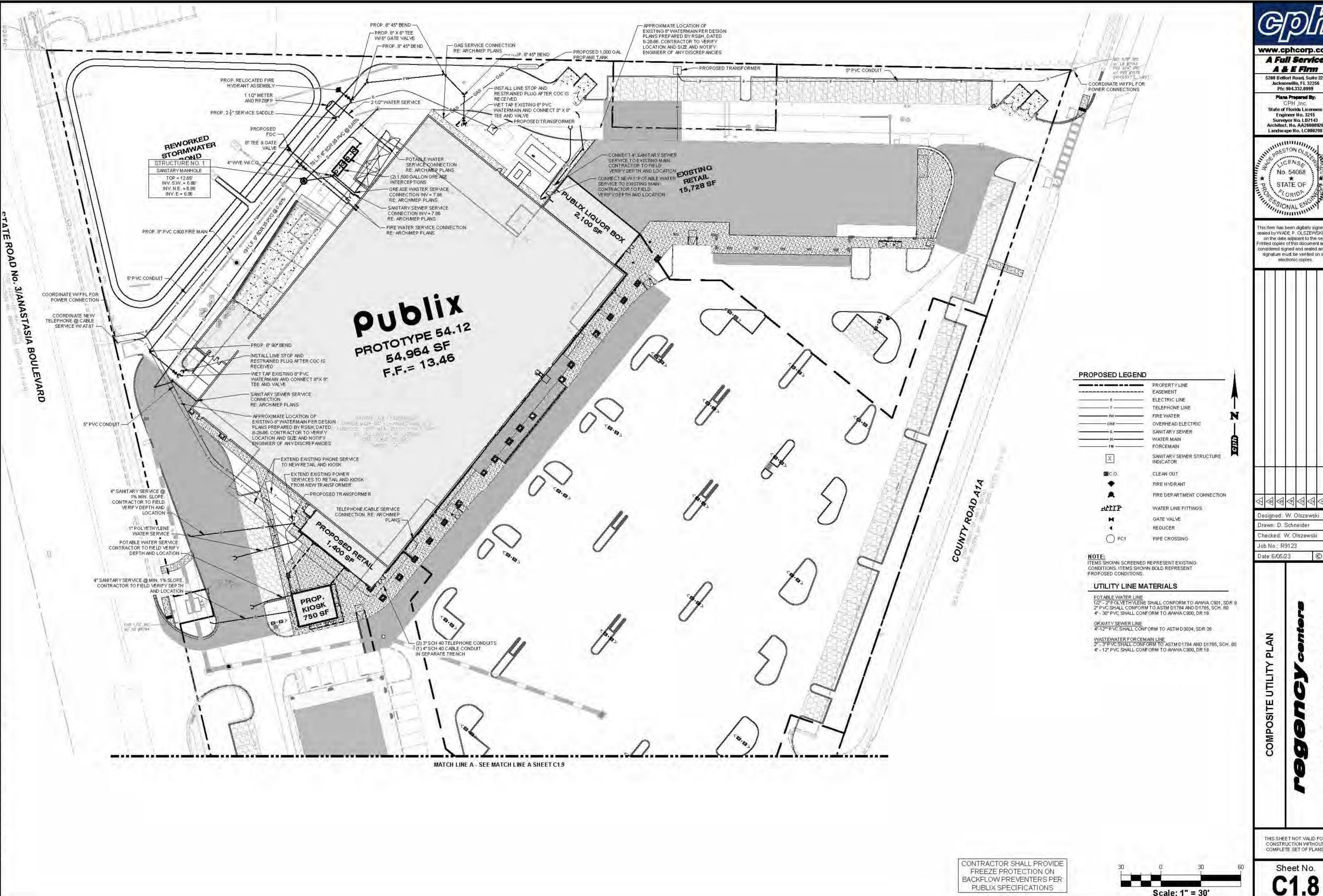
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ALL GRADES TO BE MATCH EXISTING UNLESS OTHERWISE NOTED ON PLAN. EXISTING DRAINAGE PATTERNS AND BASINS TO BE MAINTAINED



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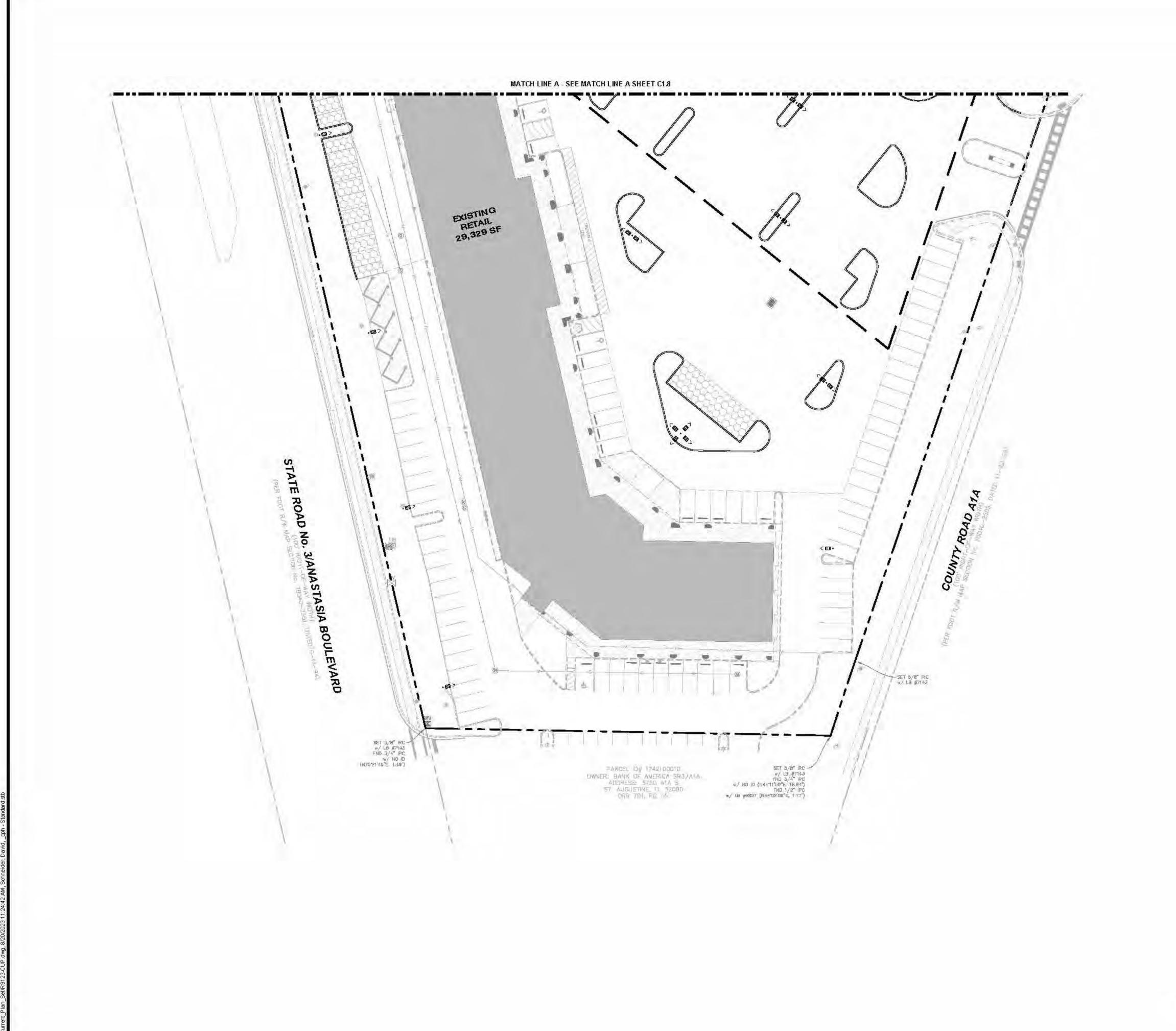
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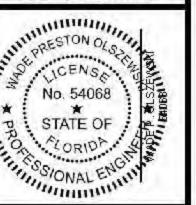




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COMPOSITE UTILITY PLAN

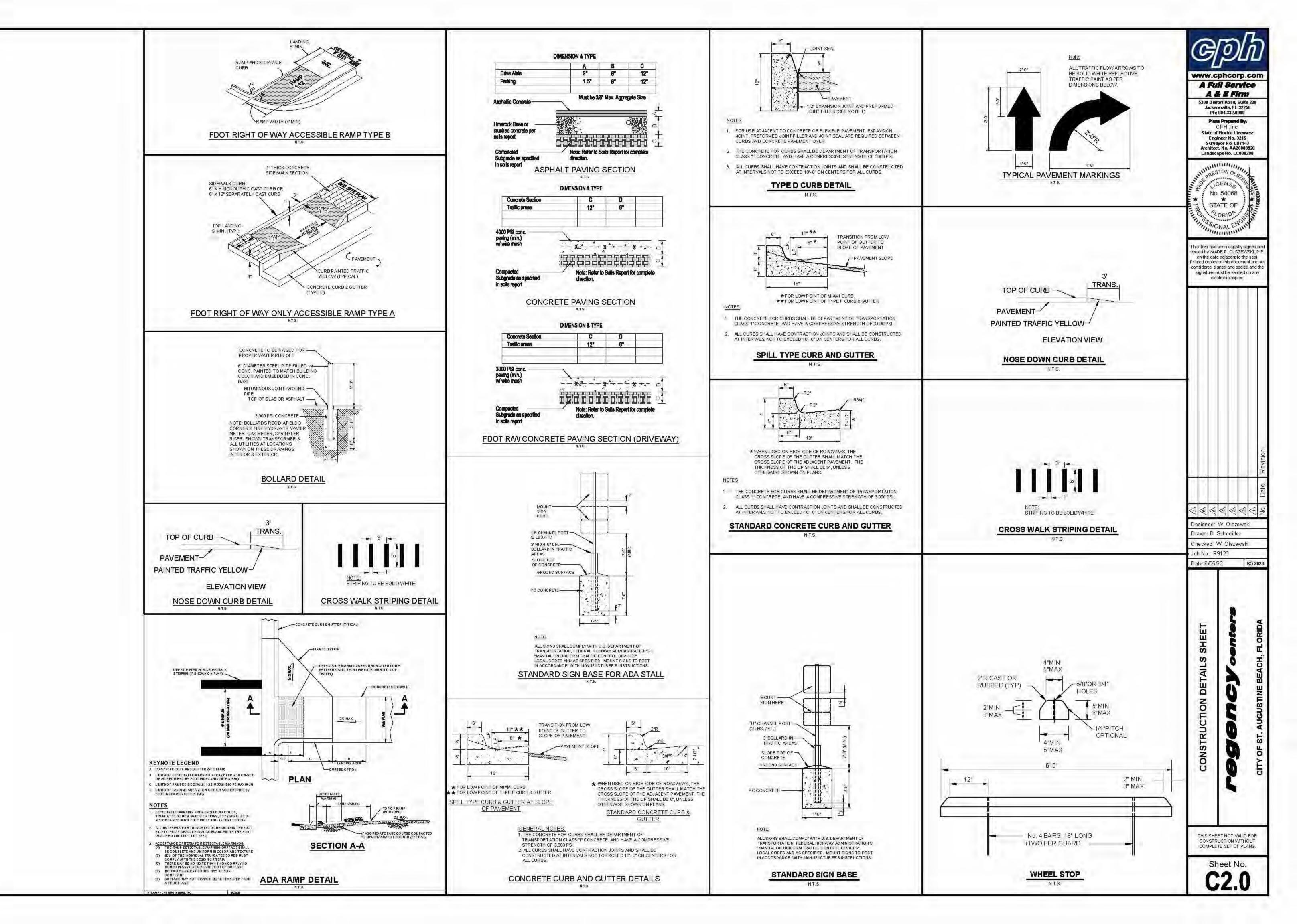
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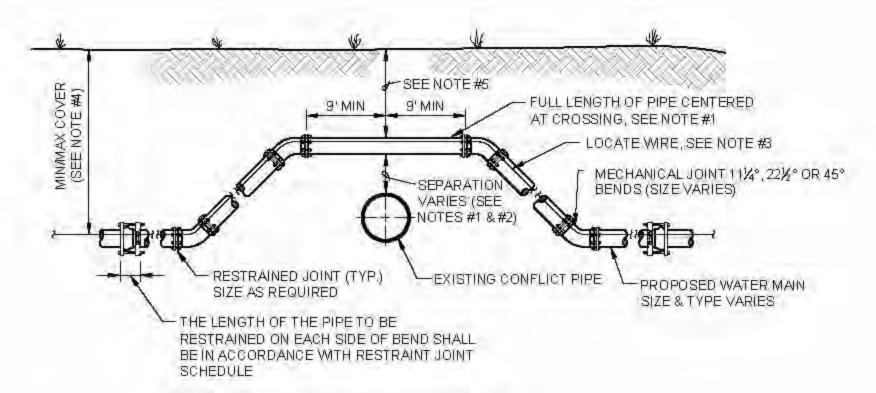
Sheet No.

Scale: 1" = 30"

NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

CONTRACTOR SHALL PROVIDE FREEZE PROTECTION ON BACKFLOW PREVENTERS PER PUBLIX SPECIFICATIONS

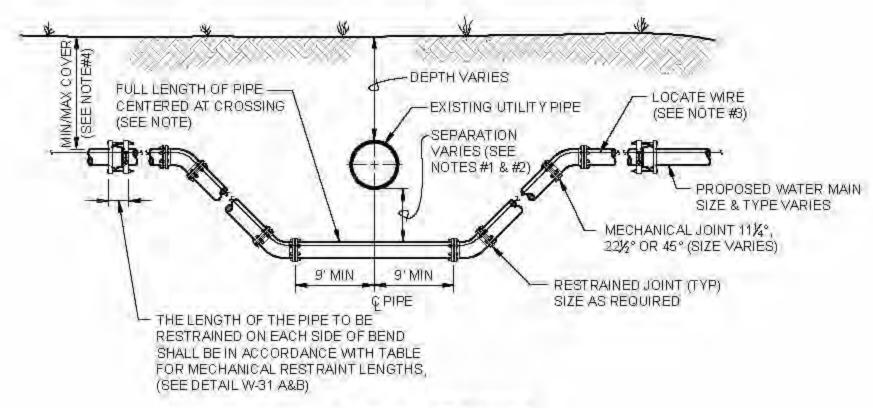




CASE "A" CROSSING

- 1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1557.
- LOCATING WIRE REQUIRED
- 3. THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREAS, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.
- 4. IF UTILITY CONFLICT IS LOCATED IN A NON-TRAFFIC AREA (NO TRAFFIC LOADS) AND THE NEW PIPE IS D.I.P., THEN THE MINIMUM COVER MAY BE REDUCED TO 24 INCHES (ONLY IN THE AREA OF THE CONFLICT).

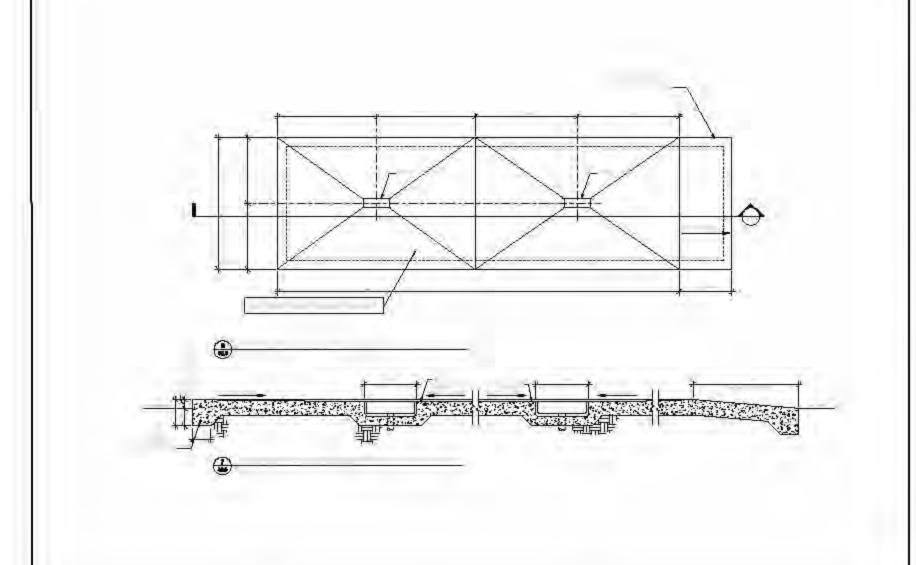
ADJUSTMENT OVER EXISTING UTILITIES MECHANICAL RESTRAINTS

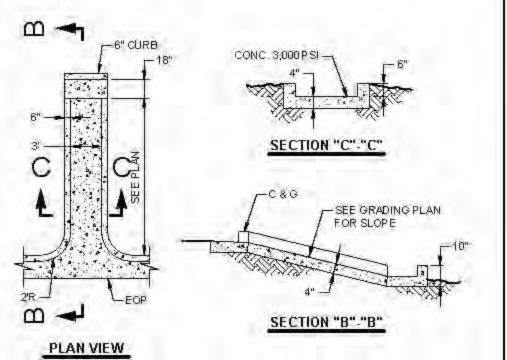


CASE "B" CROSSING

- 1. THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST, ASTM D 1567
- LOCATING WIRE REQUIRED
- THE COVER FOR PIPING LESS THAN 24" SIZE SHALL BE 30" (MIN) IN UNPAVED AREA, 36" (MIN) IN PAVED AREAS AND A MAXIMUM COVER OF 60", UNLESS APPROVED BY JACKSONVILLE BEACH. THE COVER FOR PIPING 24" SIZE AND LARGER SHALL BE 36" (MIN) IN PAVED AND UNPAVED AREAS AND A MAXIMUM COVER OF 84", UNLESS APPROVED BY JACKSONVILLE BEACH.

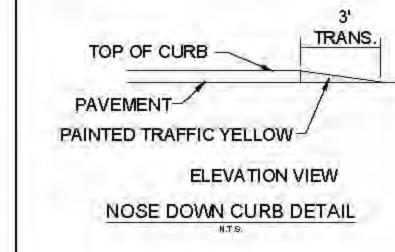
ADJUSTMENT UNDER EXISTING UTILITIES MECHANICAL RESTRAINTS





CONCRETE: 28 DAY COMPRESSION STRENGTH, 3,000 P.S.L., 4"THICK MINIMUM VV/6X6-VV1.4XVV1.4 VVVVF.

FLUME DETAIL



Surveyor No. LB7143 Architect, No. AA26000926 Landscape No. LC000298 No. 54068

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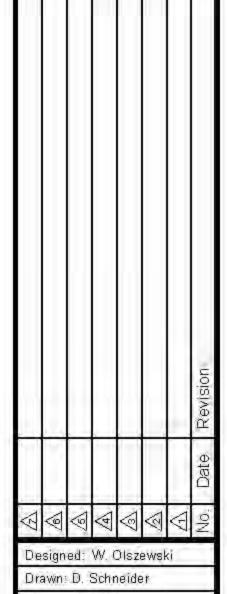
Jacksonville, FL 32256 Ph: 904.332.0999

Plans Prepared By:

State of Florida Licenses:

Engineer No. 3215

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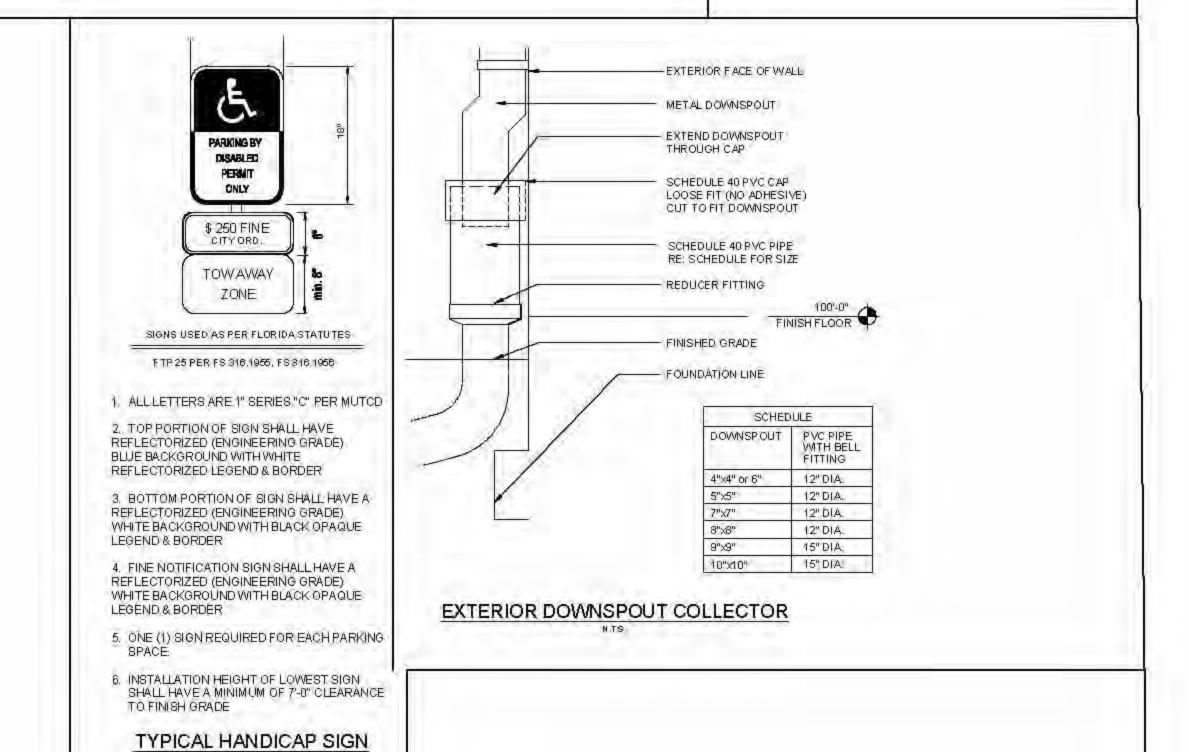
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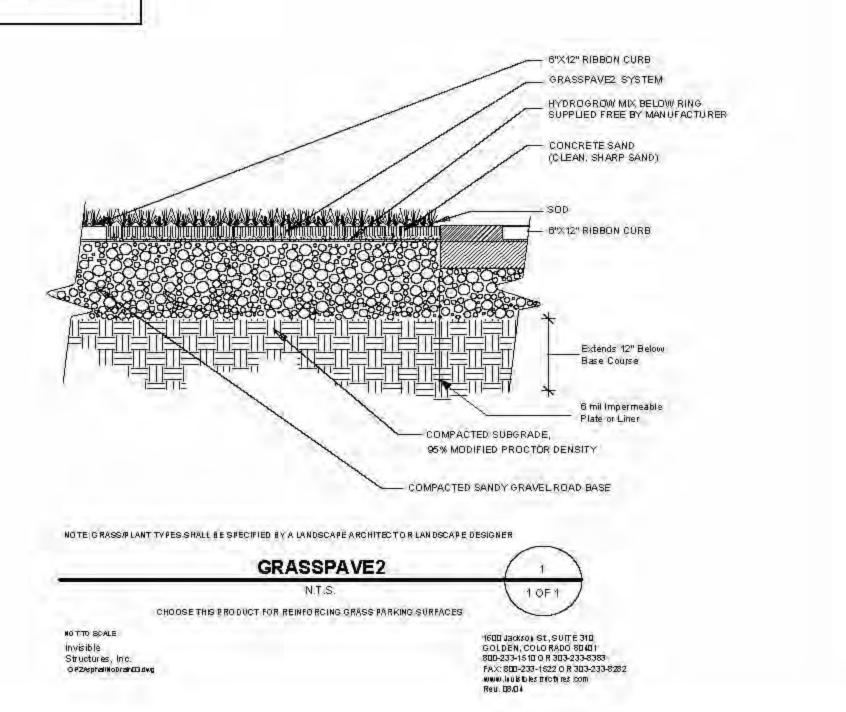
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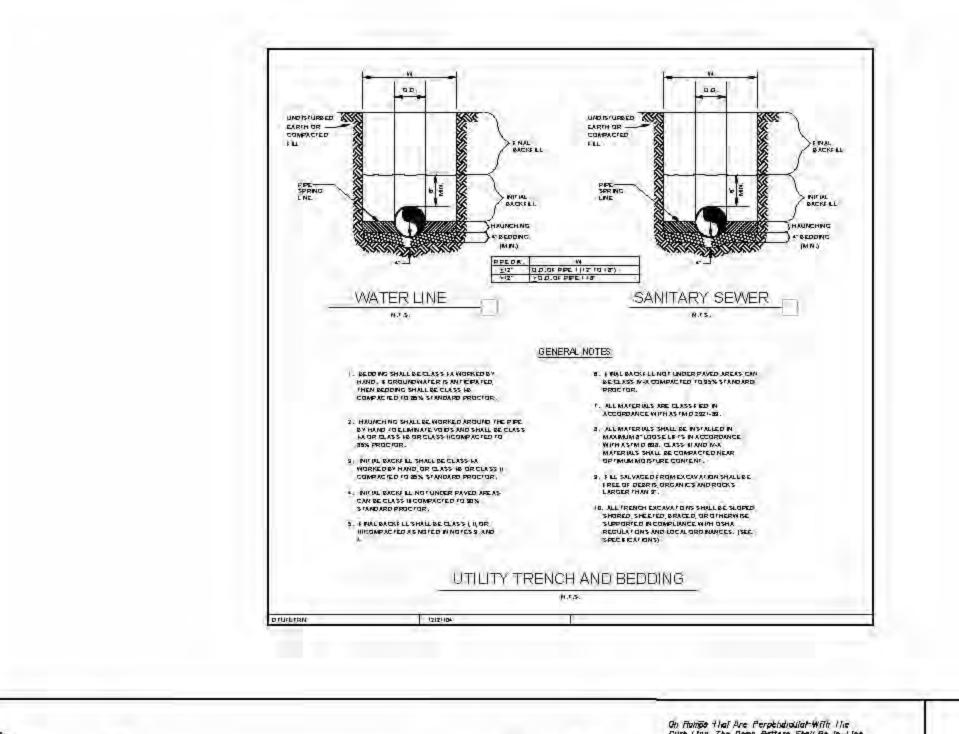
Date: 6/05/23

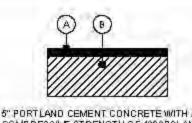
SHEET DETAILS CONSTRUCTION

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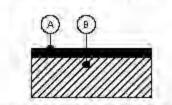






- 5" PORTLAND CEMENT CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 4000PSI AND 28 DAY FLEXURAL STRENGTH OF 600 PS I.
- B 24" CLEAN FINE SAND (SP) WITH 96 % MODIFIED PROCTOR MAXIMUM BRY DENSITY (ASTM D 1557)

STANDARD DUTY CONCRETE



- 6" PORTLAND CEMENT CONCRETE WITH A 28 DAY COMPRESSIVE STRENGTH OF 4000PSI AND 28 DAY FLEXURAL STRENGTH OF 600PSI.
- B 24" CLEAN FINE SAND (SP) WITH 98 % MO DIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) TO VIELD MINIMUM

HEAVY DUTY CONCRETE

NOTES: 1. ALL PAVEMENT SHOP DRAWINGS SHALL BE SUBMITTED TO (UNIVERSAL ENGINEERING. SCIENCES, INC) THE GEOTECHNICAL CONSULTANT FOR REVIEW AND APPROVAL THE SURFACE OF SUBGRADE SOILS MUST BE SMOOTH AND ANY DISTURBANCES OR WHELL RUTTING CORRECTED PRIOR TO PLACEMENT OF CONCRETE. 3. CONCRETE PAVEMENT THICKNESS SHOULD BE UNIFORM THROUGHOUT WITH THE EXCEPTION OF THICKENED EDGES (CURB OR FOOTING). 4. THE SUBGRADE SOILS MUST BE MOISTENED PRIOR TO PLACEMENT OF THE CONCRETE, 5. MAX MUM JOINT SPACING SHALL BE 10' X 10' FOR STANDARD DUTY CONCRETE (SAWCUT DEPTH 1.25" MIN.) AND 12'X12' (SAWCUT DEPTH 1.5" MIN.) FOR HEAVY DUTY CONCRETE. 6. ALL JOINTS MUST BE SEALED.

> CONCRETE PAVEMENT N.T.S



- A 15" FOOT TYPE'S ASPHALTIC CONCRETE HAMNG A MINIMUM MARSHALL STABILITY OF 1500LBS AND A FLOW RANGE OF 0.07 TO 0.12 INCHES. MIX DESIGN SHALL CONFORM TO THE SPECIFIC REQUIREMENTS FOR TYPE S ASPHALTIC CONCRETE OUTLINED IN THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCITON, 2000 EDITION AND BE APPROVED BY THE GEOTECHNICAL
- B 6" LMEROCK WITH 98% MODIFIED PROCTOR MAXIMUM DRY DENSITY (AAS HTO T-180, ASTM D 1557) TO YIELD
- (C) 12" SUBGRADE STABILIZED WITH 98% MODIFIED PROCTOR MAX MUM DRY DENSITY (AASHTO T-180, ASTM D 1557) TO YIELD MINIMUM LBR = 40 AS SPECIFIED BY FDOT REQUIREMENTS FOR TYPE BISTABALIZED SUBGRADE.

STANDARD DUTY ASPHALT

C 12"S UBGRADE STABILIZED WITH 98 % MODIFIED PROCTOR MAX MUM DRY DENSITY (AASHTO T-180, ASTM D 1557) TO YIELD MINIMUM LBR = 40 AS SPECIFIED BY FOOT HEAVY DUTY ASPHALT

MINIMUM LBR = 100.

A 2" FOOT TYPE'S ASPHALTIC CONCRETE HAMING A MINIMUM

CONCRETE OUTLINED IN THE FOOT STANDARD

B 8" LMERO CK WITH 98% MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180, ASTM II 1557) TO YIFLD DRY DENSITY (AASHTO T-180, ASTM D 1557) TO YIELD

STOP BAR TO BE PLACED 4' MIN. FROM EDG!

- EDGE OF THE CROSSWALK

3' MIN FROM

FACE OF CURB

OF CROSS WALK (PER FDOT MUTCD 2000),

UNLESS OTHERWISE SHOWN ON THE SITE

"STOP" BAR SHALL BE 24" WIDE AND 12' FOOT LONG

OR AS SHOWN ON SITE PLAN, WHITE REFLECTIVE

STOP BAR DETAIL WITH SIGNAGE

PAINT. (SEE SITE PLAN FOR LOCATIONS)

PLAN.

0.07 TO 0.12 INCHES: MIX DESIGN SHALL CONFORM TO

THE SPECIFIC REQUIREMENTS FOR TYPE'S ASPHALTIC

MARSHALL STABILITY OF 1500LBS AND A FLOW RANGE OF

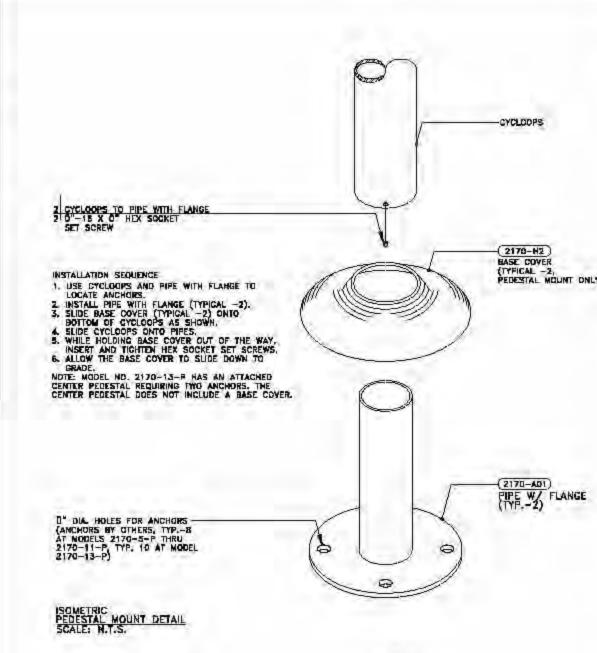
SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION,

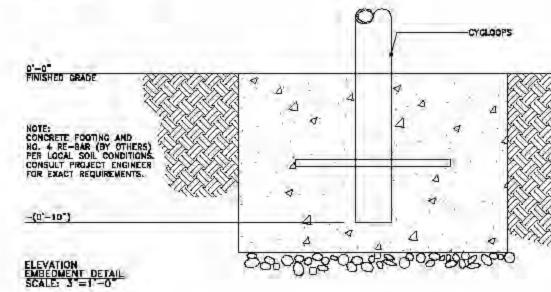
2000 EDITION AND BE APPROVED BY THE GEOTECHNICAL

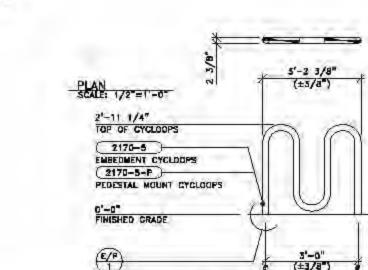
NOTE: ALL PAVEMENT SHOP DRAWINGS SHALL BE SUBMITTED TO (UNIVERSAL ENGINEERING SCIENCES,

NC) THE GEOTECHNICAL CONSULTANT FOR REVIEW AND APPROVAL

FLEXIBLE PAVEMENT DETAIL

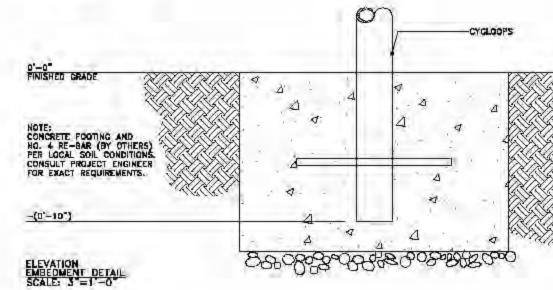






1975 S.W. Fifth Annua Telephone 503/283-1157 Portland, Oregon 97201-5263 Facativic 605/223-4330 This drowing remain the cognitative intelligence of the same property of columbia Carponal Company. Air right can be suppress. efficient continue to the continue of the conti

BIKE RACK DETAIL



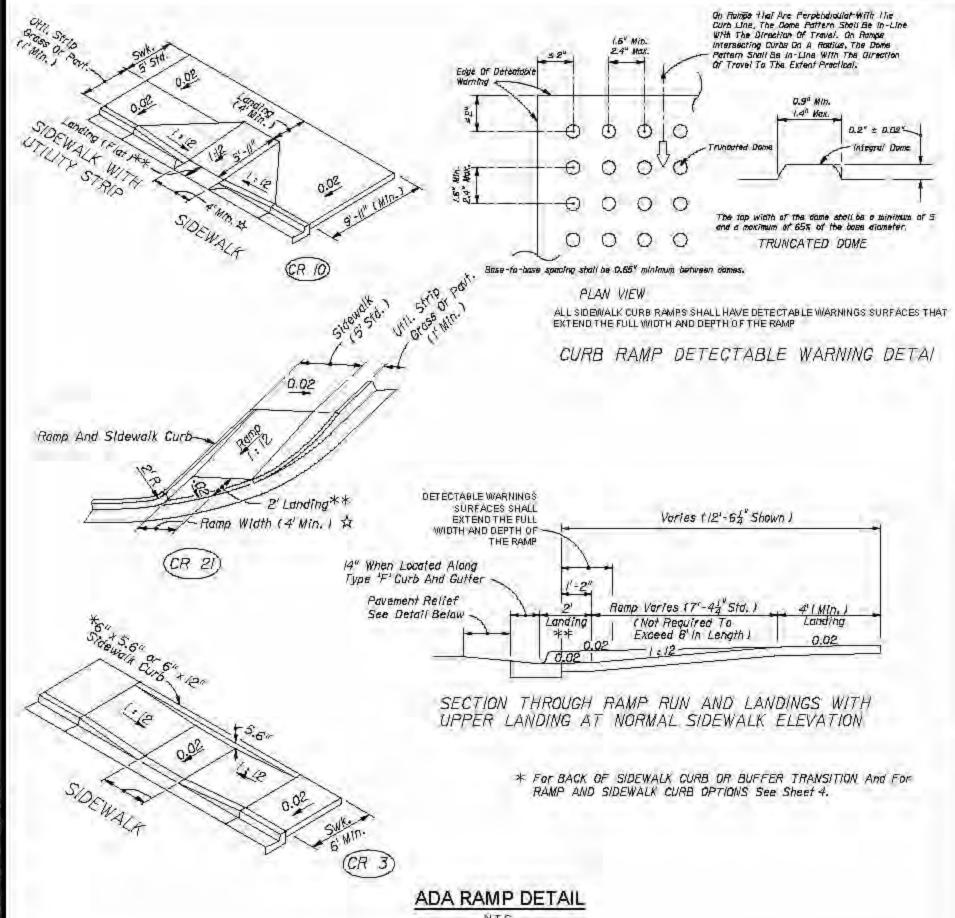
ELEVATION - MODEL NO. 2170-5 COLUMBIA CASCADE COMPANY

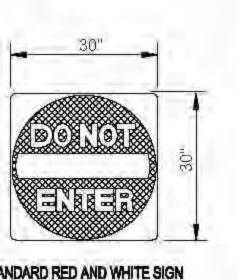
Molecular of Tember Form Products

Timber Form Cycloges

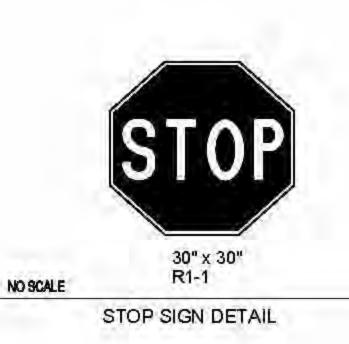
MODEL NO.'S 2170-3,6,7,9,11,19

ORIGINAL CYCLOGES

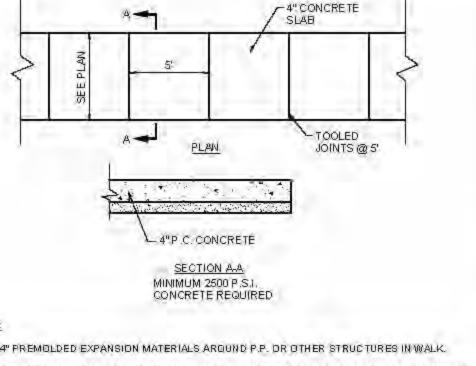




STANDARD RED AND WHITE SIGN DO NOT ENTER SIGN DETAIL

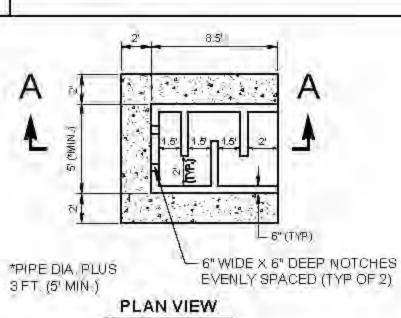


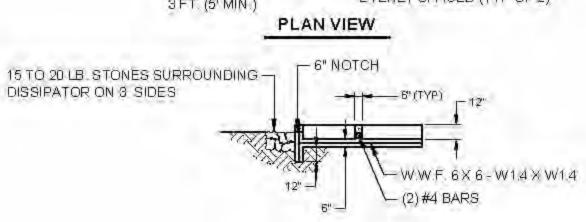




1. 3/41%4" FREMOLDED EXPANSION MATERIALS AROUND P.P. DR OTHER STRUCTURES IN WALK. 2. EXPANSION JOINTS MAXIMUM DISTANCE = 100', USED 34"X4" PREMOLDED EXPANSION MATERIAL. 3, CONTRACTION JOINTS MAXIMUM DISTANCE = 21', SAW CUT 2" DEEP AND FILL WITH HOT POURED SEALER 4. SAW CUT JOINTS WITHIN 24 HOURS.

CONCRETE SIDEWALK DETAIL

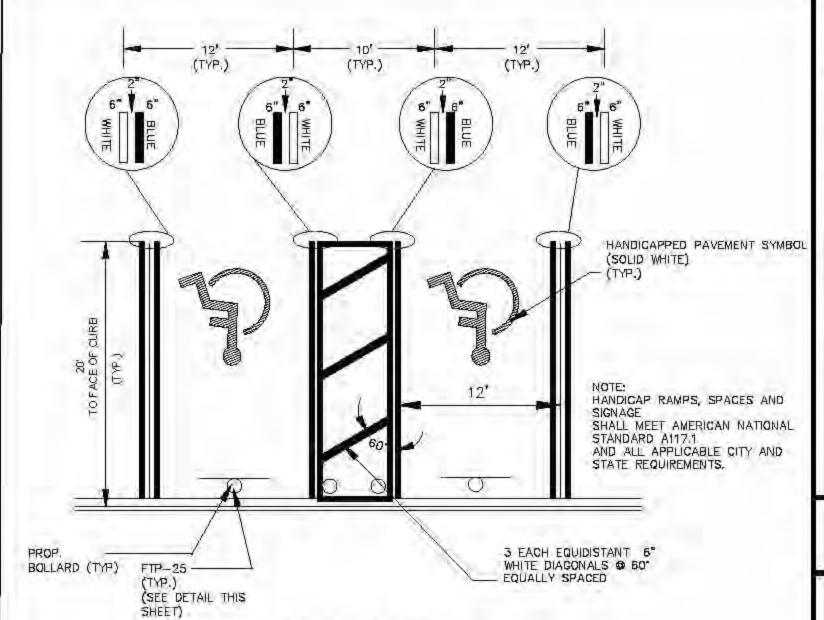


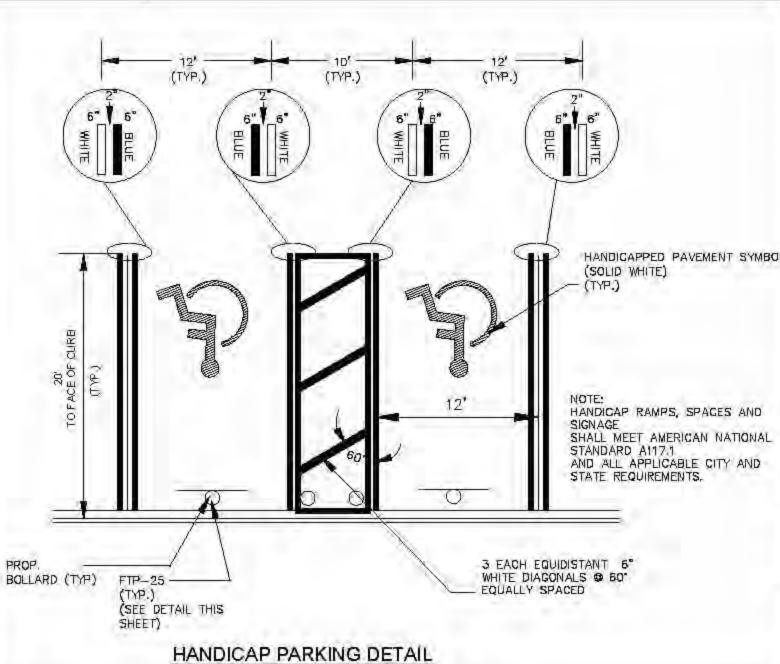


SECTION A-A

COMPACT SUB-GRADE TO 98% MAX. DENSITY PER AASHTO T-180. CONCRETE TO BE 3,000 P.S.I. PRECAST OR IN PLACE, SHOP DRAWINGS REQUIRED.

ENERGY DISSIPATOR





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A & E Firm

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Jacksonville, FL 32256 Ph; 904,332,0999

Plans Prepared By:

State of Florida Licenses:

Surveyor No. LB7143

Architect, No. AA26000926

Landscape No. LC000298

CENS

No. 54068

STATE OF

Engineer No. 3215

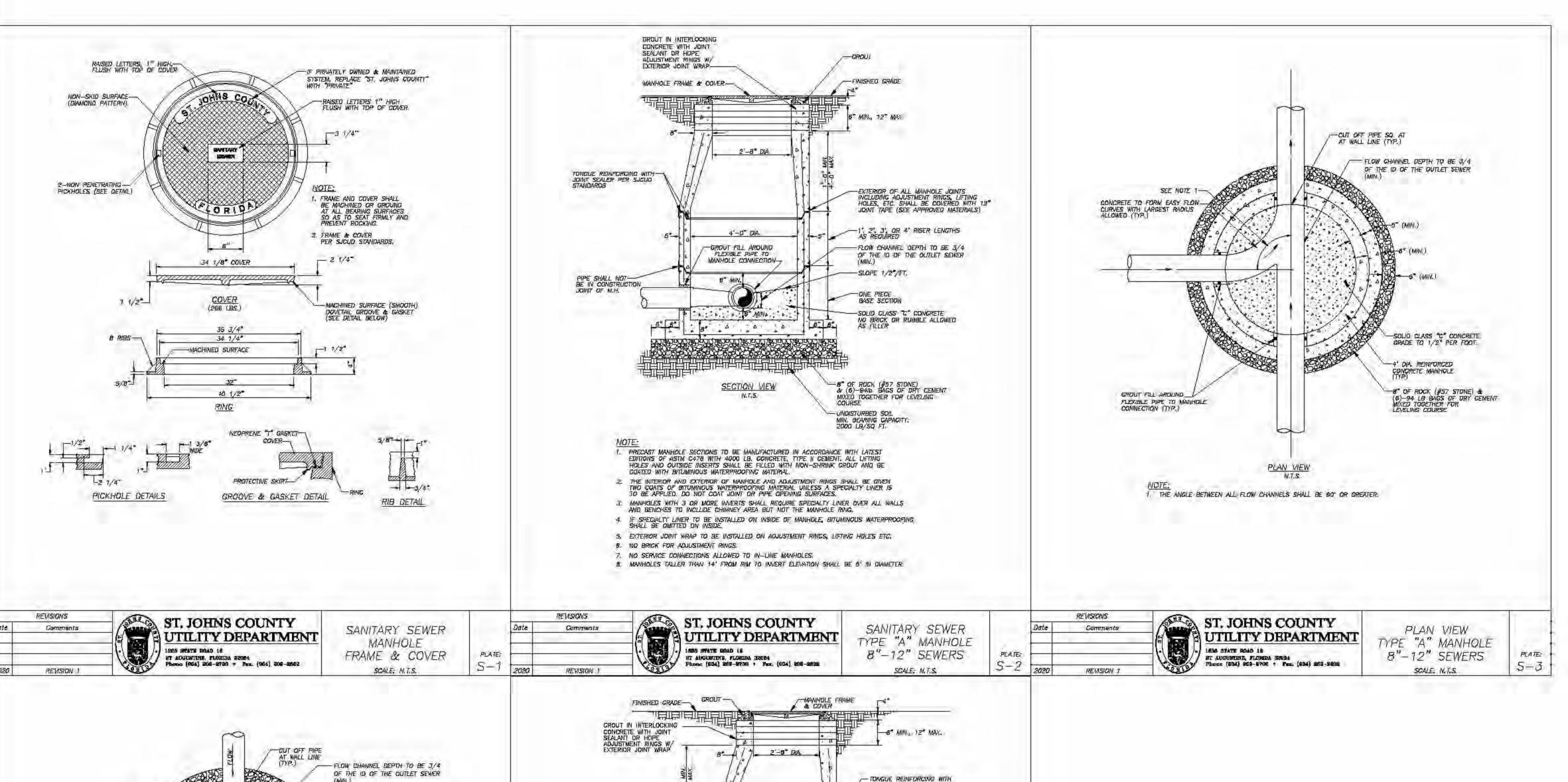
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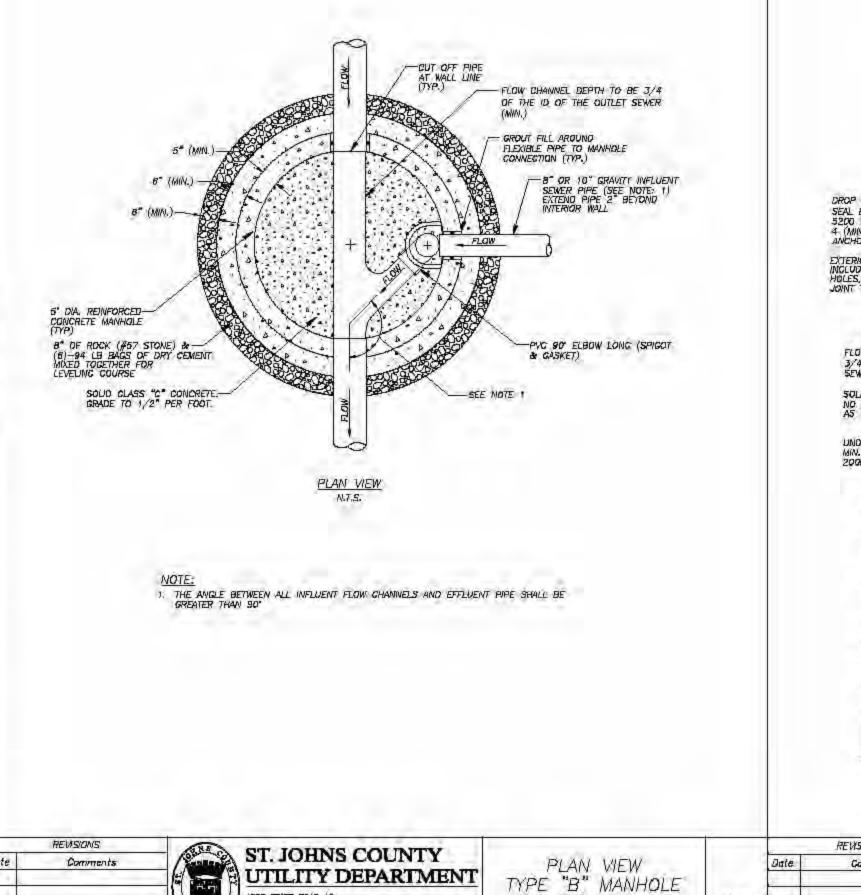
Date 6/05/23

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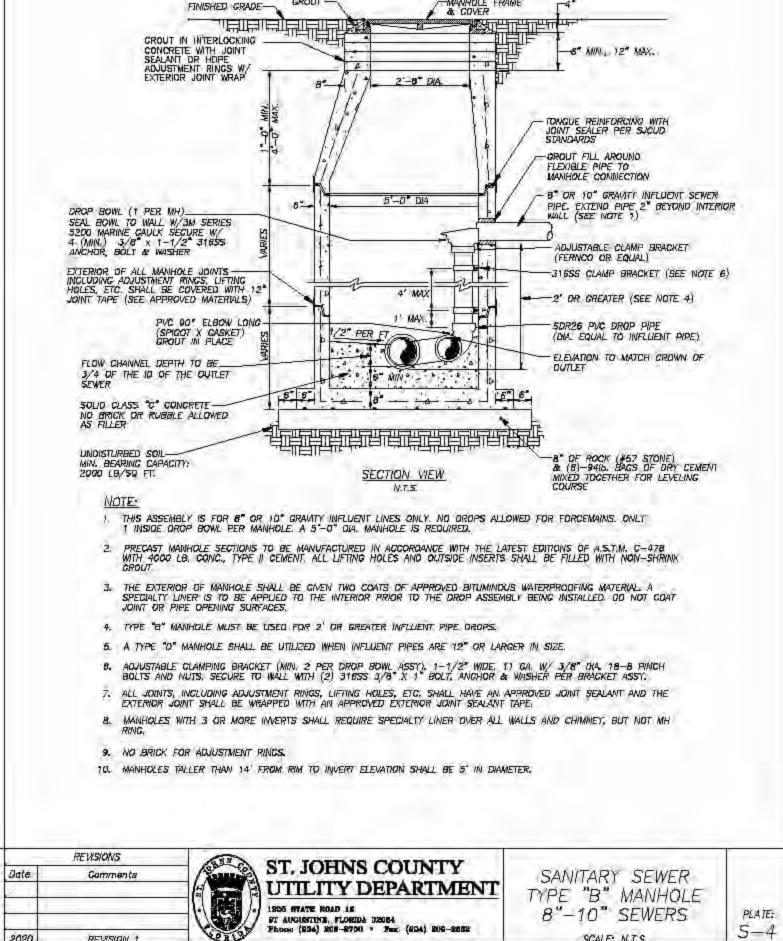


8"-10" SEWERS

PLATE:

1205 STATE BOAD 16

| 67 AOGUSTRUE, FLORIDA 52064 | Phone (904) 208-2700 - Fez. (904) 209-2502





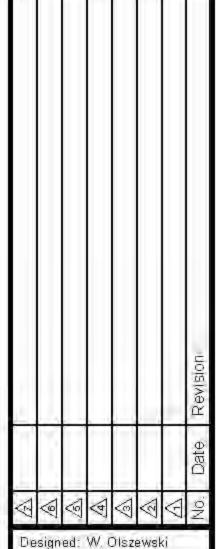
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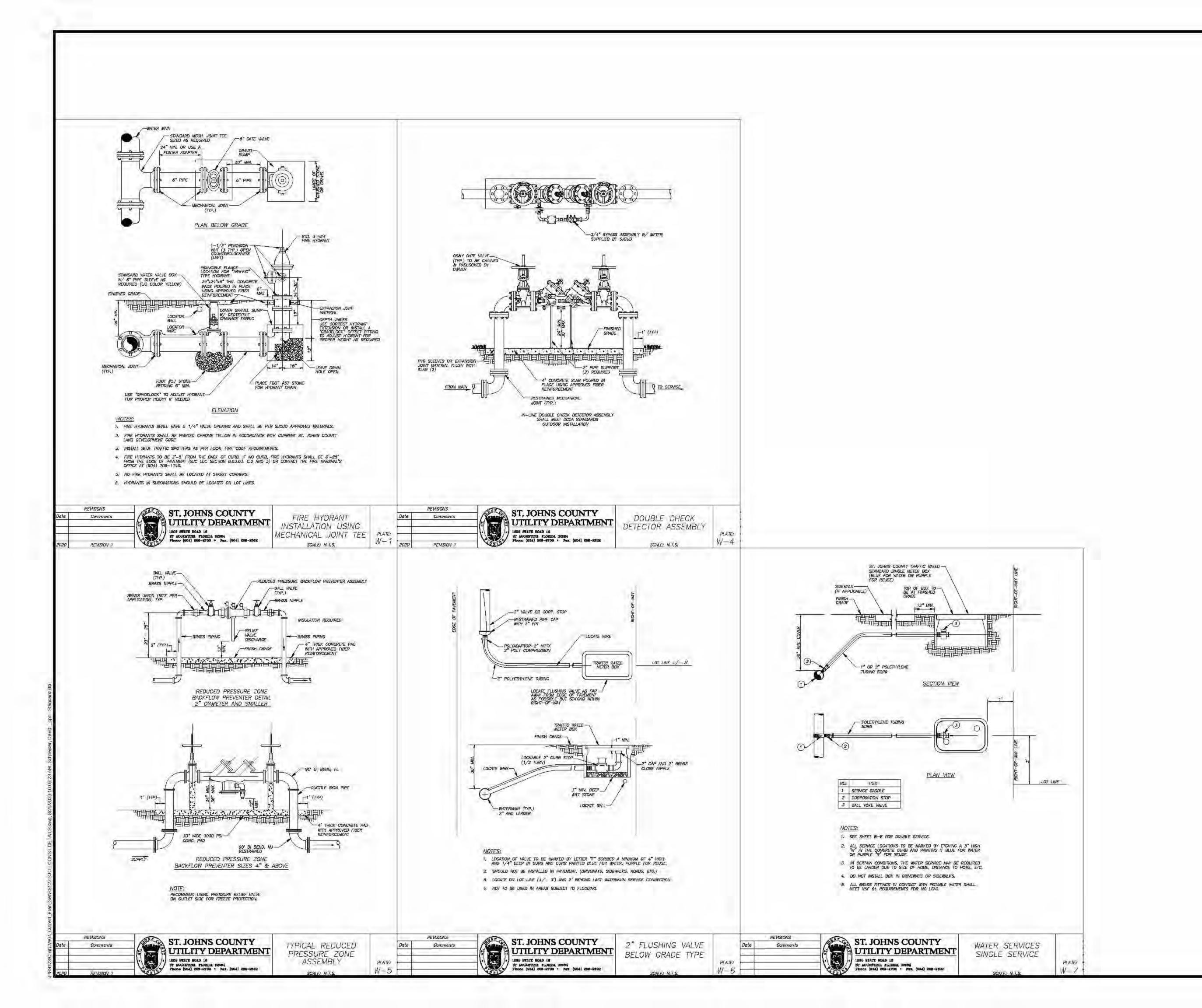
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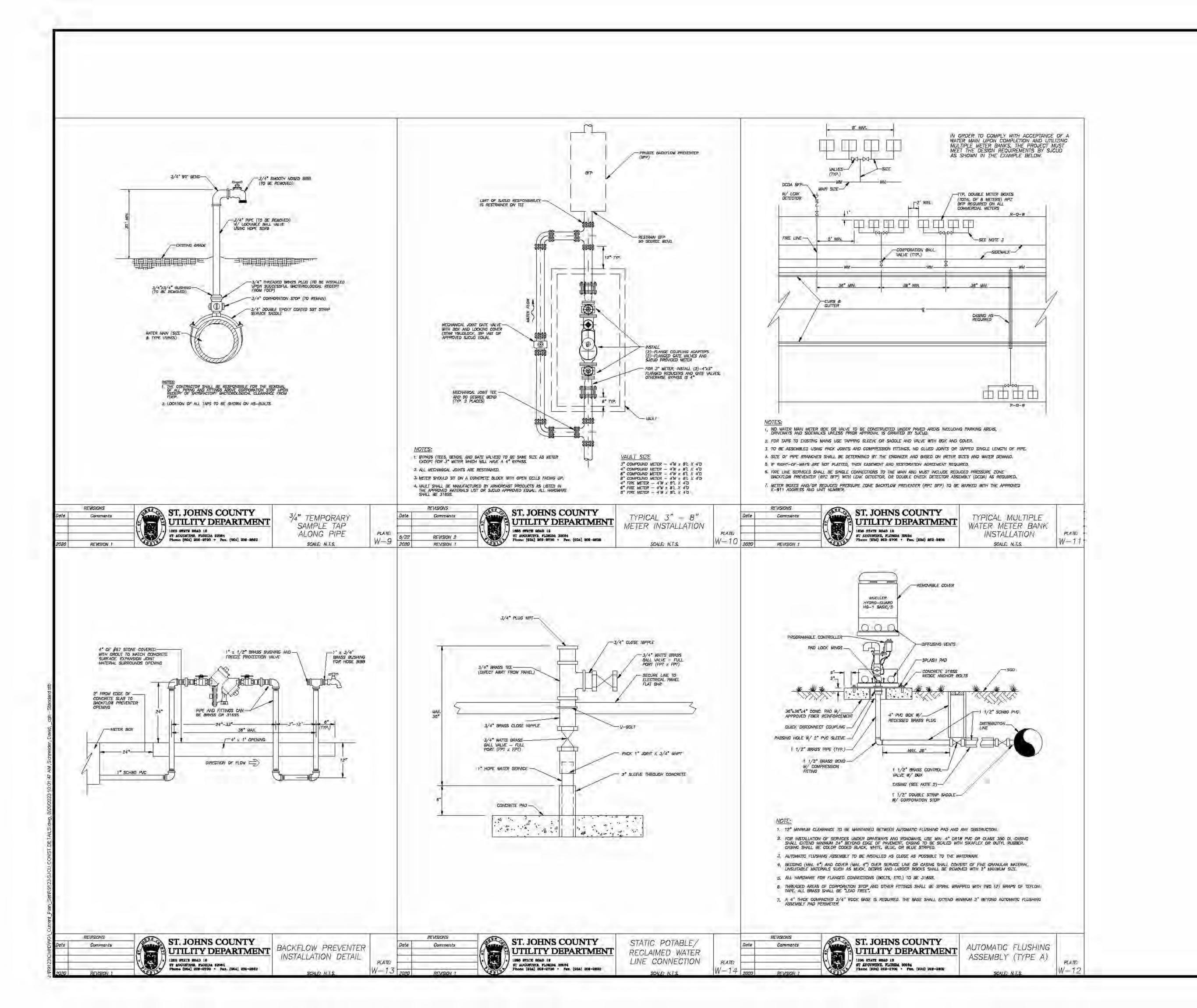
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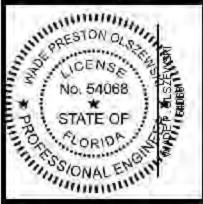
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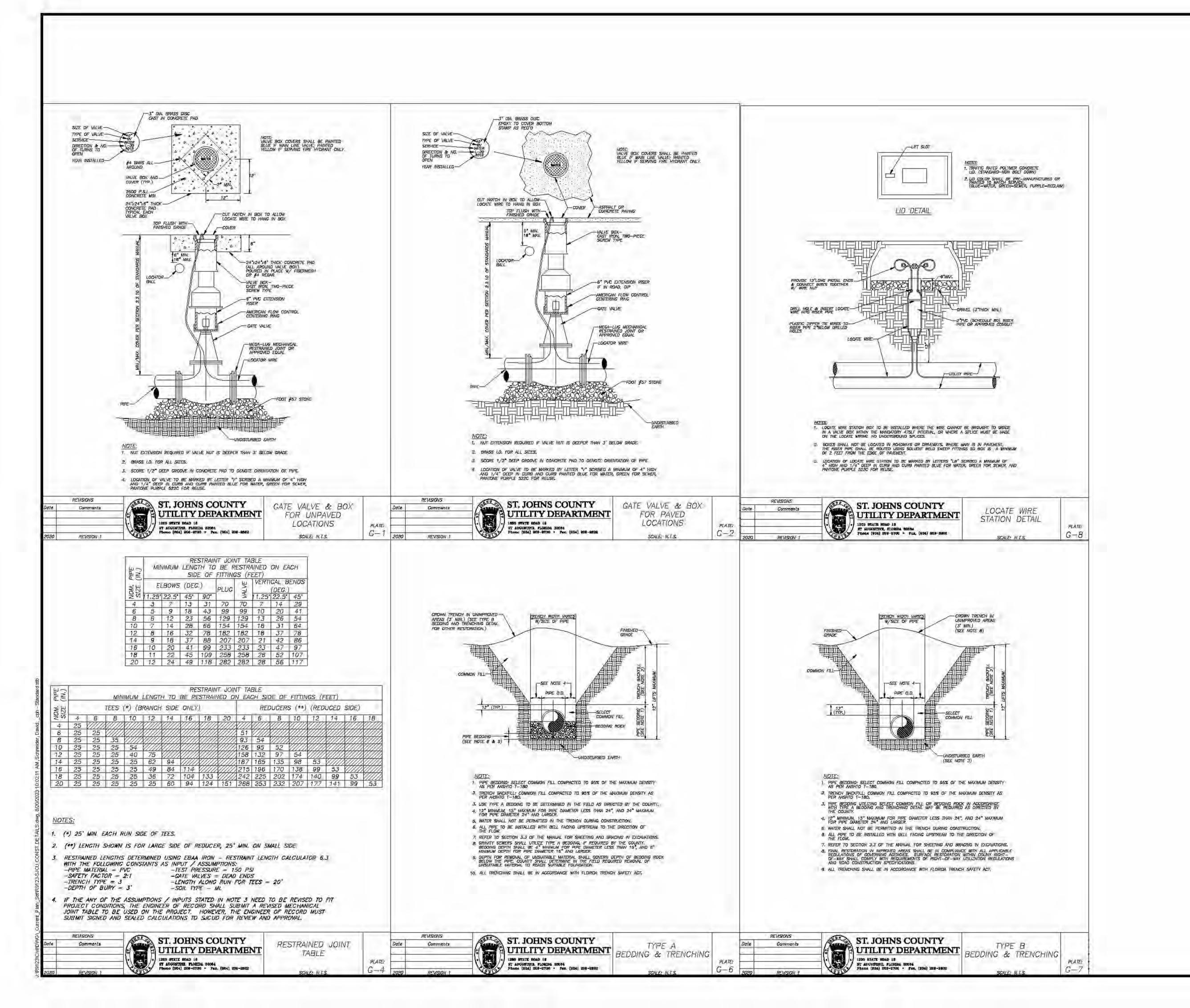
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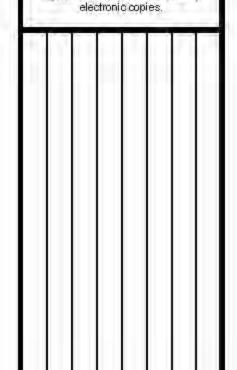
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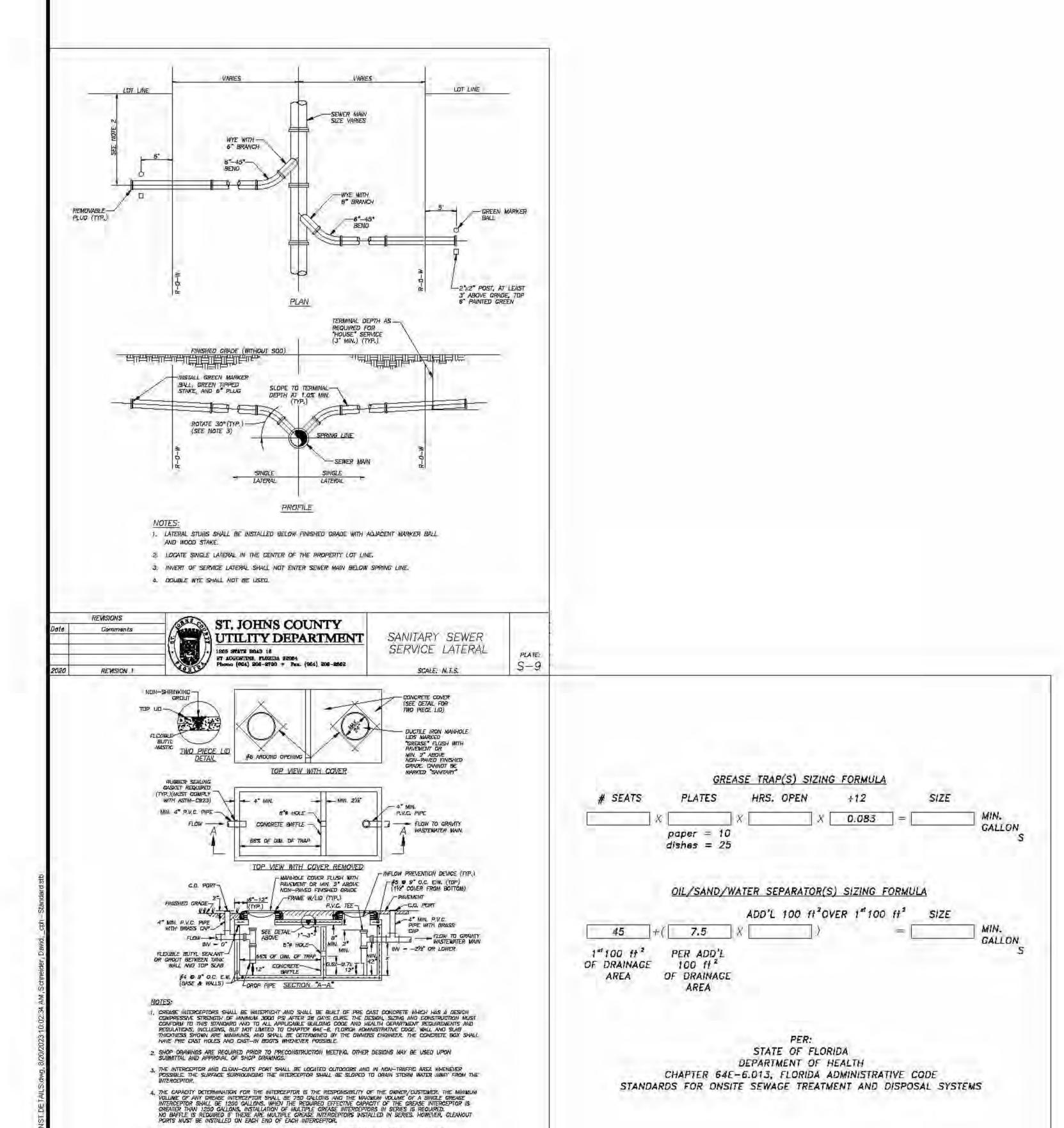
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ST. JOHNS COUNTY

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1206 STATE BOAD 18
57 AUGUSTINE, WARRING 2800A4
Phone (904) 200-2700 - Fez. (904) 200-2602

OIL/GREASE-SAND/OIL

INTERCEPTOR

SIZING TABLE

PLATES

REVISIONS

PLATE:

5. THE PROPERTY DIMMER/CUSTOMER SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE INTERCEPTOR.

6, THE GREASE INTERCEPTOR SHALL NOT HE USED FOR THE PURPOSE OF INTERCEPTING SAND AND OIL FROM NON-FOOD, HANDLING ESTABLISHMENTS.

7. A "GREASE TRAP" OR "OIL/GREASE INTERDEPTOR" SHALL BE REQUIRED TO RECEIVE THE DRAININGE FROM FIXTURES AND EQUIPMENT (SINKS, DISHWASHERS, FLOOR DRAINS, CAY WASH AREAS, ETC.) WITH GREASE LADEN WASTE LOCATED IN COMMERCIAL FOOD PREPARATION AREAS SUCH AS RESTAURANTS, HOTEL KITCHENS, HOSPITALS, SCHOOL KITCHENS, BARS, FRICTORY CAFETERIAS, CLUBS, ETC.

OIL/GREASE

INTÉRCEPTOR

8, THE "GREASE TRAP" OR "OIL/GREASE INTERCEPTOR" SHALL BE LOCATED AS CLOSE AS PRACTICALLY POSSIBLE TO THE FIXTURES AND EQUIPMENT GENERATING GREASE.

9. A "SOLIOS INTERCEPTOR" SHALL BE CONSIDERED TO BE INSTALLED UPSTREAM OF A " GREASE TRAP" WHERE SUBSTANTIAL AUCUNT OF SOLIOS FROM FOCO DRINDERS, DISPOSALS MAY BE PRESENT.

10. DUCTILE IRON MANHOLE LIDS SHALL BE MACHINED TO ACCEPT INFLOW PREVENTER, MAXIMUM 24" IN DIAMETER.

ST. JOHNS COUNTY

1205 STATE BOAD 16

UTILITY DEPARTMENT

| ST ACCUSTUME, PLOSIDIA \$2004 | Phone (904) 208-2700 - Fez. (904) 209-2802

REVISIONS



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Plans Prepared By: State of Florida Licenses Engineer No. 3215 Surveyor No. LB7143 Architect, No. AA26000926 Landscape No. LC000298



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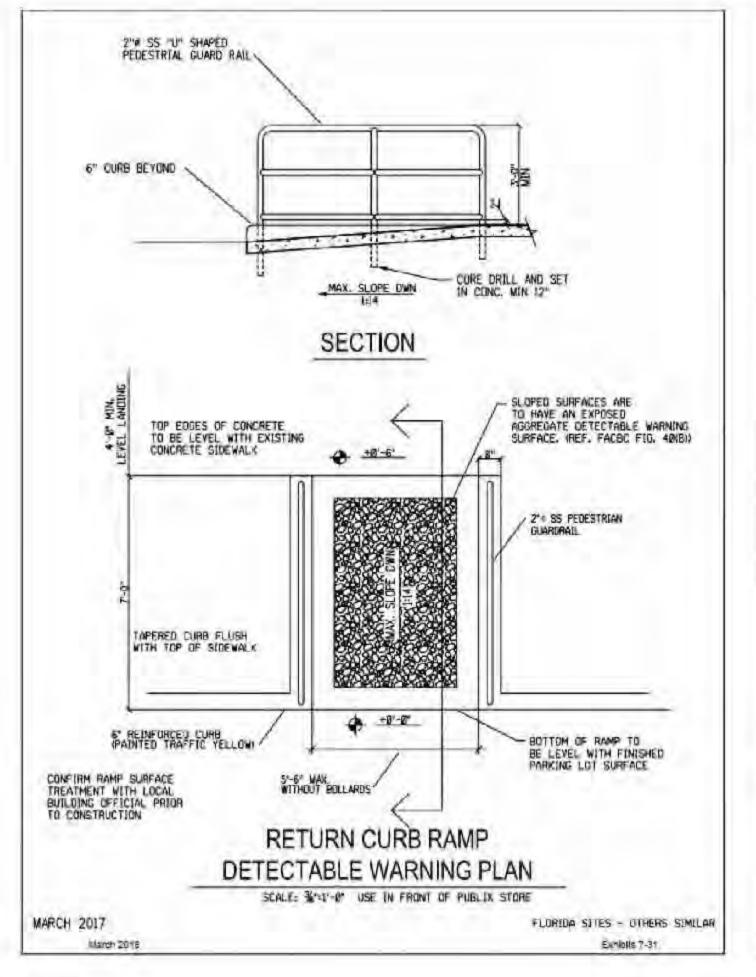
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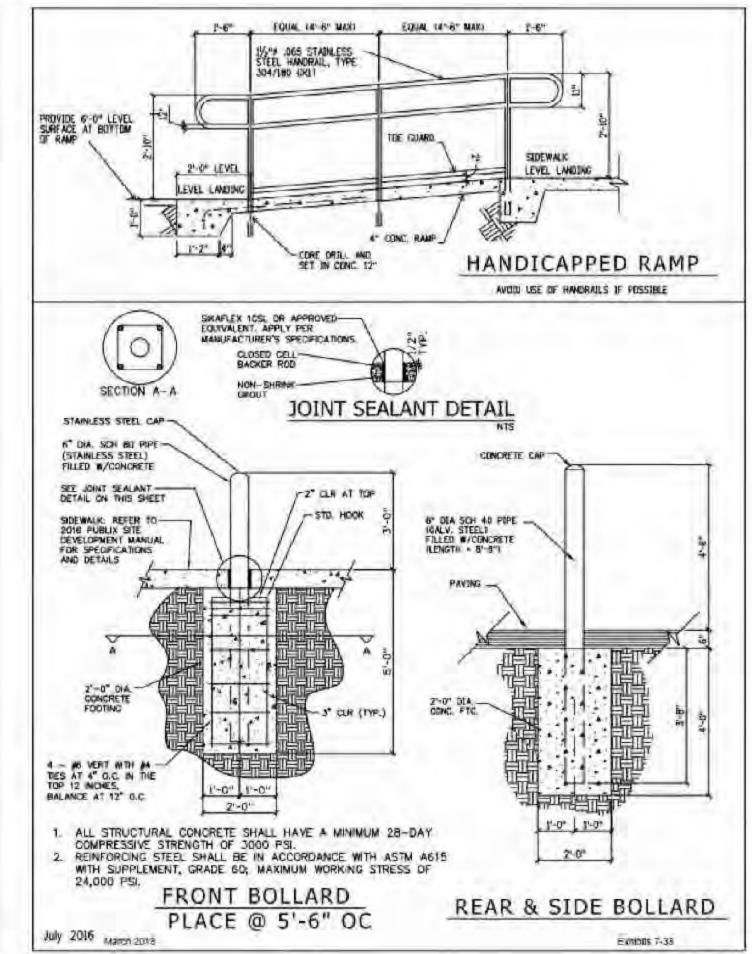
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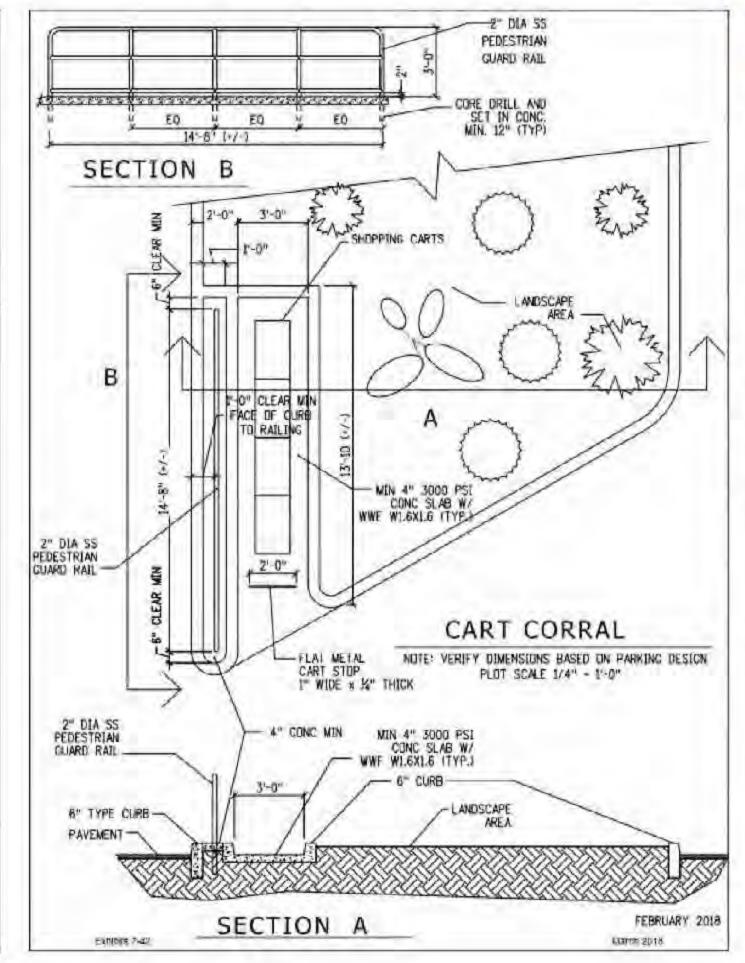
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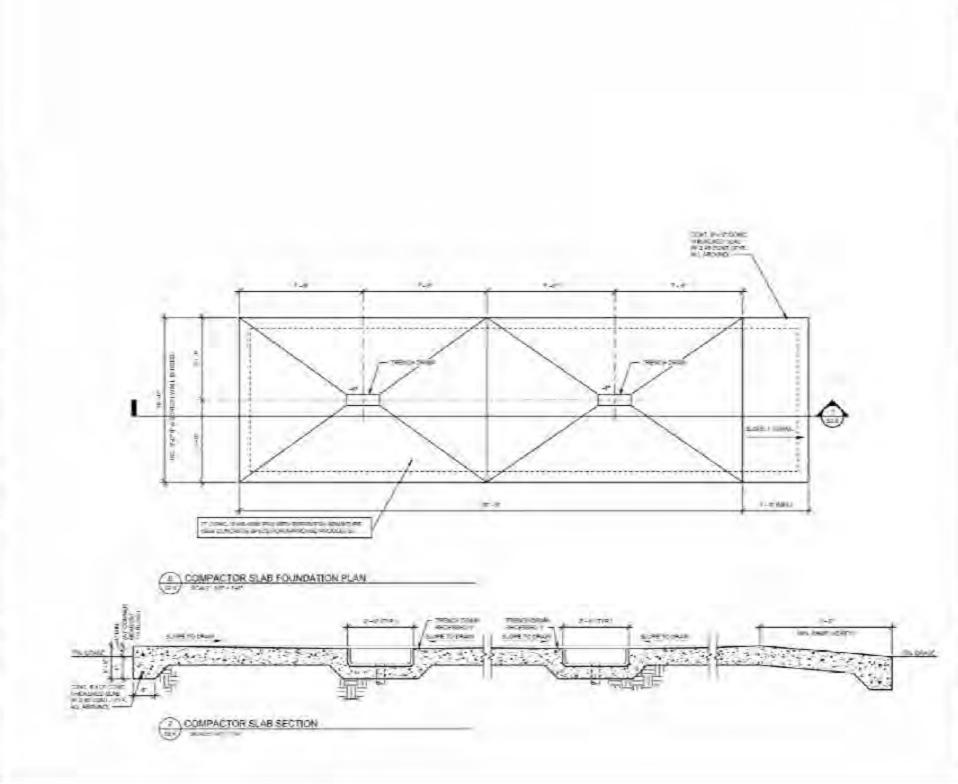
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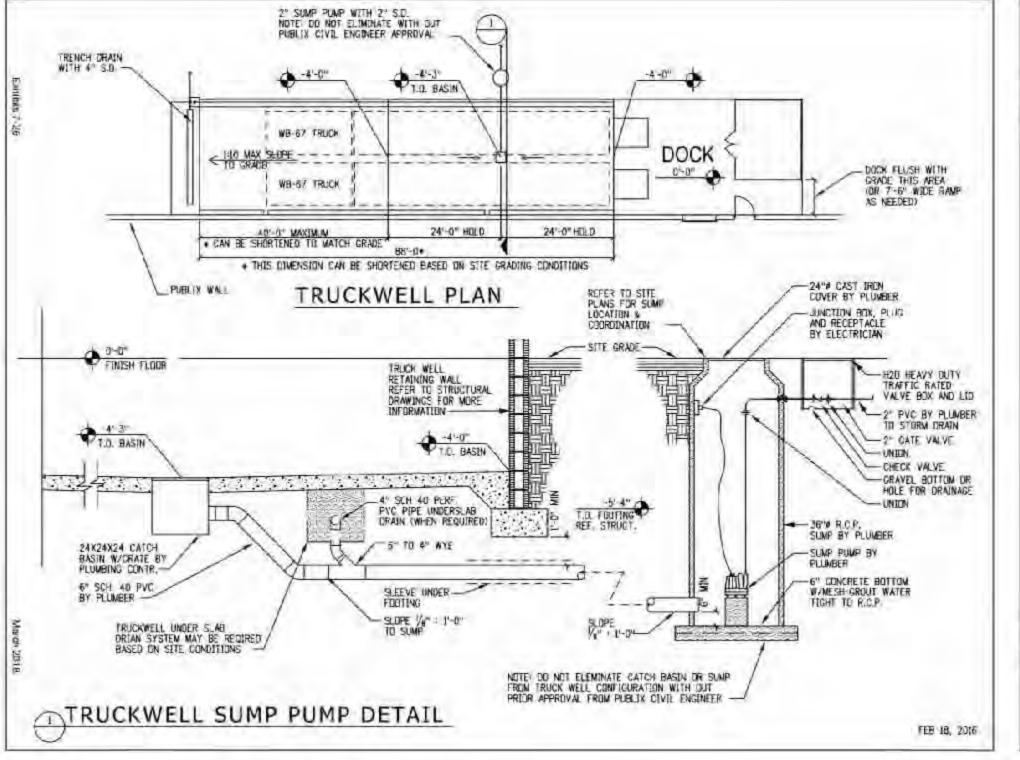
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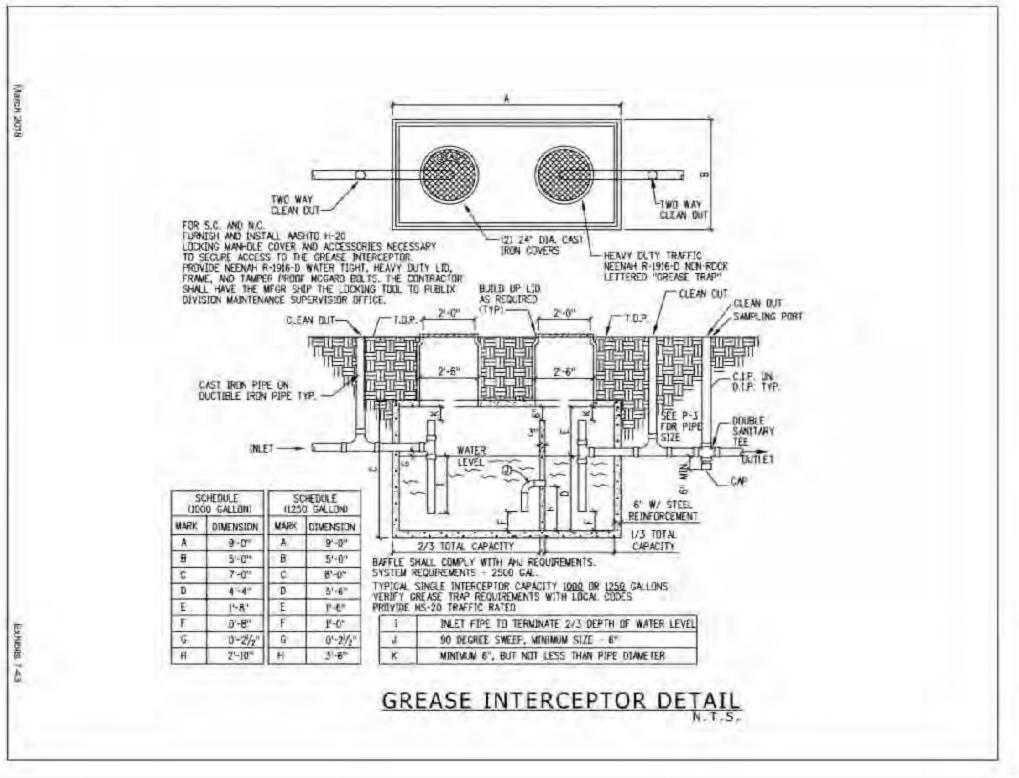














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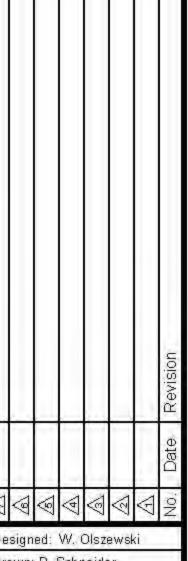
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Jacksonville, FL 32256
Ph: 904332.0999

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CPH Inc.
State of Florida Licenses:
Engineer No. 3215
Surveyor No. LB7143
Architect. No. AA26000926
Landscape No. LC000298



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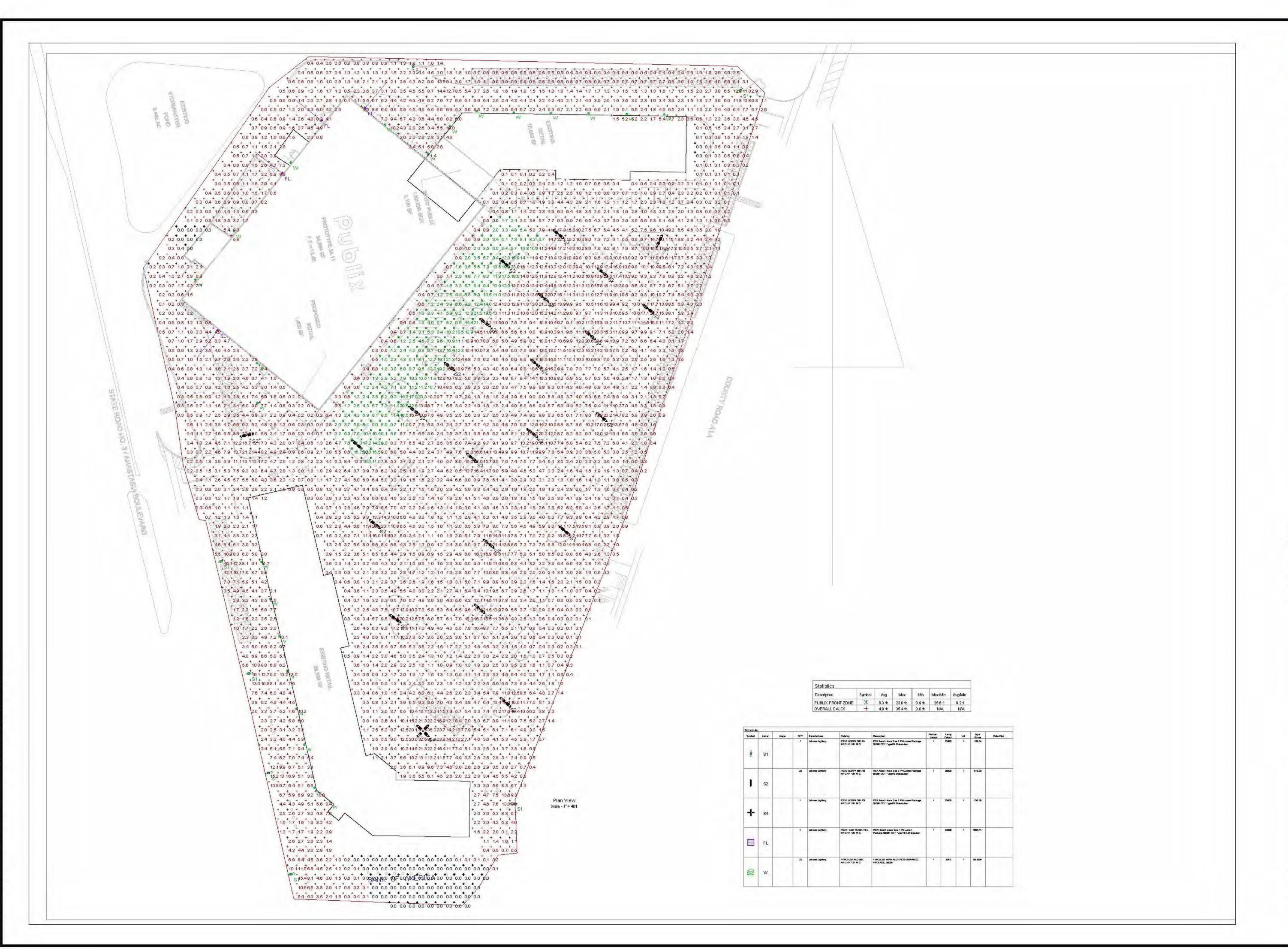
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> WADE P.OLSÆWSK 54068

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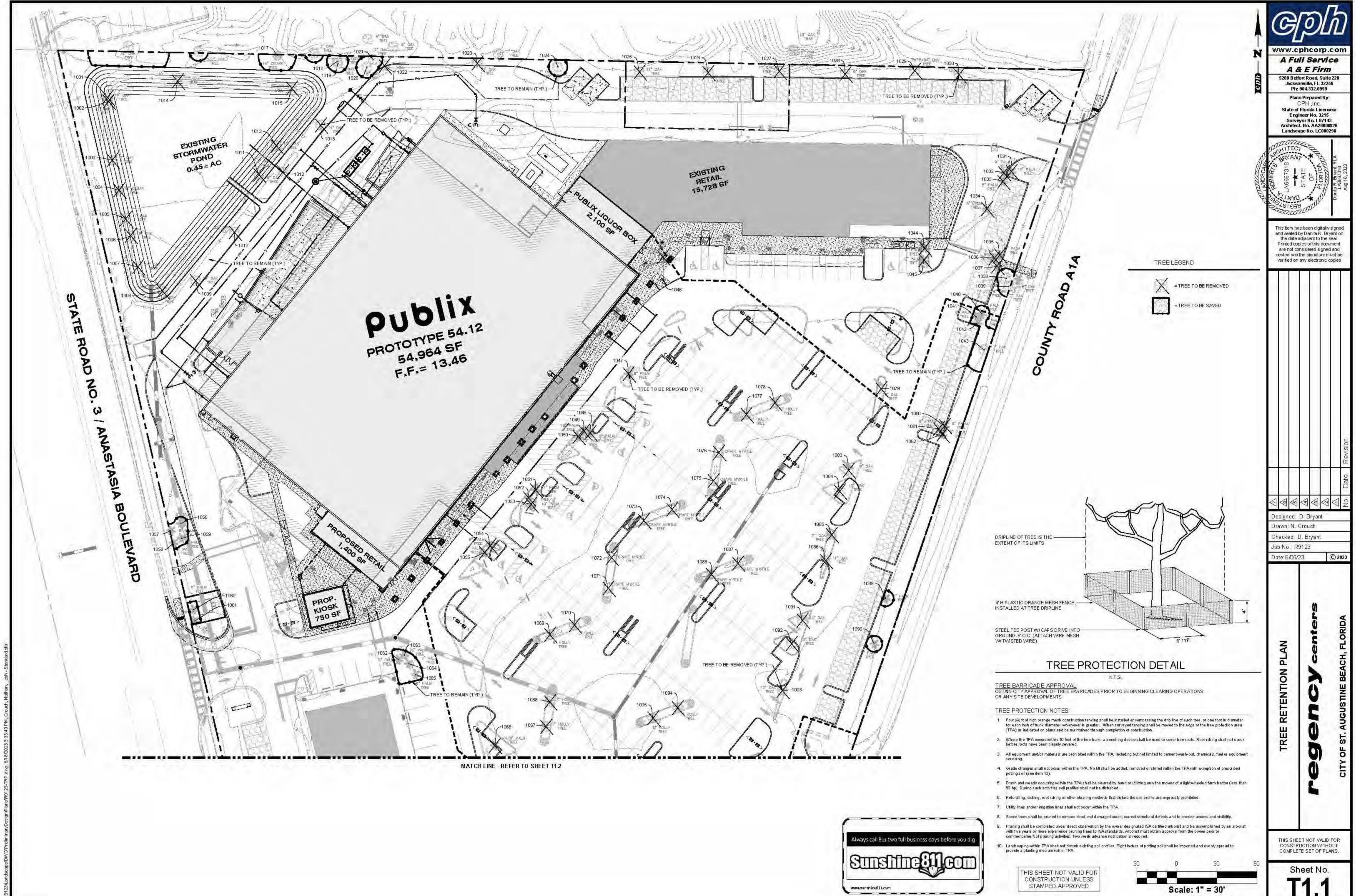
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CITY OF ST AUGUS

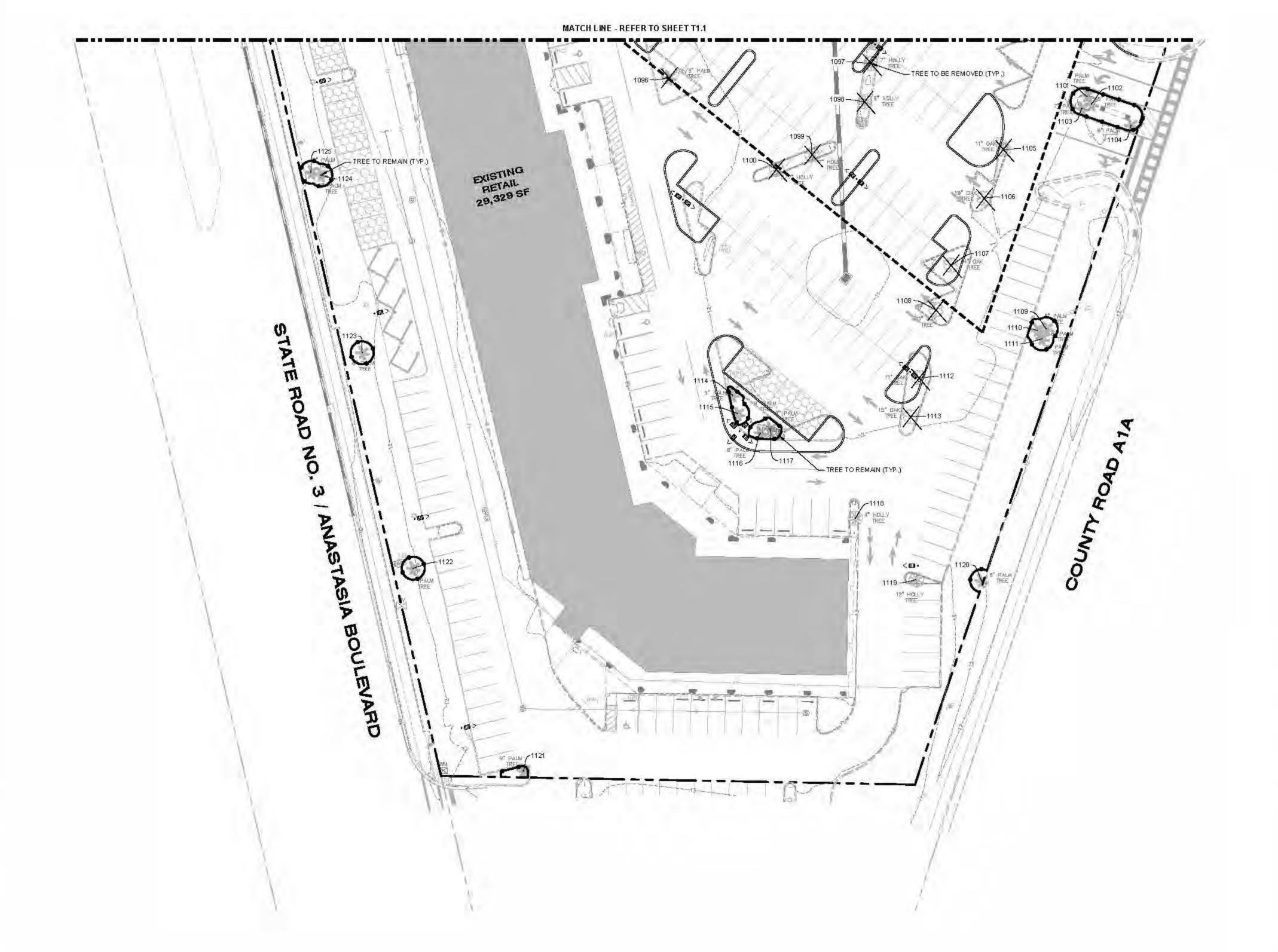
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TREE# DBH SPECIES DISPOSTION

TREE # DBH SPECIES DISPOSTION



1001	14	OAK	REMIOVED	1064	7	PALM	REMAIN
1002	11	OAK	REMOVED	1065	6	PALM	REMAIN
1003	.7	DAK	REMOVED	1066	5, 4, 4	PALM	REMOVED
1004	10	CEDAR	REMOVED	1067	7	HOLLY	REMOVED
1005	7	OAK	REMOVED	1068	7	HOLLY	REMOVED
1005	8	OAK	REMOVED	1069	6	HOLLY	REMOVED
1007	14	OAK	REMOVED	1070	7	HOLLY	REMOVED
1008	14		REMOVED	1071		7 200	REMOVED
Line Line		OAK		1000740	15	CRAPE	F DL 4 DA 6
1009	19	OAK	REMOVED	10.72	-	CRAPE	REMOVED
1010	22	DAK	REMOVED	1073	- 5	CRAPE	REMOVED
1011	7	OAK	REMOVED	1074	18	CRAPE	REMOVED
1012	16	OAK	REM OVED	10.75		CRAPE	REMOVED
1013	17	OAK	REM OVED	1076	-	CRAPE	REMOVED
10 14	12	OAK	REM OVED	10.77	6	HOLLY	REMOVED
1015	9	OAK	REMOVED	1078	5, 7	HOLLY	REMOVED
1016	21	OAK	REMOVED	10 79	8	OAK	REMOVED
1017	14	CEDAR	REMAIN	1080	6	PALM	REMOVED
1018	.8	OAK	REMAIN	1081	.6	PALM	REMOVED
1019	7	OAK	REMAIN	1082	6	PALM	REMOVED
1020	8	OAK	REMAIN	1083	9	OAK	REMOVED
1021	7	OAK	REMAIN	1084	12	OAK	REMOVED
1022	9	OAK	REMOVED	1085	11	OAK	REMOVED
1023	10	OAK	REMOVED	1086	11	OAK	REMOVED
10 24	7	OAK	REMAIN	1087		CRAPE	REMOVED
1025	16	OAK	REM OVED	1088		CRAPE	REMOVED
1026	18	OAK	REMIOVED	1089	6	PALM	REMAIN
1027	11	OAK	REMOVED	1090	7	PALM	REMAIN
1028	9	DAK	REMOVED	1091	14	OAK	REMOVED
1029	5, 12, 24	OAK	REMOVED	1092	12	OAK	REMOVED
1030	12	OAK	REMOVED	1093	10	OAK	REMOVED
1031	10	PALM	REMOVED	1094	7	HOLLY	REMOVED
1032	9	PALM	REMOVED	1095	9	HOLLY	REMOVED
1033	8	PALM	REMOVED	1096	5,5,5	PALM	REMOVED
PE-121		7.1444	1.120712020	0.00	7	7777150	FREEZ CASTA
10 34	8	PALM	REMOVED	1097		HOLLY	REMOVED
10.35	.7	PALM	REMOVED	1098	9	HOLLY	REMOVED
1036	7	PALM	REMOVED	1099	7	HOLLY	REMOVED
1037	7	PALM	REMOVED	1100	5,7	HOLLY	REMOVED
1038	7	OAK	REMAIN	1101	7	PALM	REMAIN
1039	6, 7, 8	OAK	REMAIN	1102	9	PALM	REMAIN
1040	9	PALM	REMAIN	1103	7	PALM	REMAIN
1041	9	PALM	REMAIN	1104	9	PALM	REMAIN
1042	8	PALM	REMAIN	1105	11	DAK	REMOVED
1043	17	OAK	REMAIN	1106	19	OAK	REMOVED
10 44	8	PALM	REMIOVED	1107	14	OAK	REMOVED
1045	9	PALM	REM OVED	1108	20	OAK	REMOVED
1045	6	HOLLY	REMOVED	1109	8	PALM	REMAIN
1047	8	PALM	REM OVED	1110	8	PALM	REMAIN
1048	8	PALM	REMOVED	1111	8	PALM	REMAIN
1049	10	PALM	REMIOVED	1112	11	OAK	REMOVED
1050	10	PALM	REMOVED	1113	15	OAK	REMOVED
1051	7	PALM	REMOVED	1114	9	PALM	REMAIN
1052	7	PALM	REM OVED	1115	9	PALM	REMAIN
1053	10	PALM	REMOVED	1116	8	PALM	REMAIN
1054	8	PALM	REMOVED	1117	9	PALM	REMAIN
1055	8	PALM	REMOVED	1118	4	HOLLY	REMAIN
1056	8	PALM	REMAIN	1119	12	HOLLY	REMAIN
1057	8	PALM	REMAIN	1120	8	PALM	REMAIN
8000	8	7.11			9		
1058		PALM	REMAIN	1121		PALM	REMAIN
1059	9	PALM	REMAIN	1122	7	PALM	REMAIN
1060	.6	PALM	REMAIN	1123	8	PALM	REMAIN
1061	7	PALM	REMAIN	1124	7	PALM	REMAIN
1062	8	PALM	REMAIN	1125	9	PALM	REMAIN

SEC. 5.01.02 C6 REMOVAL 10% OF PALMS MAY BE REMOVED WITH OUT MITIGA

10% OF PALMS MAY BE REMOVED WITH OUT MITIGATION 23 PALMS × .10 = 2.3

SEC.5.01.03 MITIGATION REQUIRED: 1:1

REQUIRED: 1:1 6" - 29.5" \$50.00 / DBH INCH > 30" \$100.00 / DBH INCH

PALMS: 1 PALM FOR 1 PALM OR (1) 3" TREE MAY REPLACE A PALM \$30.00 OF CLEAR TRUNK REMOVED

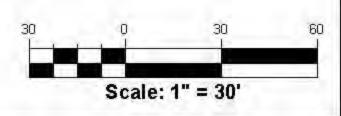
PROPOSED: 114"-(41" APPLY TO TREE #1029) = 73"

PROPOSED: 114" - (41" APPLY TO TREE #1029) = 73"
REQUEST PAYMENT INTO FUND FOR REMAINING INCHES 613" - 73" = 540"
540" × \$50.00 = \$27,000.00

PALMS:







TREE AND PALM DATA:

PALMS 1:1

TOTAL TREE INCHES: 726"
TOTAL TREE REMAINING: 113"
TOTAL TREE REMOVED: 613"

TOTAL PALMS REMOVED: 23

www.cphcorp.com

A Full Service
A & E Firm

5200 Belfort Road, Suite 220
Jacksonville, FL 32256
Ph; 904.332.0999

Plans Prepared By: CPH ,Inc. State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect. No. AA26000926 Landscape No. LC000298

Danita R. Bryant, RLA LAGGE7318

Danita R. Bryant, RLA LAGGE7318

Aug 18, 2023

This item has been digitally signed and sealed by Danita R. Bryant on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

							Revision
-							Date
The second second	V	8	⅌	$\overline{\mathbb{V}}$	∇	∇	No.
_	esigned: D. Bryant						
4	awn: N. Crouch						

Checked: D. Bryant

Job No.: R9123

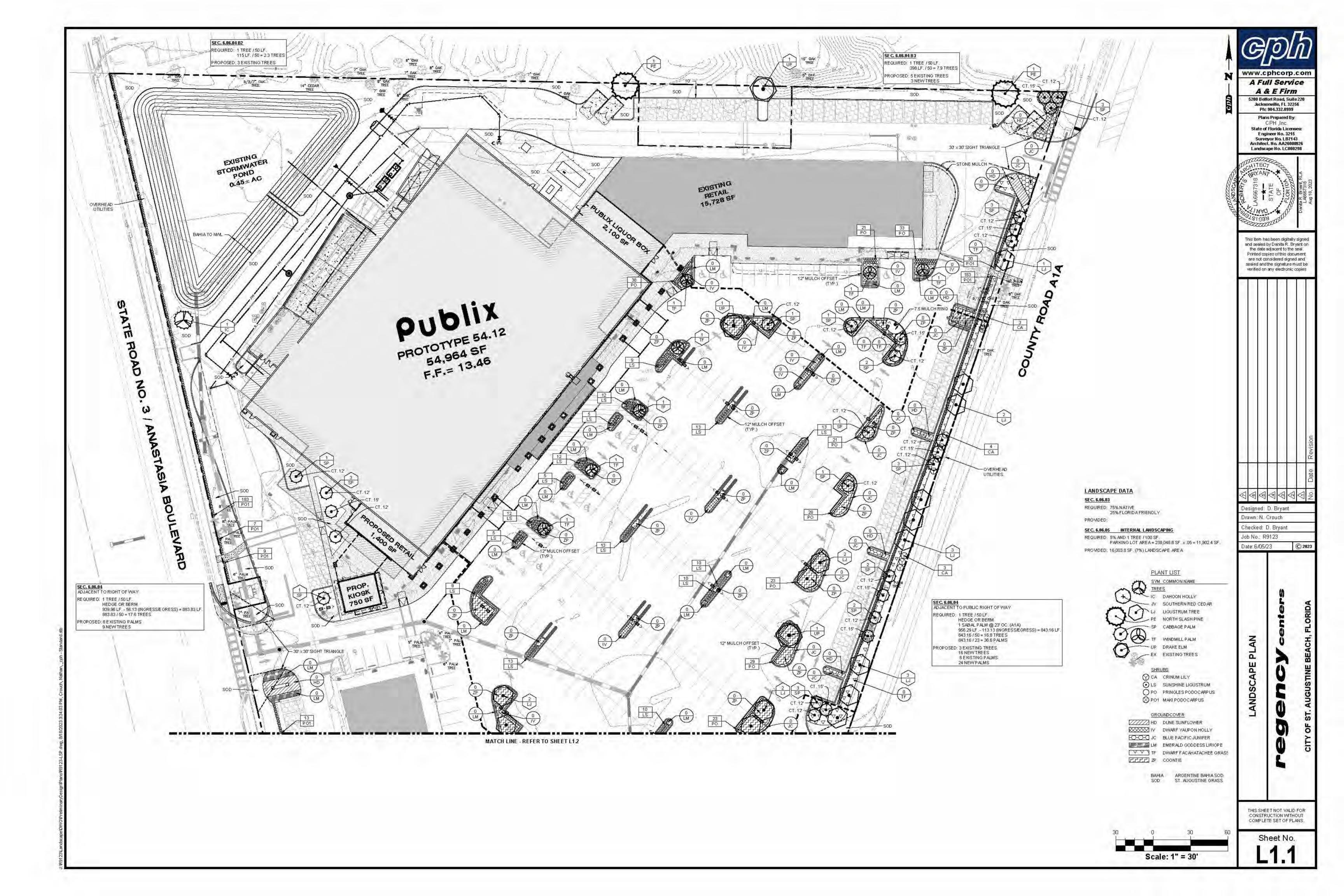
Date: 6/05/23 © 2023

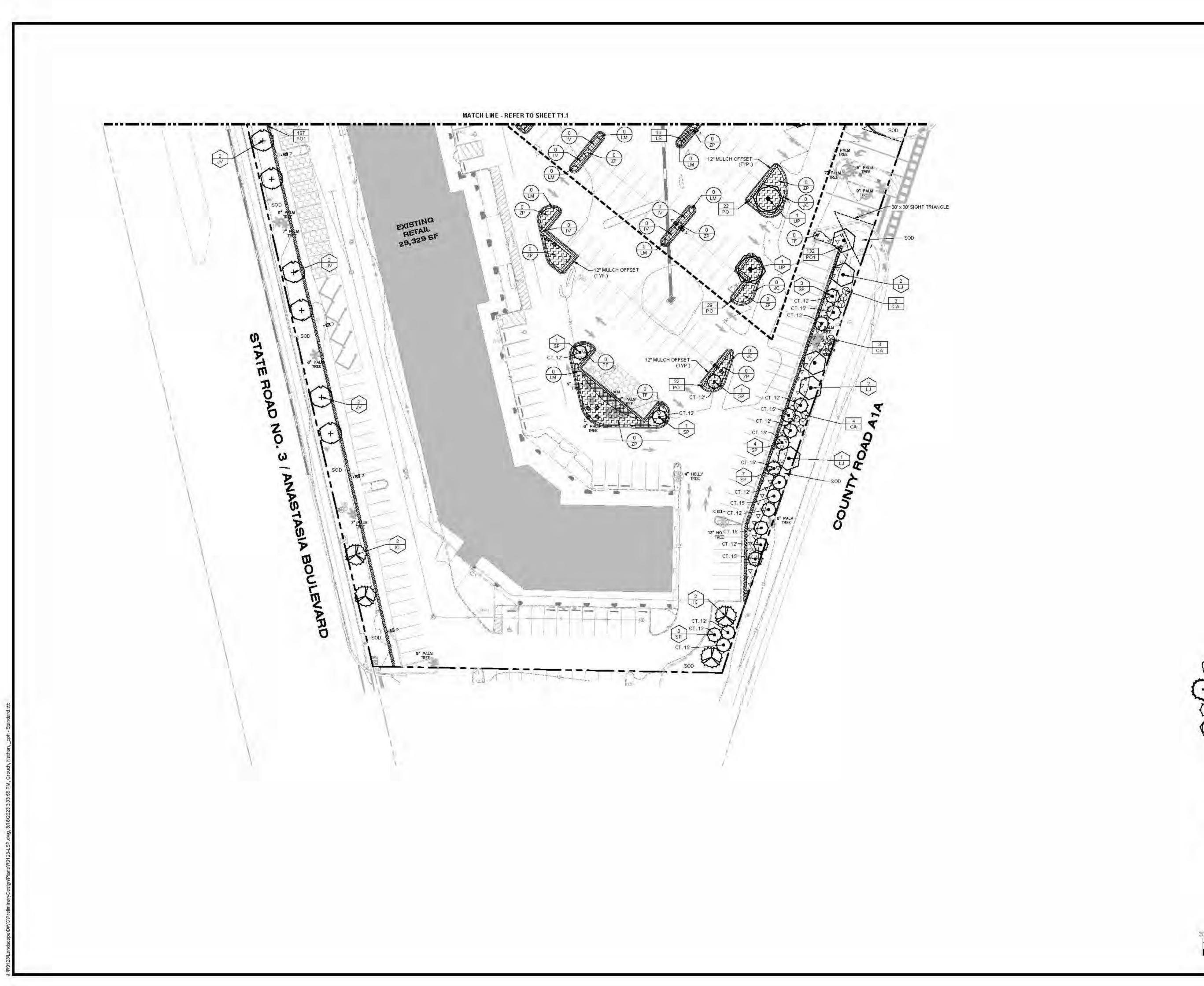
S-CS

RETENTION PLAN

regence CITY OF ST. AUGUSTINE

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.







www.cphcorp.com A Full Service

A & E Firm 5200 Belfort Road, Suite 220 Jacksonville, FL 32256 Ph: 904.332.0999

Plans Prepared By: CPH ,Inc. State of Florida Licenses: Engineer No. 3215 Surveyor No. LB7143 Architect. No. AA26000926 Landscape No. LC000298

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Designed: D. Bryant Drawn: N. Crouch

Checked: D. Bryant

© 2023

Job No.: R9123

Date: 6/05/23

LANDSCAPE PLAN

PLANT LIST

TREES

IC DAHOON HOLLY

SOUTHERN F

SP CABBAGE PALM

TF WINDMILL PALM EX EXISTING TREES

> SHRUBS CA CRINUM LILY

O LS SUNSHINE LIGUSTRUM O PO PRINGLES PODOCARPUS PO1 MAKI PODOCARPUS

GROUNDCOVER

HD DUNE SUNFLOWER IV DWARF YAUPON HOLLY HOHOM JC BLUE PACIFIC JUNIPER LM EMERALD GODDESS LIRIOPE TF DWARF FACAHATACHEE GRASS

BAHIA ARGENTINE BAHIA SOD SOD ST. AUGUSTINE GRASS

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS. Scale: 1" = 30'

LANDSCAPE NOTES:

- The landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information. and are considered to be approximate. It shall be the responsibility of the contractor 1) to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the construction 4) To field adjust the location of proposed trees and palms 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation items and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust. tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plant list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper. When the plant list description calls out DBH or caliper at DBH, it shall govern over the caliper definition in this note.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- 13. TOPSOIL
- Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsoil, objectionable weeds, litter, sods, stiffclay, stones larger than 1-inch in diameter, stumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material. 6" Top Soil shall be placed n all turf & landscape areas.
- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and back filled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants: All plants shall be thoroughly watered at time of planting and kept adequately watered for plants to thrive as defined by Florida Grades and Standards for Nursery stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper guying or staking. The Landscape

Contractor shall be legally liable for any damage caused by instability of any plant material.

- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of muck soils. Muck grown sod will not be approved. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots n rectangles 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be place adjacent to one another to avoid gaps and overlaps. Joints shall be staggered between the rows. Sod placed on slopes exceeding 8:1 shall be pinned with turt staples. Sod turf, shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was out, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless. specifically authorized by Owner's CET Representative.
- It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating of the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. It well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- UNSUITABLE SUBSOILS Locations containing unsuitable subsoil shall be treated by one or more of the following:
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A5 or A7, loosen such areas with spikes, discing, or other means to loosen soil to condition acceptable to Owner, Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat moss, sand, or organic matter into the subsoil to obtain adequate measures shall be considered
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction materials in sub-grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial neasures shall be considered as incidental, without additional cost to Owner.
 - Where unsuitability is deemed by Owner to be because natural subsoit falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
 - Planting beds where existing subsoil is determined by 0 wher to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.
- 23. The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- 24. The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of Bidding.
- Mulch All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved equal), Cypress mulch not permitted, A. 5' diameter mulch ring is to be placed around trees located in sod areas or outside of planting beds.
- Transplanted Material The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die if such measures are not taken, as

determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.

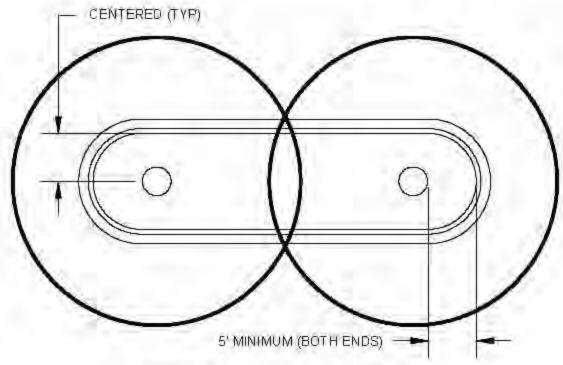
MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:

as incidental, without additional cost to Owner.

- Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
- Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
- During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated
- At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor Stating the date when the Maintenance Period ends.

GUARANTEE AND REPLACEMENT:

- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined. by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
- All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.



ALL TREES PLANTED IN LANDSCAPE ISLANDS OR ANY LANDSCAPED AREAS SHOULD BE A MINIMUM OF 5' OFF OF BACK OF CURB UNLESS ABSOLUTELY NECESSARY DUE TO UTILITY LINES/PIPES LOCATION.

TYPICAL ISLAND PLANTING

ROOTSALLAND TRUNK-

BX WIDEST DIMENSION

SECTION

OF ROOT BALL

MULCH/TOPSOIL BACKFILL

A. FINAL TREE STAKING DETAILS AND PLACEMENT

REMOVE BURLAP, WIRE AND STRAPS (ANYTHING

REFER TO LANDSCAPE NOTES OR PLANTING

PRUNETREEAS DIRECTED BY LANDSCAFE

E. BRANCHING HEIGHT TO AA.N.STANDARDS.

SPECIFICATIONS SECTION 32 9100 FOR THE TYPE OF MULCH MATERIAL TO USE.

Tree Prog[®] RBK40pt FOR UP TO 4" TREE CALIPER OR Tree Prog[®] RBK60pt FOR, CREATER THAN 4" AND UP TO 6" TREE CALIPER, REFER TO SITEWORK

ROOT BALL MODIFIED AS REQUIRED. FLAYER OF

MULCH, NO MORE THAN I' OF MULCH ON TOP D

ROUND-TOPPED SOIL BERM & HIGHX & WIDE

SHALL BEGIN AT ROOT BALL PERIPHERS

4. FINISHED GRADE

RECOMPACTED SOIL

9. UNDISTURBED SUBSOIL:

AFTER SETTLEMENT, APPROX. 1" ABOVE

FINISHED GRADE AT TIME OF PLANTING.

ABOVE ROOT BALLSURFACESHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM

. TOP OF ROOT BALL SHALL BE FLUSH WITH FINISHED

PRIOR TO MULCHING LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN & LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE

LOOSENED SOIL, DIG AND TURN THE SOIL TO

. BOTTOM OF ROOT BALL RESTS ON EXISTING OR

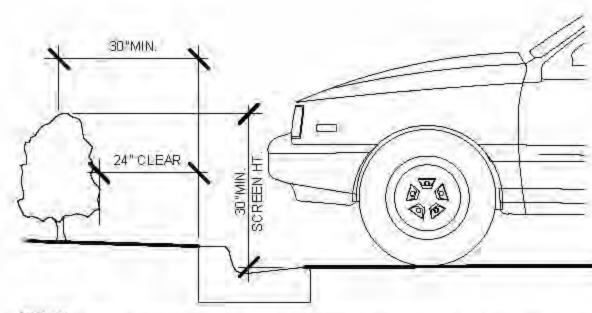
REDUCE CO MPACTION TO THEAREA AND DEPTH SHOWN. BACKFILL MIX: TO PSO IL 75% AND CO MPOST 25%.

HAS BEEN BACKFILLED, POUR WATER AROUND THE

GROWTH) ON UPPER 1/3 OF ROOTSALL.

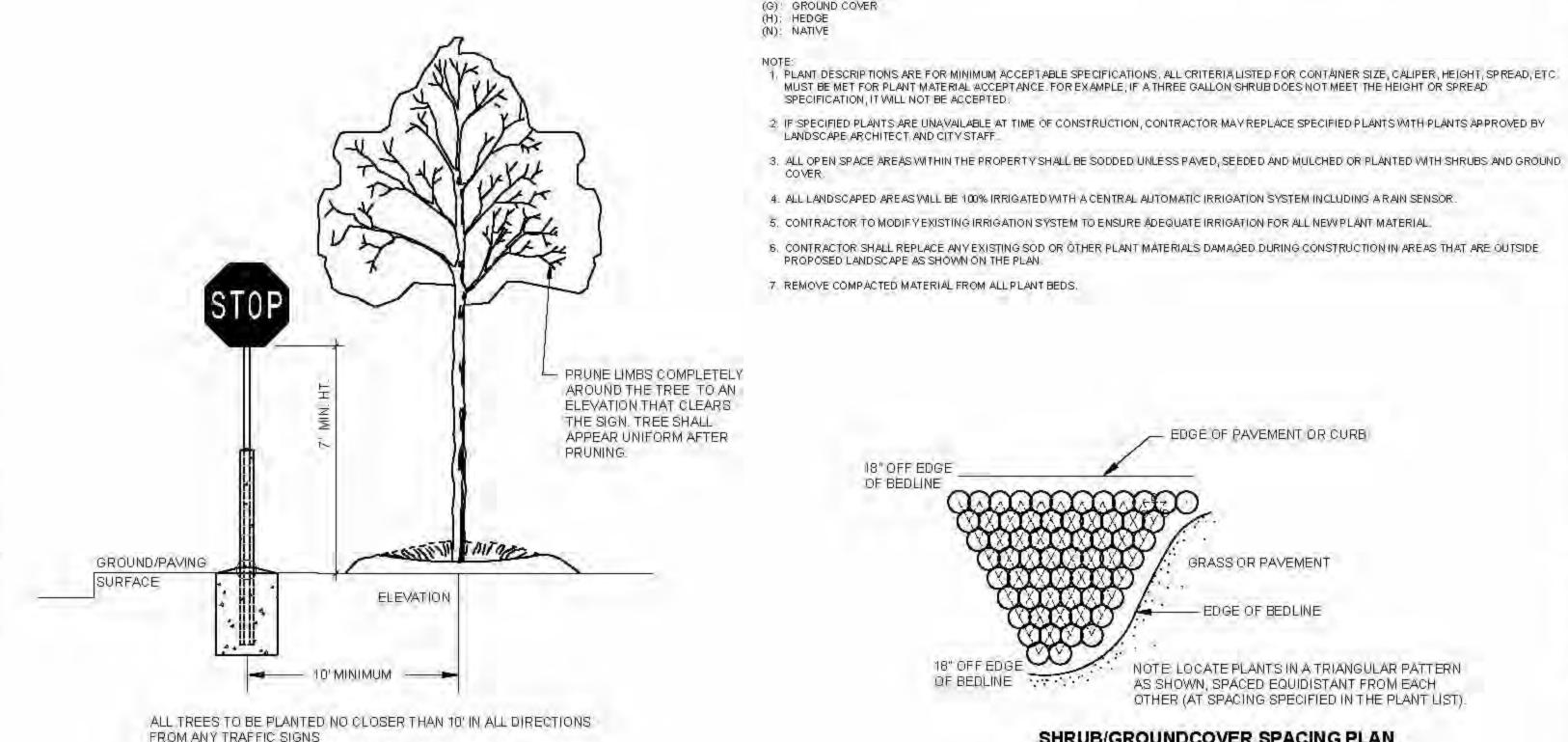
TO BE APPROVED BY OWNER.

- TREE STAINING

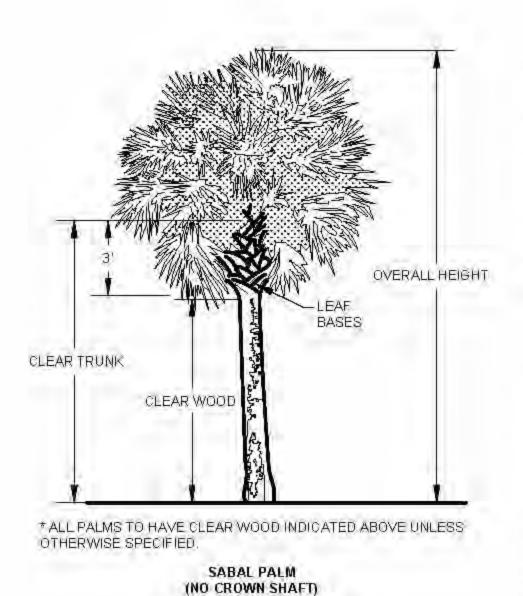


INSTALL HEDGE ALONG PARKING BAYS A MINIMUM OF 30" BEHIND BACK OF CURB TO ALLOW FOR 24" VEHICULAR OVERHANG. AT TIME OF INSTALLATION, HEDGE SHALL SCREEN A MINIMUM OF 30" ABOVE FINISH GRADE OF PARKING STALLS.

TYPICAL SECTION - HEDGE INSTALLATION



TREE PLANTING AT TYPICAL SIGN



SYM COMMONNAME

DAHOON HOLLY

CABBAGE PALM

WINDMILL PALM

- EX EXISTING TREES

LS SUNSHINE LIGUSTRUM

PO1 MAKIPODOCARPUS

PO PRINGLES PODOCARPUS

(Y) CA CRINUM LILY

GROUNDCOVER

HD DUNE SUNFLOWER

TV DWARF YAUPON HOLLY

EMERALD GODDESS LIRIOPE

TY TE DWARF FACAHATACHEE GRASS TRIPSACUM FLORIDANA

ST. AUGUSTINE GRASS

SPECIFICATION, IT WILL NOT BE ACCEPTED

PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.

OF BEDLINE

OF BEDLINE

HO-OKO JC BLUE PACIFIC JUNIPER

(A): ACCENT

DECIDUOUS

(FF): FLORIDA FRIENDLY

E): EVERGREEN

FFF COONTIE

BOTANICAL NAME

ILEX CASSINE

PINUS ELLIOTTII

SABAL PALMETTO

CRINUM AUGUSTUM

LIGUSTRUM SINENSE

HELIANTHUS DEBILIS

ZAMIA PUMILA

ARGENTINE BAHIA SOD PASPALUM NOTATUM 'ARGENTINE'

ILEX YOMITORIA 'NANA':

PODOCARPUS MACROPHYLLUS 'MAKI'

JUNIPERUS CONFERTA 'BLUE PACIFIC'

LIRIOPE MUSCARI 'EMERALD GODDESS'

STENOTAPHRUM SECUNDATUM

JUNIPERUS VIRGINIANA

LIGUSTRUM JAPONICUM

TRACHYCARPUS FORTUNE

ULMUM PARMFOLIA DRAKE

3" CAL., 8' HT., 2' SPRD :

3" CAL, 8' HT, 2' SPRD TREE FORM 3" CAL., 7' HT.

3" CAL., 8' HT., 2' SPRD.

3" CAL., 8' HT., 2" SPRD

CLEAN STRAIGHT TRUNKS

15 GAL., 4' HT., FULL, 5' O.C.

PODOCARPUS MACROPHYLLUS 'PRINGLES' 3 GAL., 12" HT., 6" SPRD., 15" O.C.

MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD

3 GAL,, 8" HT., 6" SPRD., 24" O.C.

1 GAL., 12" HT., 10" SPRD., 24" O.C.

3 GAL., 12" HT., 12" SPRD., 24" O.C.

1 GAL, 3" HT., 8" SPRD., 18" O.C.

1 GAL., 6" HT., 6" SPRD., 18" O.C.

3 GAL., 15" HT , 10" SPRD., 30" O.C.

3 GAL., 15" HT., 10" SPRD., 30" O.C.

SOLID SOD, CONTRACTOR TO VERIFY QTY.

SOLID SOD, CONTRACTOR TO VERIFY QTY

EDGE OF PAVEMENT OR CURB

GRASS OR PAVEMENT

EDGE OF BEDLINE

SHRUB/GROUNDCOVER SPACING PLAN

16' OA., CLEAN STRAIGHT TRUNKS

MAIN TAINED WITH THE

CONSTRUCTION RECORDS.

ALL TREES SHRUBS AND SOD WILL

D.P.I. PALM INSPECTION NOTE:

CURRENT STATE OF FLORIDA

BEING TRANSPORTED TO THE

CONSTRUCTION SITE. THE DPI

TO CPH AND A COPY OF THIS

ALL PALMS SHALL HAVE A VALID AND

INSPECTION CERTIFICATION PRIOR TO

CERTIFICATION MUST BE SUBMITTED

CERTIFICATION MUST BE PROVIDED

TO THE GENERAL CONTRACTOR AND

DIVISION OF PLANT INDUSTRY (DPI)

HAVE A VALID AND CURRENT STATE OF FLORIDA, DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE, THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS DERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS

NOTE: LOCATE PLANTS IN A TRIANGULAR PATTERN

OTHER (AT SPACING SPECIFIED IN THE PLANT LIST).

AS SHOWN, SPACED EQUIDISTANT FROM EACH

HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOILLINE TO THE NATURAL POSITION OF THE LAST FULLY EXPANDED LEAF, UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT, OR HEIGHT MEASUREMENTS SPECIFIED, WILL BE CONSIDERED OVERALL HEIGHT.

A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY: ON MANY PALMS, THIS POINT WILL LIE AT THE BASE OF THE PETIOLE OF THE THIRD OR FOURTH YOUNGEST BUT FULLY

EXPANDED LEAF. A MEASUREMENT FROM THE SOIL LINE TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES, ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT, IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR

WOOD,

N, D, FF N, E, FF www.cphcorp.com E, FF 20 A Full Service N, E, FF REFER TO PLAN FOR CT., REGEN HEADS N.E.FF 5200 Belfort Road, Suite 220 E,FF DIFF A.FF H, A 289 A, FF H, FF 754 G, FF H, FF G, FF

G, FF

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G, FF

This item has been digitally signed and sealed by Danita R. Bryant or the date adjacent to the seal Printed copies of this document are not considered signed and sealed and the signature must be

verified on any electronic copies:

A & E Firm

Jacksonville, FL 32256

Ph; 904,332,0999

Plans Prepared By:

CPH Inc.

State of Florida Licenses: Engineer No. 3215

Surveyor No. LB7143

Architect, No. AA26000926

Landscape No. LC000298

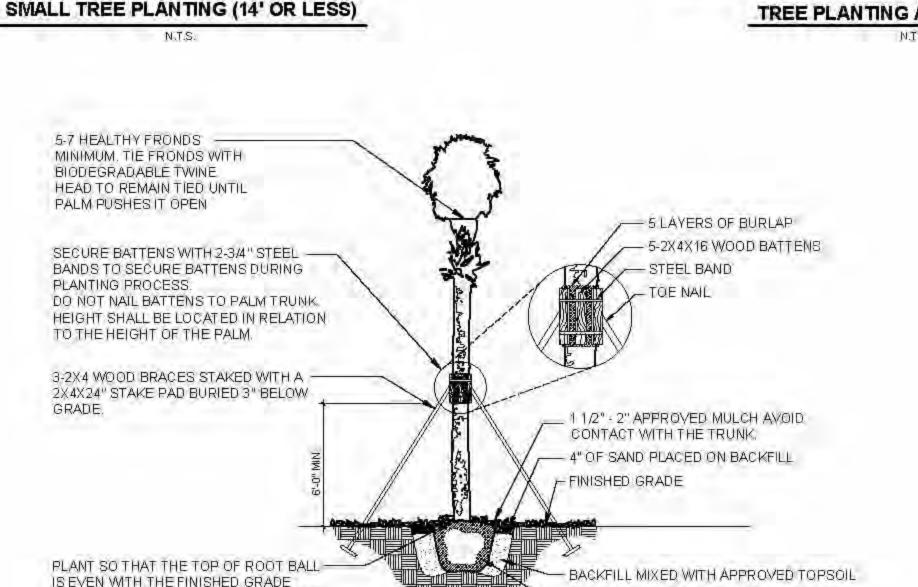
Designed: D. Bryant

Drawn: N. Crouch Checked: D. Bryant Job No.: R9123 Date: 6/05/23 C 2023

NOT

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.

Sheet No.



BACKFILL MIXED WITH APPROVED TOPSOIL ALL ROOT BALL COVERING MATERIALS SHALL BE COMPLETELY REMOVED BEFORE PLANTING.

PALM STAKING DETAIL

2X BALL DIA.

PALM MATRIX B



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board

From: Jennifer Thompson, Planner

CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner

Date: 09/12/2023

Re: Proposed Code Changes Sections 6.01.04 & 6.01.05

Section 6.01.04 b. of the City's Land Development Regulations currently allows for specific architectural features on buildings to exceed 10 feet above the building height limit of 35 feet. The new proposed code change would alter the code to only allow this for commercial occupancies not including transient rentals. This would prevent a residential building from exceeding 35 feet in height.

Section 6.01.05 is a new proposed section, which includes drainage requirements for new development which may include gutters, retaining walls, underdrains, swales, or any other methods deemed necessary by the Building Official or designee.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

ORDINANCE NO: 23-XX

Timeseason distance in the

TEMPRETARRES ES

AN ORDINANCE OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA, RELATING TO BUILDING HEIGHT MEASUREMENT & DRAINAGE REQUIREMENTS FOR NEW DEVELOPMENT; AMENDING THE CODE OF THE CITY OF ST. AUGUSTINE BEACH, CHAPTER 6, BUILDINGS AND BUILDING REGULATIONS, TO AMEND, REVISE AND RESTATE THE SECTIONS 6-01 OF THE CITY CODE; AND PROVIDING AN EFFECTIVE DATE.

WITNESSETH:

WHEREAS, § 166.041, Florida Statutes, provides for procedures for the adoption of ordinances and resolutions by municipalities; and

WHEREAS, the City Commission for the City of St. Augustine Beach finds that it is in the best interest of public health, safety, and general welfare that the following amendments be adopted consistent with the requirements of Section 166.021 (4), Florida Statutes.

BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA:

SECTION 1. The foregoing recitals are incorporated as legislative findings of fact.

SECTION 2. Amend Chapter 6, Sections 6.01.04 and 6.01.05 of the Code of the City of St.

Augustine Beach be, and the same is, hereby amended, revised and restated to read:

Sec. 6.01.04. Building height measurement, exceptions, and applications.

b. The building height limitation shall not apply to architectural features or any roof structures for housing elevators, stairways, tanks, mechanical equipment, ventilation fans, solar energy collectors, or similar equipment, not to church spires, steeples, belfries, cupolas, domes, monuments, water towers, skylights, flag poles, chimneys, vents or similar structures, which may be erected above the height limit, nor to fire or parapet walls, provided, however that such features and items shall not extend more than ten (10) feet above the structure for commercial occupancies not including transient rentals.

Sec. 6.01.05. Drainage Requirements for New Development

CITY CLERK

- A. The Director of Building and Zoning or designee may require construction of retaining walls, roof gutters, underdrains, swales, or any other method deemed necessary to provide adequate drainage.
- B. Roof gutters are required for 2 story or greater buildings.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are repealed to the extent of such conflict.

SECTION 4. If any section, subsection, sentence, clause, phrase, word or provision of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, then said holding shall not be so construed as to render invalid or unconstitutional the remaining provisions of this ordinance.

SECTION 5. This Ordinance shall take effect ten (10) days after passage, pursuant to Section 166.041(4), Florida Statutes

City of Saint Augustine Beach, Florida this		ar meeting of the City Commission of the 2023.
	MAYOR	7
ATTEST:		

EXAMINED AND APPROVED by me this	day of	iets .	, 2023.	
		MAYOR		
Published in the	day of	on the _	day of	



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board

From: Jennifer Thompson, Planner

CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner

Date: 09/12/2023

Re: Proposed Land Development Regulations Section 3.02.05

Section 3.02.05 of the City of St. Augustine Beach's Land Development Regulations allows for permits to be issued for special events on privately owned property in the commercial land use district. Section 3.02.05 F requires that all vehicle parking shall be located on site of the business holding the special event and that there must be 25 parking spaces.

Many businesses in the city have parking lots that currently have less parking than 25 spaces. Therefore, businesses with less parking than 25 spaces are not allowed to host special events. Since many areas of our city are walkable and residents and visitors alike can take alternate forms of transportation to special events, the Planning and Zoning Division is suggesting that this code be changed and are asking for input from the Comprehensive Planning and Zoning Board.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

Sec. 3.02.05. Special events—Business/promotional/sales.

- A. The City Manager or his designee shall have the authority to issue permits for special events on privately owned property in the commercial land use district.
- B. No person shall aid, form, stage or conduct any special event, unless the special event occurs on property in the commercial land use district, and with a permit having first been issued.
- C. One (1) location, site, or business may have a promotional sale no more than five (5) times during a calendar year. When more than one (1) business is situated on a parcel, lot, or tract of land, all of the businesses situated on such site, or an association authorized to act on behalf of all of the businesses, shall be required to apply for a special event permit, and no more than five (5) promotional sales per calendar year will be allowed on any such site.
- D. A special event may be held for one (1), two (2), or three (3) consecutive days, but no more than three (3) consecutive days, pursuant to a special event permit issued by the City Manager or designee.
- E. A special event may be held for longer than three (3) consecutive days, but no more than thirty (30) consecutive days, with a conditional use permit. The comprehensive planning and zoning board shall have the authority to grant conditional use permits for special events lasting no more than thirty (30) consecutive days on privately owned land in the commercial land use district, and provided each such special event complies with all other requirements of this section, and applicable city codes. It shall not be necessary for the city commission to approve or confirm the decision of the board in respect to the grant or denial of a conditional use permit for a special event. The procedures and limitations provided under Chapter 10 of this Code shall apply to such conditional use permits, except that any reference to the city commission or commission shall be read as the comprehensive planning and zoning board. An appeal of any decision by the board may be made to the city commission.
- F. All vehicle parking for a special event shall be located on the site of the business holding the special event. There must be at least twenty-five (25) on-site parking spaces available for parking by the public. Parking shall not be allowed on public streets, rights-of-way or off-site locations.
- G. A special event permit shall not be issued unless the special event shall occur within one hundred eight (180) days of the date of issuance of the permit.
- H. The application fee for a special event permit shall be fifty dollars (\$50.00). The application shall be in writing and on a form prescribed by the City Manager or designee. A special event permit from the City Manager or designee shall not be necessary when a conditional use permit for a special event has been issued.
- I. The sale, offer for sale, or display of merchandise, food or beverages may occur outside of an enclosed building or from a vehicle or trailer as part of a special event. Music or entertainment outside of an enclosed building shall not occur between the hours of 9:00 p.m. and 9:00 a.m. the following day during any special event.
- J. The provisions of this section do not affect the regulation of special events occurring on property owned by the City of St. Augustine Beach or St. Johns County.

(Ord. No. 18-07, § 1(Exh. 1), 5-7-18)